

Docket Item # 4  
BAR CASE # 2012-0034

BAR Meeting  
March 7, 2012

**ISSUE:** Alterations (skylight)

**APPLICANT:** Doug Frantz and Catherine Collins by Gayland French

**LOCATION:** 1117 Prince Street

**ZONE:** RM / Residential

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**STAFF RECOMMENDATION:** Staff recommends approval of the Certificate of Appropriateness as submitted.

**\*\*EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

**\*\*BUILDING PERMIT NOTE:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.



**CASE BAR2012-00034**



**I. ISSUE:**

The applicant is requesting approval of a Certificate of Appropriateness to install a single skylight measuring 22 inches by 46 inches (approximately 6.9 square feet) on the rear (north) elevation roof. The proposed Velux skylight will have a flat profile. The skylight will be installed between the existing roof rafters and to the east of an existing dormer. The proposed skylight will be visible only from the public alley to the rear of the subject property.

**II. HISTORY:**

The townhouse at 1117 Prince Street is a two and a half story brick townhouse which was constructed in 1816-1818 along with 1113 and 1115 Prince Street, according to Ethelyn Cox in *Historic Alexandria Street by Street*.

In 2011, BAR Staff administratively approved a roof replacement and rear dormer window replacement (BAR Case #2011-0331).

**III. ANALYSIS:**

The proposal complies with Zoning Ordinance requirements.

The *Design Guidelines* state the “skylights should be located on the least visually prominent section of the roof” and “should not be located on a section facing the street.” Furthermore, the *Guidelines* note that “low or flat profile glass skylights are preferred.” In the opinion of Staff, the proposed skylight is a sensitive and minimally visible alteration that is consistent with the *Design Guidelines*.

Staff recommends approval of the Certificate of Appropriateness as submitted.

**STAFF:**

Catherine Miliaras, Historic Preservation Planner, Planning & Zoning  
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

**IV. CITY DEPARTMENT COMMENTS**

Legend: C - code requirement R - recommendation S - suggestion F- finding

**Code Administration**

- F-1 The review by Code Administration is a preliminary review only. Once the applicant has filed for a building permit, code requirements will be based upon the building permit plans. If there are any questions, the applicant may contact Ken Granata, Acting Plan Review Supervisor at [ken.granata@alexandriava.gov](mailto:ken.granata@alexandriava.gov) or 703-746-4193.
- C-1 A building is required for this project. Five sets of *construction documents* that fully detail the construction shall accompany the permit application.
- C-2 Alterations to the existing structure must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-3 All exterior walls shall comply with Table R302.1 of the 2009 USBC.

Transportation & Environmental Services

**RECOMMENDATIONS**

- R1. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R2. All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (T&ES)

**CITY CODE REQUIREMENTS**

- C-1 Roof, surface and sub-surface drains shall be connect to the public storm sewer system, if available, by continuous underground pipe. Where a storm sewer is not available, the applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (5-6-224) (T&ES)
- C-2 The building permit plans shall comply with requirements of City Code Section 5-6-224 regarding the location of downspouts, foundation drains and sump pumps. (T&ES)
- C-3 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-6 Any work within or performed from the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)

**V. IMAGES**



**Figure 1. Front (south) elevation.**



Figure 2. View of rear (north) elevation from alley.



Figure 3. Location of proposed skylight.

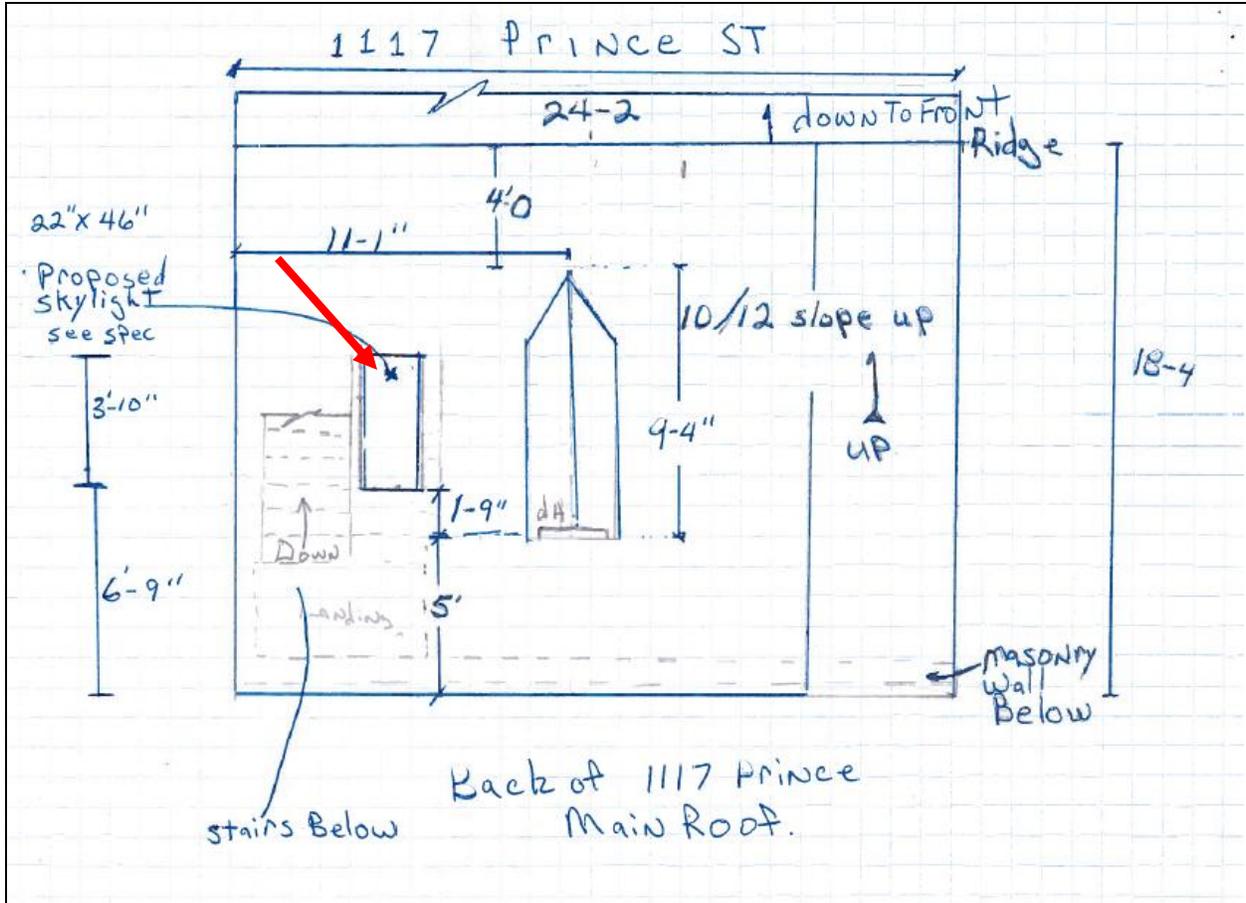
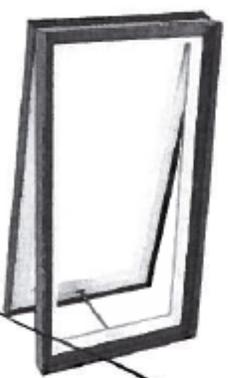


Figure 4. Rear roof diagram showing location of proposed skylight.



**Manual venting curb mounted skylight (VCM)**

Designed for curb mounted installations, the VCM manual venting skylight enables any home to embrace the best of what nature has to offer. Opening for maximum fresh air, the venting skylight contributes to a home's proper moisture balance and comfort level by allowing stale, humid air to be released.



The VCM skylight meets ENERGY STAR® approval guidelines for energy efficiency in all climatic regions of the US.

**Manual components**  
 The VCM package includes the operator hook and insect screen.

**Installation slope**  
 The VCM skylight installs on site-built curbs with slopes between 0° (flat or 0:12) and 60° (20:12).

**Blinds**

**Next steps**  
[Dealer & installer locator](#)

**Related areas**  
[VCM CAD files](#)  
[VCM instructions](#)  
[VCM sizes](#)  
[Inspirational images](#)  
[Other flat roof solutions](#)  
[ENERGY STAR® site](#)

Figure 5. Skylight specifications.

ADDRESS OF PROJECT: 1117 Prince st Alexandria.

TAX MAP AND PARCEL: Q 7401 RTA ZONING: RM

-04-26

APPLICATION FOR: (Please check all that apply)

- CERTIFICATE OF APPROPRIATENESS
- PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
(Required if more than 25 square feet of a structure is to be demolished/impacted)
- WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)
- WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT  
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant:  Property Owner  Business (Please provide business name & contact person)

Name: Doug Frantz / Catherine Collins.

Address: 1117 Prince st.

City: Alexandria State: Va - Zip: 22314

Phone: 703-517-7589 E-mail: frantzfiles@gmail.com Collinstiles@gmail.com

Authorized Agent (if applicable):  Attorney  Architect  Contractor

Name: Gayland French GFI Phone: 703-517-7589

E-mail: Gayland@Frenchremodel.com

Legal Property Owner:

Name: Doug Frantz / Catherine Collins.

Address: 1117 Prince st

City: Alexandria State: Va . Zip: 22314

Phone: 703-517-7589 E-mail: gayland@Frenchremodel.com.

- Yes  No Is there an historic preservation easement on this property?
- Yes  No If yes, has the easement holder agreed to the proposed alterations?
- Yes  No Is there a homeowner's association for this property?
- Yes  No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

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**NATURE OF PROPOSED WORK:** *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
  - awning
  - fence, gate or garden wall
  - HVAC equipment
  - shutters
  - doors
  - windows
  - siding
  - shed
  - lighting
  - pergola/trellis
  - painting unpainted masonry
  - other
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

*skylight on back roof facing alley 22"x46" 6.9 #*

**DESCRIPTION OF PROPOSED WORK:** *Please describe the proposed work in detail (Additional pages may be attached).*

*install (1) UCM Velux Skylight, # UCM 2246  
 on Rear Roof Facing Alley. / cut 22" X 49 opening  
 into roof and ceiling of staircase below.  
 install skylight between roof rafters. Patch sheetrock  
 and paint as needed. Flash and waterproof.*

**SUBMITTAL REQUIREMENTS:**

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

**Demolition/Encapsulation :** *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- <sup>N/A</sup>  Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

**Additions & New Construction:** Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 12 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- <sup>N/A</sup> Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- <sup>N/A</sup> Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_.
- Square feet of existing signs to remain: \_\_\_\_\_.
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** Check N/A if an item in this section does not apply to your project.

- <sup>N/A</sup> Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

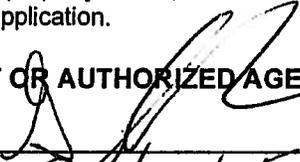
**ALL APPLICATIONS:** Please read and check that you have read and understand the following items:

- I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 12 sets of revised materials.

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The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**

Signature:   
Printed Name: Gayland Frenol  
Date: 2-4-12

**OWNERSHIP AND DISCLOSURE STATEMENT**

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. <i>NA</i>	<i>1117 Prince st</i>	<i>100%</i>
2. <i>Doug Frantz</i>	<i>Alexandria Va.</i>	
3. <i>Catherine Collins</i>		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at \_\_\_\_\_ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. <i>Doug Frantz</i>	<i>1117 Prince st</i>	<i>Husband/wife.</i>
2. <i>Catherine Collins</i>	<i>Alexandria Va</i>	<i>100%</i>
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. <i>NA</i>		
2.		
3.		

**NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.**

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

*2-4-12*  
Date

*Gayle French*  
Printed Name

*[Signature]*  
Signature