

Docket Item # 1
BAR CASE #2012-0001

BAR Meeting
February 1, 2012

ISSUE: Certificate of Appropriateness (awning with signage)

APPLICANT: Seyedhossein Shoja Maddahi

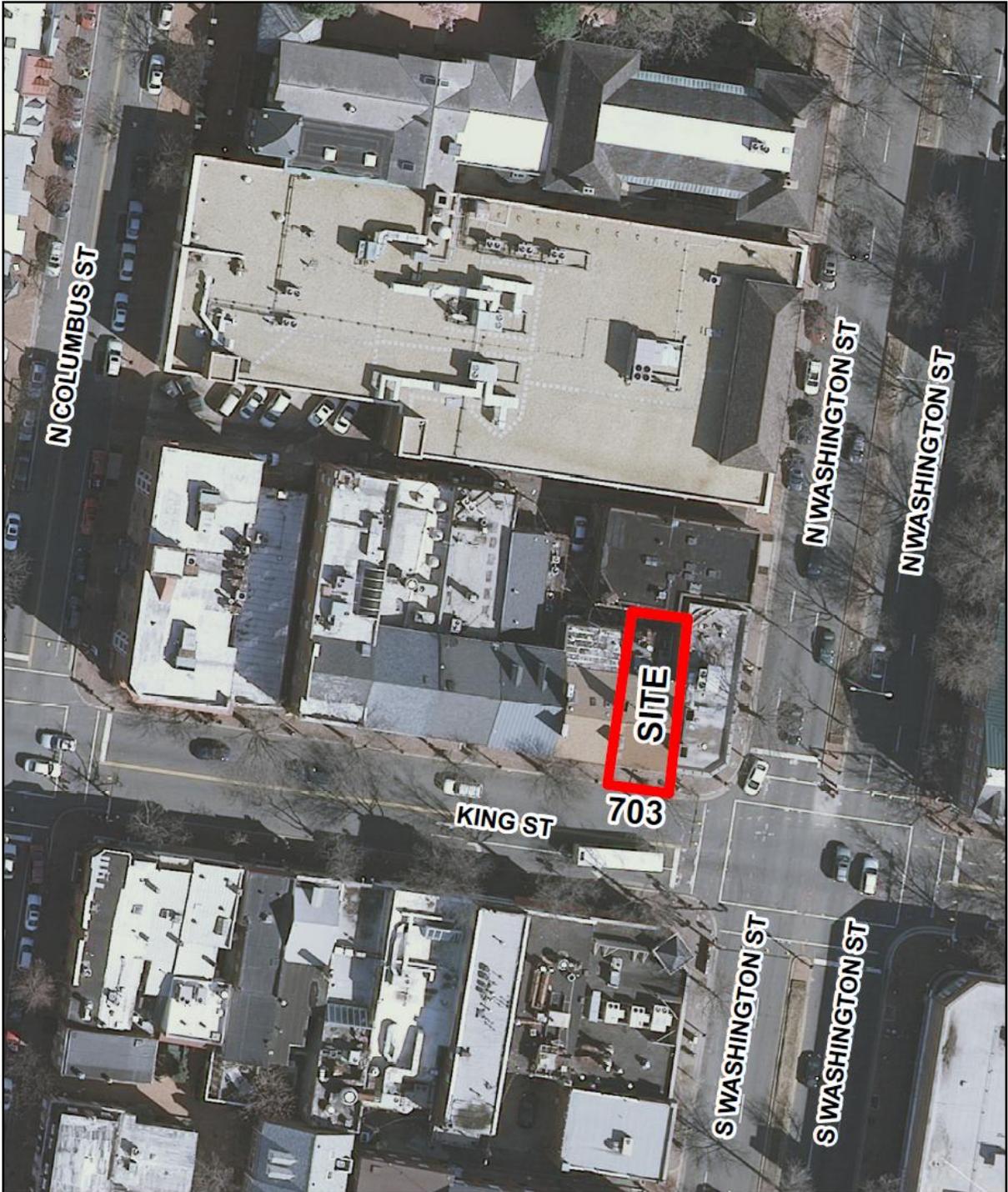
LOCATION: 703 King Street

ZONE: KR/King Street Retail

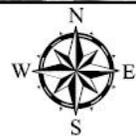
STAFF RECOMMENDATION: Staff recommends approval of the Certificate of Appropriateness, as submitted.

****EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of final approval if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

****BUILDING PERMIT NOTE:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including siding or roofing over 100 square feet, windows and signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.



BAR CASE #2012-0001



I. ISSUE

The applicant, owner of Parsian Restaurant, is requesting after-the-fact approval for a striped, half-round awning and signage. The awning is 9'6" long by 4'0" tall, and projects out 3'0" from the front façade. The aluminum frame is covered in a white and yellow striped Sunbrella fabric and the text "Parsian Restaurant" is printed on the front portion in blue letters. The signage measures approximately 4'6" long by 2'0" tall which equals 9 square feet. The frontage of the building is 25 feet.

Since the time this application was filed, the applicant has installed a temporary "now open" sign, an A-frame chalkboard sign, and a flashing neon "open" sign. Staff has informed the applicant that while a thirty day temporary "now open" sign is allowed if approved by the City, the A-frame sign and the neon sign are prohibited by the zoning ordinance and *Design Guidelines*. The restaurant has since taken down the A-frame and neon sign.

II. HISTORY

The three story, three bay brick rowhouse at 703 King Street was most likely constructed by Benjamin Baden **ca. 1816-1817** according to Ethelyn Cox in *Historic Alexandria Street By Street*. It is a prototypical early 19th century side hall Alexandria rowhouse with a Flemish bond facade.

In the 20th century, the first floor of the building has been altered a number of times. In 1949 the Board approved adding small metal bay retail windows on either side of the center door. In 1965 the Board approved a new design for the first floor of the building which included the removal of the 15 year old bay windows and infilling the existing openings with brick, as well as changes to the entrance threshold.

As part of BAR Case#2006-0157, the Board approved the frame of the existing awning, as well as a black cover and signage, for Zorkafor's SandVeg on September 6, 2006. On October 4, 2006, the Board approved alterations to the front of 703 King Street which consisted of two new fixed windows on either side of the front entrance. In 2007, the City's Department of Code Administration declared the building unsafe for occupancy due to the lack of structural stability of the rear exterior wall of the building. In response to this, the BAR approved partial demolition of the rear in order to fix the damage (BAR Case #2007-0071; 5/2/07). The reconstructed wall matches the historic configuration and design. BAR Staff administratively approved two exterior light fixtures on January 5, 2012 (BAR Case#2012-0008).

III. ANALYSIS

The proposed project complies with Zoning Ordinance regulations.

While the applicant had spoken to Staff prior to installation and was aware of the guidelines and approval process for the historic district, the applicant installed the awning and signage without BAR approval. Since then, the applicant has worked with Staff to bring the case before the BAR.

The *Design Guidelines* state that “awnings should be appropriate and sympathetic to the historic style of the building to which they are attached” and “should not overwhelm or obscure the architecture.” While the awning obscures the arched transom over the door, the awning has been installed so that it does not damage any of the architectural detailing. The transom is also still visible from underneath the awning due to the 3’- 0” projection.

The *Guidelines* also state that “the color should be appropriate to the building” and that “striped awnings are generally only appropriate on buildings with simple and unadorned facades.” While there are very few striped awnings on King Street (Staff counted two in addition to this one), the stripes do not overwhelm the simple façade and the yellow and white stripes blend with the existing yellow building color much better than the visual bulk of the previous black awning. In addition, over time, the bright yellow of the awning stripes will fade. Therefore, Staff does not object to the color or the stripes and finds the proposed design to be an improvement over the previously approved storefront.

Staff supports approval of the application, as submitted.

STAFF

Courtney Lankford, Historic Preservation Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Code Administration

- F-1 The review by Code Administration is a preliminary review only. Once the applicant has filed for a building permit, code requirements will be based upon the building permit plans. If there are any questions, the applicant may contact Ken Granata, Acting Plan Review Supervisor at ken.grananata@alexandriava.gov or 703-746-4193. (Code)
- C-1 A Building permits is required for this project. Five sets of *construction documents* sealed by a *Registered Design Professional* that fully detail the construction as well wind loads, live loads and lateral loads as defined in Chapter 16 of the Virginia Construction Code shall accompany the permit application(s)
- C-2 Alterations to the existing structure must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-3 Awnings must comply with all applicable requirements of Virginia Construction Code Section. Retractable and fixed awnings must have a minimum 7 foot clearance form a sidewalk to the lowest part of the framework or any fixed portion of any retractable awning is required. Retractable awnings must be securely fastened to the building and can not extend closer than 24 inches in from the curb line.
- C-4 Fixed awnings must be designed and constructed to withstand wind or other lateral loads and live loads. Structural members shall also be protected to prevent deterioration as required by the Virginia Construction Code Section 3105.3.

Transportation & Environmental Services

RECOMMENDATIONS

- R1. The building permit plans shall comply with requirements of City Code Section 5-6-224 regarding the location of downspouts, foundation drains and sump pumps. Refer to Memorandum to Industry dated June 18, 2004. [Memorandum is available online at the City web site under Transportation\Engineering and Design\Memos to Industry.]. (T&ES)
- R2. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R3. All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (T&ES)

- R4. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on all plans submitted for approvals. (T&ES)
- R5. The building permit must be approved and issued prior to the issuance of any permit for demolition. (T&ES)

FINDINGS:

F1. Other current approvals: ODP2011-00028; SUP2011-00029.

CITY CODE REQUIREMENTS

- C-1 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-3 Canopies, awnings and marquees suspended from a building or structure with no ground supports, having a clearance of at least eight feet above a sidewalk, extending no more than four feet beyond the front property line and extending to no more than one foot from the established curb line, may be erected. (Sec. 5-2-29(d)) (T&ES)
- C-4 The owner shall obtain and maintain a policy of general liability insurance in the amount of \$1,000,000 which will indemnify the owner (and all successors in interest); and the city as an additional named insured, against claims, demands, suits and related costs, including attorneys' fees, arising from any bodily injury or property damage which may occur as a result of the encroachment. (Sec. 5-29 (h)(1)) (T&ES)

This requirement has been met; A Certificate of Liability Insurance has been filed with T&ES through the King Street Outdoor Dining Program. The Certificate of Insurance is also valid for the awning/sign and is valid until 4/20/2012.

Please submit updated Insurance Certificate upon renewal to:

**City of Alexandria
T&ES / Site Plans
Attn: Kimberly Merritt
301 King Street, Room 4130
Alexandria, VA 22314**

V. IMAGES



Figure 1: Front elevation of 703 King Street with proposed awning installed.



Figure 2: View of the underneath of proposed awning.

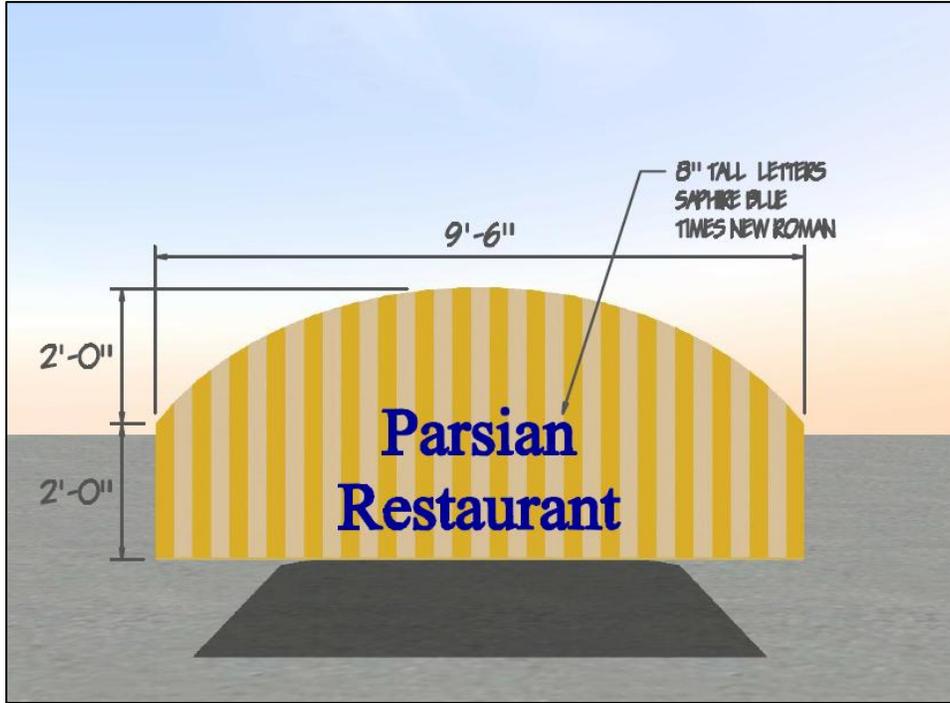


Figure 3: Drawing for proposed awning and signage.

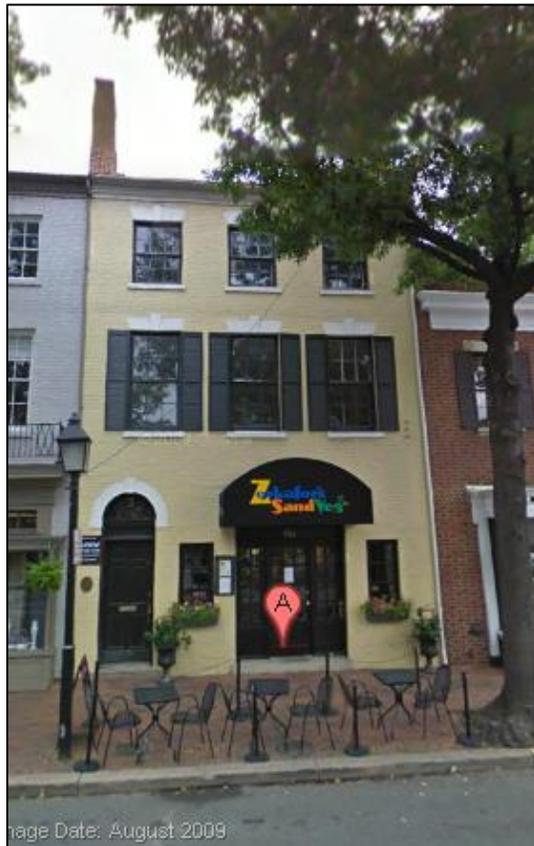


Figure 4: Previous awning for sandwich shop.

ADDRESS OF PROJECT: 703 KING ST.

TAX MAP AND PARCEL: _____ ZONING: _____

APPLICATION FOR: *(Please check all that apply)*

CERTIFICATE OF APPROPRIATENESS

PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA *(Section 7-802, Alexandria 1992 Zoning Ordinance)*

WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: Property Owner Business *(Please provide business name & contact person)*

Name: SEYEDHOSSAIN/SHOJA/MADDAHI

Address: 1123 KING ST.

City: ALEXANDRIA State: VA Zip: 22314

Phone: 7038689990 E-mail: KINGRUGGALLERY@HOTMAIL.COM

Authorized Agent *(if applicable)*: Attorney Architect _____

Name: _____ Phone: _____

E-mail: _____

Legal Property Owner:

Name: Antonio Flores

703-342-8296

Address: _____

City: _____ State: _____ Zip: _____

Phone: 571-236-5408 E-mail: _____

- Yes No Is there an historic preservation easement on this property?
- Yes No If yes, has the easement holder agreed to the proposed alterations?
- Yes No Is there a homeowner's association for this property?
- Yes No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
 - awning
 - doors
 - lighting
 - other _____
 - fence, gate or garden wall
 - windows
 - pergola/trellis
 - HVAC equipment
 - siding
 - painting unpainted masonry
 - shutters
 - shed
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

9'6" x 4' awning with text "Persian Restaurant"

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 12 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- N/A Linear feet of building: Front: _____ Secondary front (if corner lot): _____
- Square feet of existing signs to remain: _____
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

OWNERSHIP AND DISCLOSURE STATEMENT
Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. S.H.S Maddahi	1123 King Street. Alexandria, VA 22314	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at _____ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

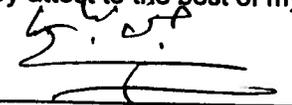
Name	Address	Percent of Ownership
1. S.H.S. Maddahi	1123 King Street.	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. N/A		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

01-04-2012 S.H.S. MADDABI 
Date Printed Name Signature