

Docket Items # 3 & 4  
BAR CASE # 2012-0005 & 0006

BAR Meeting  
February 1, 2012

**ISSUE:** Additions/Alterations  
**APPLICANT:** Thomas Byrne, Applicant  
**LOCATION:** 420 South Lee Street  
**ZONE:** RM/ Residential Townhouse Zone

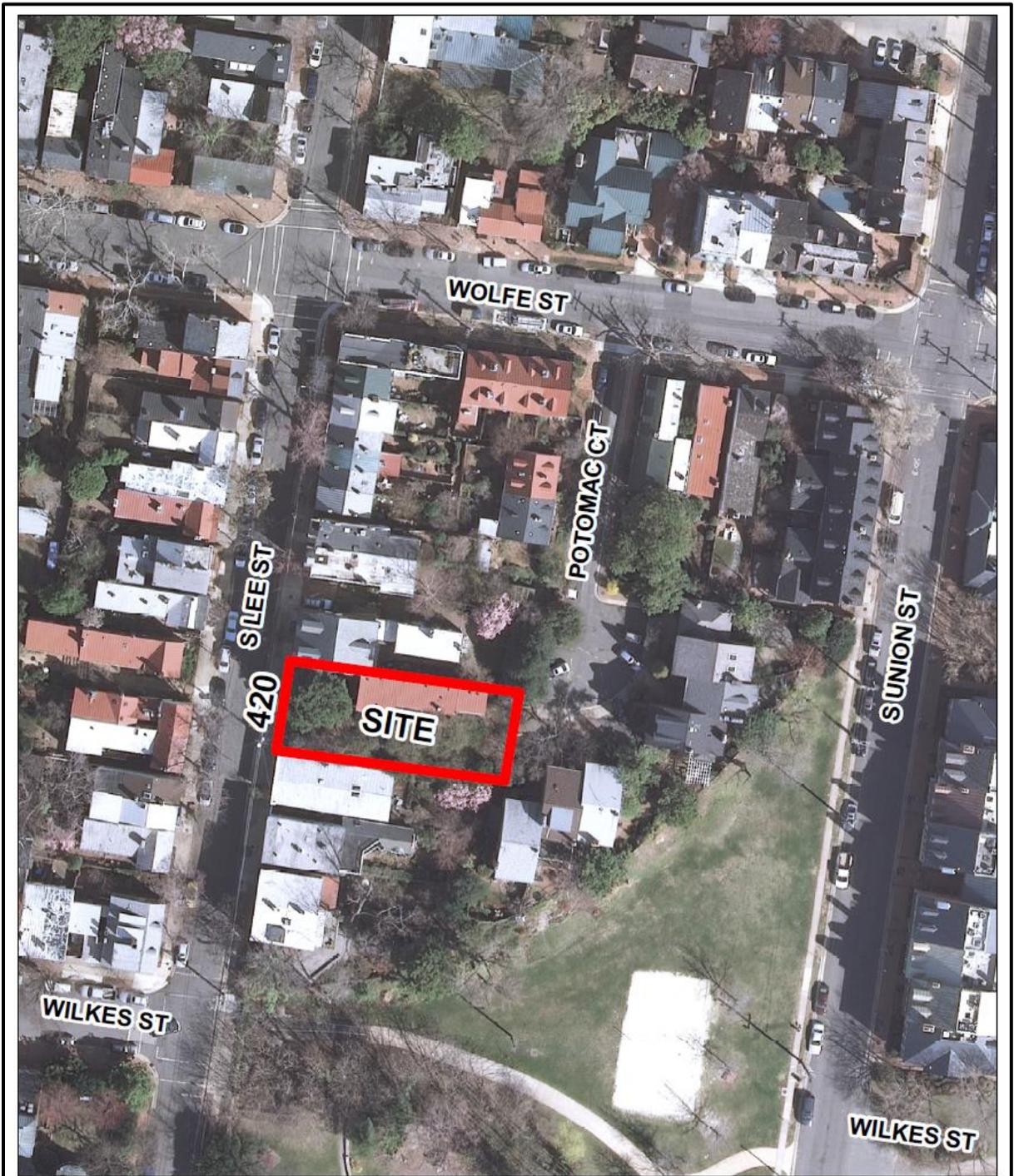
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**STAFF RECOMMENDATION:** Staff recommends approval of the Certificate of Appropriateness with the following conditions:

1. The applicant will contact BAR staff prior to the replacement in-kind of any of the original wood siding.
2. That the manufacturer's cut sheet for the proposed standing seam metal roof will be included in the building permit application.
3. That the new windows will be painted wood SDL and comply with Alexandria's *Window Policy*.

**\*EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of final approval if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

**\*\*BUILDING PERMIT NOTE:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including siding or roofing over 100 square feet, windows and signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.



**BAR CASE #2012-0005**  
**BAR CASE #2012-0006**



Note: Staff coupled the reports for BAR #2012-0005 (Permit to Demolish/Encapsulate) and BAR #2012-0006 (Certificate of Appropriateness) for clarity and brevity. This item requires a roll call vote.

### **I. ISSUE:**

The applicant is requesting approval of a Permit to Demolish and a Certificate of Appropriateness at 420 South Lee Street to:

#### *Permit to Demolish/Encapsulate*

- Remove approximately eight courses of brick on the existing brick knee wall and wrought iron fence along the front property line. This will lower the height of the brick/wrought-iron fence from approximately 80” to approximately 64”.
- Remove the existing aluminum siding on the south elevation of the c1900 rear addition and expose the original wood siding.
- Remove the small non-historic casement window from the south elevation of c1900 rear addition.
- Remove the existing stain glass window from east elevation of the c1900 rear addition

#### *Certificate of Appropriateness*

- Install a new, box bay window on the east (rear) elevation of the c1900 rear addition.
- Install a new, casement window on the south elevation of c1900 rear addition.
- Construct a new, one-story screen porch addition extending from the south elevation of the c1900 rear addition. The screen porch will be constructed with 6x6 chamfered posts set upon a wood tongue and groove deck. The porch will have a 10” skirt board and cornice detailed with an ogee molding, and capped with a low slopped roof sheathed with a rubber membrane.
- Reposition the existing shed in the rear yard and install a new, factory painted, standing seam metal roof.

### **II. HISTORY:**

*Note: This historic context was developed based on Sanborn Map research, information from Ethelyn Cox’s book “Historic Alexandria, Virginia Street by Street” and a brief site visit. As rehabilitation continues on the building, Staff would appreciate the opportunity to inspect the structure during construction to improve our historic documentation of this dwelling.*

This brick and frame dwelling is an example of the evolution of a prominent Alexandria City house. It is believed that the house began as a c1780s outbuilding for the house at 418 S. Lee. The form of this original structure is possibly absorbed into the current main building mass (Period 1).

The two-story, primary mass facing South Lee Street was built in the Federal style by Hugh Smith about 1840 (Period 2).<sup>1</sup> The eight-course American bond, three-bay massing is detailed with a denticulated cornice and keystoned arches.

A two-story, masonry addition which extends from the eastern elevation of the main mass is believed to be the third period of construction. Details include double segmental arches above the first floor windows and a projecting brick cornice (Period 3). During this time it is believed that the Italianate style cast iron window hoods (now removed) and bracketed cornice (remaining) were installed on the main block of the house.

A two-story, frame extension was added to the rear of the masonry addition by **1902**. This early 20<sup>th</sup> century addition is clad with aluminum siding covering its original wood clapboard siding (Period 4). A two-car garage was erected on the property c1920.

It is believed that the addition of the current brick and cast iron fence, the Greek Revival architrave and keystoned arches on the façade and the demolition of the garage were part of a larger renovation project sometime after **1958** (Period 5.)

#### *Previous Approvals*

3/13/1968 Alterations to windows and a door.

#### *Easement*

The Alexandria Historical Restoration and Preservation Commission (AHRPC) holds a scenic, exterior, open space and exterior architectural easement on this property. All alterations to the buildings, new construction and changes to the landscape must be reviewed and approved by the AHRPC. The AHRPC has reviewed the subject project and found that the “work to be done....conform to the Commission’s interpretation of the provisions of the easement the Commission holds on this property.”<sup>2</sup>

### **III. ANALYSIS:**

The proposed alterations comply with zoning ordinance requirements for the RM zone.

#### Permit to Demolish/Encapsulate

In considering a Permit to Demolish/Encapsulation the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B):

- (1) Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?
- (2) Is the building or structure of such interest that it could be made into a historic house?

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<sup>1</sup> Documentation from Ethelyn Cox’s book *Historic Alexandria, Virginia Street by Street*

<sup>2</sup> Excerpt from January 11, 2012 email from Charles Trozzo, Chairman of AHRPC to Al Cox.

- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
- (4) Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?
- (5) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?
- (6) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?

In the opinion of Staff, this late-19<sup>th</sup> century townhouse is architecturally significant, contributes to the overall historic district, and is compatible with nearby historic structures and the streetscape. However, the proposed minor changes to the structure are to features that are not historic (fence) or located at the rear of the building on an early 20<sup>th</sup> century addition with no unusual architectural features, are minimal in scope (porch and window installation) and are designed to be easily reversible in the future.

#### Certificate of Appropriateness

##### **Fence**

The existing mid-19<sup>th</sup> century cast iron fence and brick retaining wall are not original, based on the 1930s photo below. The 1930s wicket and spear fence in the photo likely dates from the late 19<sup>th</sup> century, when the Italianate style cast iron window hoods (now removed) and bracketed cornice (remaining) were installed on the main block of the house (see photo below.) As the existing masonry retaining wall is failing, the applicant proposes to reduce the height of the wall by eight courses of brick and then reinstall the existing cast iron fence to recall the more open original relationship between the front yard and the street. Staff supports this alteration.



*1930's photo*

### **Windows**

The fenestration on the two-story frame extension has been modified over the years. Based on visual evidence, the first floor entry door has relocated from the west to the eastern portion of the wall and a small casement window has been added. Additionally, a stained glass window was installed on the rear elevation by the previous owner. Staff does not object to the proposed installation of the new, double hung, SDL, 2/2 window in the previous entry door's frame (see photo on page 15) and the installation of a new box bay window with standing seam-metal roof. However, based on the age of the addition (c1900), Staff cannot support using the proposed aluminum-clad wood windows. The Board's *Window Policy* states that aluminum-clad wood windows are to be utilized on buildings which were constructed after 1969. Therefore, staff recommends that the Board approve the application with the condition that the applicant install painted wood, 2/2 SDL windows with a 1-1/8" muntin in accordance with the *Window Policy*.

### **Screen Porch**

The *Design Guidelines* specify porches as "important architectural elements especially on residential structures. They can serve as a defining element of an architectural style." In keeping with the recommendations contained in the *Guidelines*, the screen porch is designed as a secondary feature "...allowing the historic structure to maintain the primary visual importance" and "echo the design elements of the existing structure." The proposed screen fabric will be mounted between new, chamfered columns and horizontal wood railings. This architectural detailing is simple in detail and design, while referencing the early 20<sup>th</sup> century period of the addition. Additionally, as the porch will be painted to complement the predominant color of the extension (white), it will blend in to the existing architectural details on the building and not negatively impact the resource as a whole. Finally, the applicant will build the porch so that it abuts the existing ell and is supported by treated wood footings, so that it can be easily unbolted in the future with minimal adverse impact on the house or potential archaeological resources. In the opinion of Staff, the design of the screen porch addition is compatible in style and massing to the existing historic house, and conforms to the *Design Guidelines*.

### **Shed**

Staff has no objections to relocation of the shed. The 56 square foot shed (7'x8') will remain behind the elevation of the building, 3' off the rear property line and will be minimally visible from the street. Additionally, the installation of a new painted metal roof will unify it with the existing building.

Staff recommends that the Board find the application compatible with and sympathetic to the existing historic resource and recommends approval of the Permit to Demolish/Encapsulate and the Certificate of Appropriateness for addition and alterations, with the above stated conditions.

### **STAFF:**

Michele Oaks, Historic Preservation Planner, Planning & Zoning  
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

**V. CITY DEPARTMENT COMMENTS:**

Legend: C – Code Requirement R – Recommendation S – Suggestion F- Finding

Alexandria Archaeology:

**Archaeology Findings:**

1. According to Ethelyn Cox's *Historic Alexandria, Street by Street, A Survey of Existing Early Buildings*, the house on this lot may have been built originally as an outbuilding of Daniel Roberdeau's home at 418 S. Lee. Roberdeau served as a member of the Pennsylvania Committee of Safety during the Revolution and was a delegate to the Continental Congress. When his house was advertised for rent in 1792, outbuildings listed included a kitchen, smoke-house, stables, and carriage house. The property at 420 S. Lee therefore has the potential to yield archaeological resources that could provide insight into domestic activities in 18<sup>th</sup> and 19<sup>th</sup> – century Alexandria.

**Archaeology Recommendations:**

1. The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Demolition, Basement/Foundation Plans, Landscaping, Erosion and Sediment Control, Grading, Utilities and Sheeting and Shoring) so that on-site contractors are aware of the requirements:

a. The applicant/developer shall call Alexandria Archaeology (703/838-4399) two weeks before the starting date of any ground disturbance so that an inspection schedule for city archaeologists can be arranged.

b. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.

c. The applicant/developer shall not allow any metal detection or other artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology.

Code Administration:

F-1 The review by Code Administration is a preliminary review only. Once the applicant has filed for a building permit, code requirements will be based upon the building permit plans. If there are any questions, the applicant may contact Ken Granata, Acting Plan Review Supervisor at [ken.grananata@alexandriava.gov](mailto:ken.grananata@alexandriava.gov) or 703-746-4193. (Code)

- C-1 A building permit is required for this project. Five sets of architectural quality drawings shall accompany the permit applications that fully detail the construction/alteration shall accompany the permit application(s).
- C-2 New construction must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-3 Alterations to the existing structure must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-4 The height of the porch above grade is not shown. If > 30" above finished grade porches must have guardrails on open sides. Guardrails and intermediate rails must comply with USBC.
- C-5 The drawings do not show steps or stairs. Stairs must comply with USBC. Stairways of 3 or more risers require handrails.
- C-6 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to Code Enforcement that will outline the steps that will be taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.
- C-7 Sheeting and shoring shall not extend beyond the property line; except when the developer has obtained a written release from adjacent property owners which has been recorded in the land records; or through an approved encroachment process.
- C-8 Permission from adjacent property owners is required if access to the adjacent properties is required to complete the proposed construction. Otherwise, a plan shall be submitted to demonstrate the construction techniques utilized to keep construction solely on the referenced property.
- C-9 Window manufacturer specification, opening size of each window and lintel size for new or replacement windows when the original opening is smaller than the replacement window shall be provided upon submission for a building permit.

Transportation & Environmental Services (T&ES):

**RECOMMENDATIONS**

- R1. The building permit must be approved and issued prior to the issuance of any permit for demolition. (T&ES)

- R3. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R4. All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (T&ES)
- R5. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on all plans. (T&ES)

#### **CITY CODE REQUIREMENTS**

- C-1 Roof, surface and sub-surface drains shall be connect to the public storm sewer system, if available, by continuous underground pipe. Where a storm sewer is not available, the applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (5-6-224) (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-4 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C5. Any work within or performed from the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)





Figure 2: Proposed South Façade of Frame Extension



**Figure 3: Proposed East (Rear) Façade of Frame Extension**

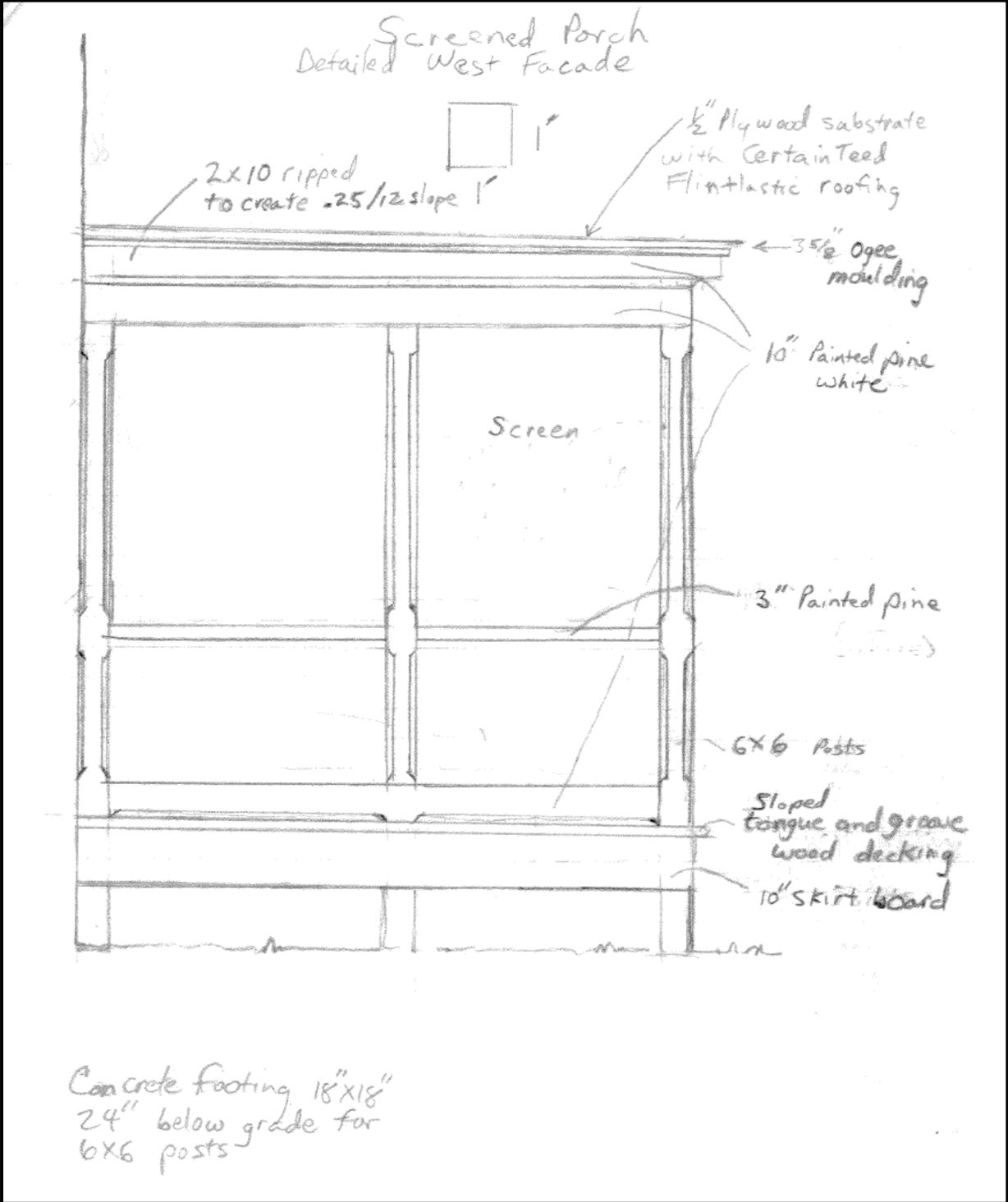


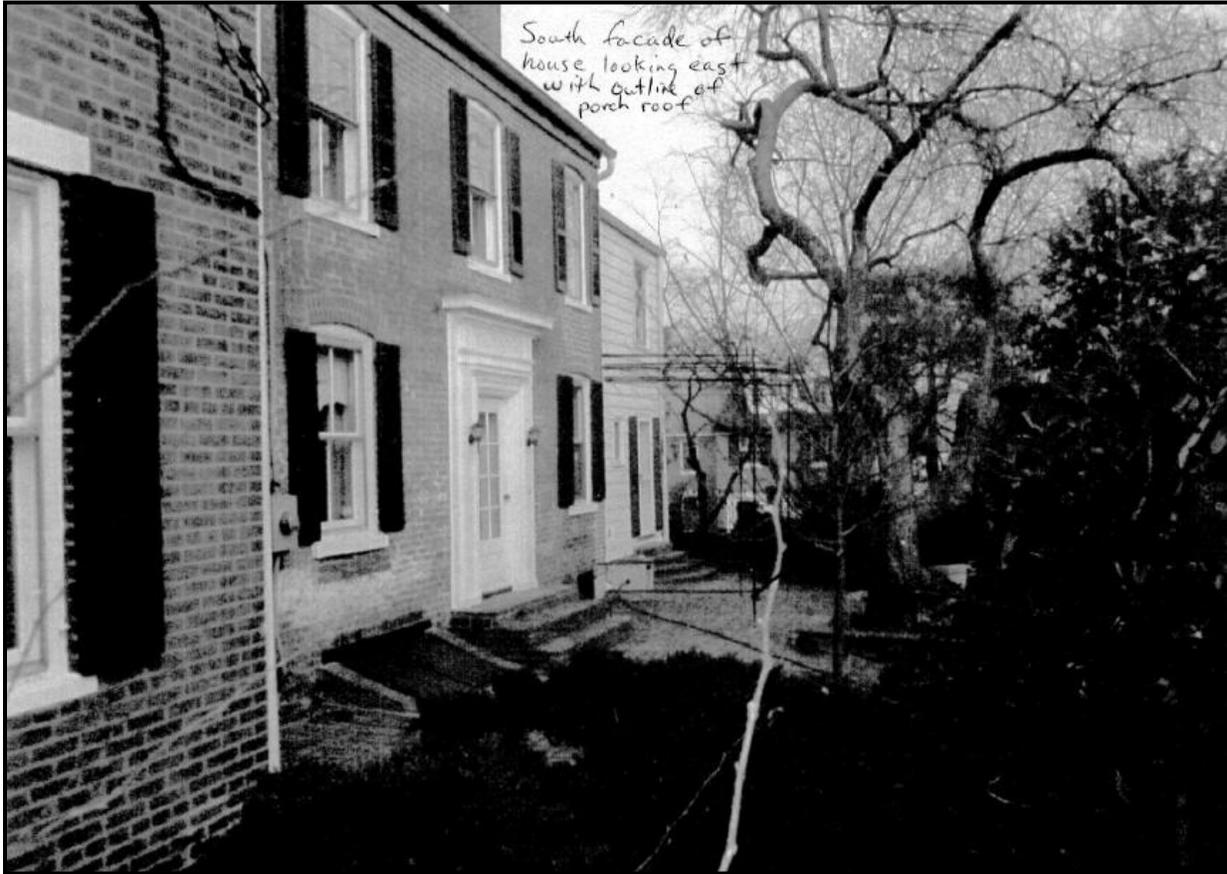
Figure 4: Proposed Screen Porch Detail



Figure 5: Existing Front Facade



**Figure 6: View of Existing Masonry Addition and Frame Extension**



**Figure 7: View of South elevation of house looking East with outline of proposed porch on extension**



Figure 8: View of East (Rear) elevation of house



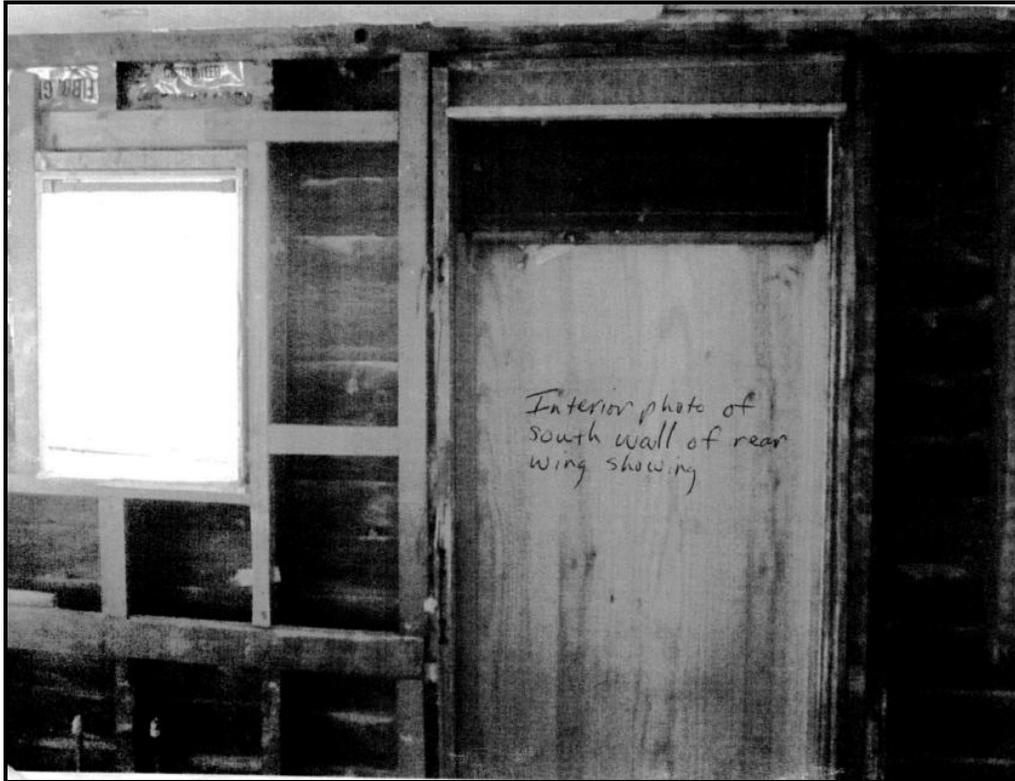
Figure 9: View of South elevation of house – location of proposed screen porch



**Figure 10: Existing conditions of Front Fence**



**Figure 11: Existing conditions of Shed to be Re-located**



**Figure 12: Interior View of Original Location of Entry Door on Frame Extension  
(Proposed Location of New, 2/2 Double Hung Window)**

ADDRESS OF PROJECT: 420 S. Lee St.

TAX MAP AND PARCEL: 075.03-08-28 ZONING: RM

APPLICATION FOR: (Please check all that apply)

[X] CERTIFICATE OF APPROPRIATENESS

[X] PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH (Required if more than 25 square feet of a structure is to be demolished/impacted)

[ ] WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

[ ] WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT (Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: [X] Property Owner [ ] Business (Please provide business name & contact person)

Name: Thomas Byrne

Address: 311 S. Lee St.

City: Alexandria State: VA Zip: 22314

Phone: 703 387 3008 E-mail: teb@topofthetown.com

Authorized Agent (if applicable): [ ] Attorney [ ] Architect [ ]

Name: Phone:

E-mail:

Legal Property Owner:

Name: Thomas and Amanda Byrne

Address: 311 S. Lee St

City: Alexandria State: VA Zip: 22314

Phone: 703 535 6656 E-mail: teb@topofthetown.com

- [X] Yes [ ] No Is there an historic preservation easement on this property?
[ ] Yes [ ] No If yes, has the easement holder agreed to the proposed alterations?
[ ] Yes [X] No Is there a homeowner's association for this property?
[ ] Yes [ ] No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

**NATURE OF PROPOSED WORK:** *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
  - awning
  - doors
  - lighting
  - other \_\_\_\_\_
  - fence, gate or garden wall
  - windows
  - pergola/trellis
  - HVAC equipment
  - siding
  - painting unpainted masonry
  - shutters
  - shed
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

**DESCRIPTION OF PROPOSED WORK:** *Please describe the proposed work in detail (Additional pages may be attached).*

Removal of 3 course of brick from front wall (along Lee St.)  
Replacement of stained glass window on east facade of rear wing with big window  
Relocation of wood shed and replacement of shed roof with 16" panel metal roof (ced)  
Removal of aluminum siding and small casement window from south facade of rear wing and addition of new casement window and screened porch

**SUBMITTAL REQUIREMENTS:**

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

**Demolition/Encapsulation :** *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

**Additions & New Construction:** Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 12 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- N/A Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_
- Square feet of existing signs to remain: \_\_\_\_\_
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** Check N/A if an item in this section does not apply to your project.

- N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

**ALL APPLICATIONS:** *Please read and check that you have read and understand the following items.*

- I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 12 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**

Signature: Thomas E. Byrne  
Printed Name: Thomas E. Byrne  
Date: 1/3/12

**OWNERSHIP AND DISCLOSURE STATEMENT**  
Use additional sheets if necessary

**1. Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

	Name	Address	Percent of Ownership
1.	Thomas E. Byrne	311 S. Lee St	50
2.	Amanda V. Byrne	311 S. Lee St	50
3.			

**2. Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at 420 S Lee St (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

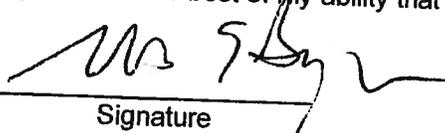
	Name	Address	Percent of Ownership
1.	Thomas E Byrne	311 S. Lee St	50
2.	Amanda V. Byrne	311 S Lee St	50
3.			

**3. Business or Financial Relationships.** Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

	Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.	None		
2.			
3.			

**NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.**

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

11/3/12      Thomas E. Byrne      

Date                      Printed Name                      Signature