

BAR Meeting
March 7, 2012

ISSUE: Partial Demolition, Addition and Alterations

APPLICANT: Alabama Avenue, LLC (Stephen Kulinski, AIA, Agent)

LOCATION: 211 Gibbon

ZONE: RM / Residential

STAFF RECOMMENDATION:

Staff recommends approval of the Permit to Demolish and Certificate of Appropriateness for an Addition with the following conditions:

1. That the applicant is strongly encouraged to salvage and re-use the first period interior historic fabric on site, including doors, trim, hardware and mantels.
2. That the chimney is retained above the roofline and not demolished.
3. That all the trim on the addition including balustrades are fabricated out of a smooth finish, paintable synthetic/composite wood solid-through-the-core high-quality material.
4. That the cement-fiber siding to be installed on the addition have a smooth finish.
5. The statements below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements.
 - The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
 - The applicant/developer shall not allow any metal detection or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology.

BOARD ACTION, February 15, 2012: Deferred for restudy of the two-story porch on the rear addition, 6-1.

SPEAKERS

Stephen Kulinski, architect, spoke on behalf of the application. Mr. Kulinski summarized the application and noted that the applicant has agreed to the staff recommended conditions.

John Hynan, Historic Alexandria Foundation, favored of the portions of the application which rehabilitated and salvaged the historic fabric of the building. He noted that the Foundation did not believe that there was a strong enough delineation between the historic house and the addition.

Ellen Holland, owner at 215 Gibbon, expressed her concern with the size of the addition as she felt it would overwhelm her front entry. She requested that the two-story porch be reduced to a one-story porch and that the side yard setback be increased. She also suggested that a high hedge-row could be planted between the properties to buffer the new addition. Ms. Holland concluded by stating concern for her existing trees and the potential impacts the construction will have on their health.

Mark Spartan, owner at 209 Gibbon, expressed support for the relocation of the front door. He questioned the exterior siding which would adjoin his property the rear. Mr. Kulinski confirmed that the siding would be 5" reveal, Hardie fiber cement siding. Mr. Spartan concluded with supporting the proposed water drainage plan.

BOARD DISCUSSION

Mr. Neale began the discussion by stating that the addition was well designed and felt that the mass was not overwhelming. He noted that it was well removed from the street. He supported the selection of materials, but questioned the need for the retention of the fireplace and relocation of the front door.

Mr. Keleher would like to see the addition reduced in size but supports the staff recommendation to retain the chimney.

Mr. Smeallie supported the design, however was concerned about the impact of the addition on the neighbor. He encouraged the architect to restudy and provide additional room at the neighbor's front entrance.

Dr. Fitzgerald favored the design as submitted. He supported the staff recommendation to retain the chimney and commended the applicant's proposal to restore the original house.

Mr. von Senden supported staff recommendations and felt that the proposal would be consistent with the rhythm of the streetscape.

Mr. Carlin expressed concern with the massing and favored reducing the two-story porch to a one-story porch.

Mr. von Senden made a motion to approve the Staff recommendation. Mr. Fitzgerald seconded the motion. Mr. Smeallie offered a friendly amendment requesting that the Board defer the motion and that the applicant work to alter their design of the two-story porch to a one-story porch. Mr. Carlin also offered a friendly amendment adding that the architect should have the opportunity to change the design with aesthetics not necessarily volumetric changes. The Board motion for restudy was 6-1.

***EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of final approval if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

****BUILDING PERMIT NOTE:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including siding or roofing over 100 square feet, windows and signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.



**BAR CASE #2012-0016 &
BAR CASE #2012-0017**



*Note: Staff coupled BAR #2012-0016 (Permit to Demolish/Encapsulate) and BAR #2012-0017 (Certificate of Appropriateness) for clarity and brevity. This item requires a roll call vote.

UPDATE:

At the February 15, 2012 hearing, the Board deferred this item for further study of the proposed two-story porch to offset its impact on the adjacent neighbor's side entry door. The Board recommended that the two-story porch be reduced in scale to a one-story porch.

The applicant has responded to the Board's requests and altered the design by:

1. Reducing the two-story porch to a one-story hipped roof porch.
2. Changing the two, full-light wood doors on the second floor of the addition's south elevation to two, 1/1 wood windows.
3. Retaining an original window in its current location the second floor of the west elevation of the c1915 addition.
4. Retain the existing historic chimney above the roofline in its current configuration/location.

Changes to the previous staff report are noted in **bold** below.

I. ISSUE

The applicant is requesting approval of a Permit to Demolish/Encapsulate and Certificate of Appropriateness for the construction of new additions at 211 Gibbon Street.

The Permit to Demolish/Encapsulate consists of:

- Removal of the non-historic rear, two-story sunroom/bathroom extension.
- Demolition of the existing shed and covered parking structure at the rear of the property.
- Encapsulation of the existing rear and 7'- 4" of the side elevations of the c1915 addition.
- Demolition of the existing roof-structures on the c1900 hyphen and c1915 addition.
- Demolition of the west wall of the c1900 hyphen.
- Removal of **most of** the existing windows on the first and second floors of c1915 addition's west, east and north elevations. **A window on the second floor will be retained in situ in the revised design.**

The Certificate of Appropriateness consists of:

- Expansion of the existing house by the construction of a two-story 1,919 sq. ft. addition.

The proposed addition is designed to accommodate a family room with large eat-in kitchen and covered porch on the first floor and a master bedroom on the second floor. The addition will feature 1/1 double-glazed, aluminum-clad wood, windows on the first and second floors and the historic blocks will contain either salvaged wood windows or painted, wood 2/2 windows. The addition will be clad with new 5" reveal Hardie brand lap siding with 5/4 x 4 wood composite corner boards and detailed with wood composite balustrades, fiberglass columns, painted aluminum gutters and

downspouts, and bronze lantern light fixtures. The entire building will be sheathed with a new, standing seam metal roof.

- Relocation of the original, double-arched, four-panel entry door and door surround to its original location on the front façade.
- Removal of the window on the front façade and relocate it to the opening left by the entry door on the side elevation
- Removal of a 6/6 window on second floor of west elevation of c1880 main block and replace with a salvaged sash.
- Reconstruction of the west wall of the c1900 hyphen utilizing some of the salvaged glazing from c1915 addition, new 2/2 painted wood windows and a new six-panel wood door.
- Removal of the existing aluminum siding. Restoration the existing German lap siding on the historic portions of the building.
- Installation of two sets of brick piers and gates along the side yard. The top of the brick piers and the arch detail will only be visible from the front ROW.
- Installation of a masonry parking pad at the rear of the property
- Removal of the existing wrought iron gate and replace with a new, wrought iron arched gate.
- Installation of new, wood, two-panel operable louvered shutters on the main block (c1880) of the house.

II. HISTORY

Historic Context

The house at 211 Gibbon Street was built **c1880**. The 1902 Sanborn Map illustrates a two-story frame dwelling and a two-story addition fashioning a wood shingle roof. A one-story frame extension with metal roof extends from the rear elevation. A one-story frame outbuilding is shown at the rear of the property. Nineteen years later, in 1921, the Sanborn Maps illustrate the building had been altered by encapsulating the one-story extension into a two-story frame addition. The only other changes to the property at this time were the construction of a one-story outbuilding in the side yard. By 1941, the property was subdivided into two separate lots, with the house and rear outbuilding occupying the primary lot and the one-story outbuilding which was previously in the side-yard, occupying the adjacent lot. In 1963, according to City Building Permit records (#20077, 11/19/63), the rear sunroom/bathroom extension was constructed. It is believed at this time the existing aluminum siding was added to the house and the front door was relocated from the principal façade to the west elevation of the main block.

Description of the Existing Building

The two-story frame, side-gabled, Victorian period dwelling (**c1880**) is set upon a brick foundation. Its original details include 2/2 wood windows with pedimented window frames on the first floor, an arched, four-panel door with an ornate door surround featuring a bracketed hood, dentils, and pilasters (previously relocated in the mid-20th century and currently located on the west (side) elevation) and a bracketed cornice (Period 1.) A two-story, shed roof, hyphen (**c1900**) extends from the north (rear) elevation of the main block and fashions 2/2 windows on the first story and a 6/6 window on the second (Period 2). A two-story shed roof frame addition (**c1915**) extends from the

north (rear) elevation of the hyphen. This addition also is detailed with original 2/2 windows on the first and second floors. A two-story sunroom/bathroom extension was constructed in **1963**.

The subject property faces south and its front property wall encroaches into the ROW approximately one-foot. The property is partially enclosed with a six-foot high wood fence and contains several overgrown trees and shrubs and is bordered at the rear by a private alley.

Previous BAR Approvals

Staff was unable to locate any recent BAR cases for this address.

III. ANALYSIS

The proposed additions and alterations comply with zoning ordinance requirements for the RM zone. Staff has no objection to the proposed encapsulation and demolition of portions of the north (rear) and west (side) elevations and generally finds the proposed additions and alterations to be compatible with the existing building and surrounding area.

Permit to Demolish

In considering a Permit to Demolish, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B):

- (1) Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?
- (2) Is the building or structure of such interest that it could be made into a historic house?
- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
- (4) Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?
- (5) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?
- (6) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?

The scope of the proposed demolition of the building exterior is minimal and part of a larger restoration that will return the c1800 historic block to its original appearance. The re-construction of a wall and the re-configuration of the roof form is a common and typical type of alteration that allows buildings throughout the historic districts to be reconfigured for contemporary lifestyles. Additionally, the existing hyphen wall or the shed roof form is not of such unusual or uncommon design, texture and or material that it could not be easily reproduced. Furthermore, Staff notes that a mid-20th century shed and covered parking structure will be demolished at the rear of the property to provide for two on-site parking spaces fabricated from pavers accessed from the private alley. Staff has no objections to the demolition of these structures as they do not contribute to the significance of the building or property.

In Staff's opinion, none of the criteria for demolition and encapsulation are met and the Permit to Demolish should be granted.

Alterations

Staff supports the proposed alterations, noting that the majority of the alterations will be sensitive restorations of original or character-defining features, including returning the historic entry to the front elevation, removing the aluminum siding, exposing the original German siding, salvaging and re-using historic sash in original openings, and re-installing operable shutters on the historic main block. Where new elements are proposed, Staff finds the materials to be consistent with the *Design Guidelines*, as traditional light and fenestration patterns are being maintained, architectural detailing salvaged, restored, or compatible and the materials utilized historically appropriate to a late 19th century Victorian dwelling.

Addition

The construction of an addition to any building within a historic district must be evaluated not only for its impact on the building to which it is being attached, but also for its impact on the district as a whole. A design for any addition should respect the architectural heritage of the historic structure by creating subtle delineations between the historic house and the new additions. It should also not overwhelm the existing structure and must be sympathetic to the traditional street and building patterns within the district, including patterns of height, massing and roof pitch. The *Design Guidelines* also encourage designs for new additions that are “respectful of the existing structure and which seek to be background statements or which echo the design elements of the existing structure.”

As the attached drawings illustrate, although set back 46 feet from the front property line, the addition will be clearly visible from Gibbon Street. The proposed addition's mass and scale are compatible to the existing Victorian style of the house and are sympathetic to the existing development patterns along the street. However, the proposed alterations and two-story addition will require the encapsulation of the north (rear) wall and 7 feet 4 inches of the c1915 addition's west wall and the reconstruction of the c1900 hyphen's west wall (see illustration below.)

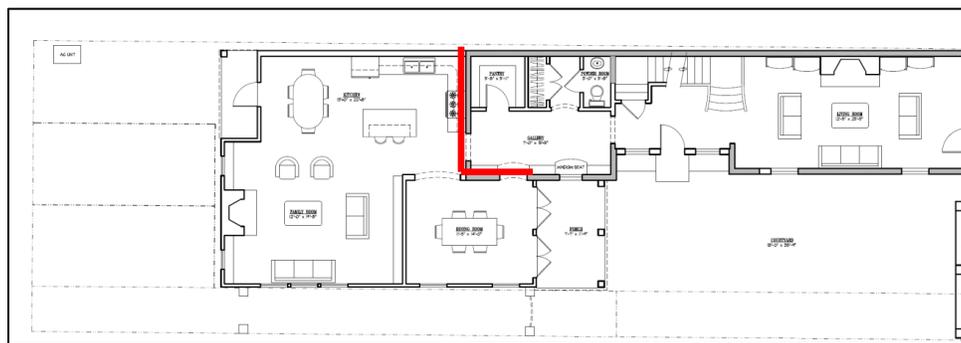


Illustration showing walls to be Encapsulated

In addition, the existing roof form of the hyphen and addition will be altered from its existing shed form to a cross gable in order to tie into the new addition. Based on Staff's analysis of the site and its current conditions, the proposed alterations to the existing roof forms are necessary in

order to provide positive drainage for the building. The changes are being proposed for the secondary roof forms and the alterations will not affect the original c1880s side-gable roof structure (See Figures 11 & 12.)

The revised design for the full-width porch from a two-story porch to a one-story porch accomplishes several goals. First, the smaller mass reduces the impact of the addition on the adjacent neighbor. Second, it exposes more wall area of the historic the dwelling to view from the street.

The proposed rear elevation, as viewed from the private alley is awkward, however, this design was utilized order to keep the ridge of the addition understated and maintain the hierarchy in the building masses. This elevation will not visible from a public ROW and will only be visible from a private alley.

Finally, the utilization of 1/1 painted windows, 5” reveal Hardie lap siding, fiberglass columns, and composite trim on the new addition will provide a differentiation treatment which will distinguish the new addition from the historic block’s details including the 2/2 windows, German siding and wood trim. As a general preservation philosophy, retention and restoration of original fabric on the historic portion of the building, and the use of modern, but compatible, materials on the addition is being practiced throughout. Staff feels that the amount of differentiation proposed is sufficient for this simple, Victorian dwelling.

In Staff’s opinion, the revisions to the proposed addition are appropriate and compatible with the main portions of the historic house in terms of mass, scale, height, and architectural expression and do not negatively impact the integrity of the historic resource or its adjacent historic resources.

Staff visited the site with the applicant several times to establish the building’s construction chronology and to evaluate the proposed alterations. During those visits, Staff observed that the much of the original first period trim, including interior doors, hardware and the mantel, was extant in the main block. While this is outside the purview of the BAR, Staff strongly encouraged the applicant to salvage and re-use these building materials in their new design, not only because these materials establish the historic provenance of the building and increase its historic value in Alexandria, but salvaging these materials is also good green building practice.

Staff recommends approval of the Permit to Demolish/Encapsulate and the Certificate of Appropriateness for an addition and alterations with the conditions noted above.

STAFF

Michele Oaks, Historic Preservation Planner
Al Cox, FAIA, Historic Preservation Manager

IV. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

P&Z Zoning:

- C-1 Proposed addition complies with zoning.
- C-2 Indicate dimension of setback from west side property line on plans submitted for building permit. Must be 5' on a lot of record with a lot width of less than 35'.
- F-1 The applicant is proposing to demolish the existing garage, but will provide 2 off-street parking spaces at the rear of the property. The RM zone allows one of those parking spaces to be counted towards the required open space.

Code Administration

The following statements are those most commonly used in the review of BARs, BZAs, SUPs, SITE PLANS, and SUBDIVISIONS:

Plan Review

- F-1 The review by Code Administration is a preliminary review only. Once the applicant has filed for a building permit, code requirements will be based upon the building permit plans. If there are any questions, the applicant may contact Ken Granata, Acting Plan Review Supervisor at ken.granata@alexandriava.gov or 703-746-4193.
- C-1 Building and trades permits are required for this project. Five sets of *construction documents* sealed by a *Registered Design Professional* that fully detail the construction as well as layout and schematics of the mechanical, electrical, and plumbing systems shall accompany the permit application(s)
- C-2 New construction must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-3 Alterations to the existing structure must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-4 Before a building permit can be issued on any proposed future alterations, a certification is required from the owner or owner's agent that the building has been inspected by a licensed asbestos inspector for the presence of asbestos.
- C-5 A soils report must be submitted with the building permit application.
- C-6 All exterior walls shall comply with Table R302.1 of the 2009 USBC (2009 IRC as amended).
- C-7 The height of the porch above grade is not shown. If > 30" above finished grade porches must have guardrails on open sides. Guardrails and intermediate rails must comply with USBC.
- C-8 Stairs must comply with USBC. Stairways of 3 or more risers require handrails.

- C-9 Electrical wiring methods and other electrical requirements must comply with the Virginia Residential Code and/or NFPA #70, 2008
- C-10 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to Code Enforcement that will outline the steps that will be taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.
- C-11 Roof drainage systems must be installed so as neither to impact upon, nor cause erosion/damage to adjacent property.
- C-12 Roof drainage must not run toward adjacent property. If the footprint area of the addition: (1) exceeds the footprint area of the existing structure, or (2) the roof drainage of the existing structure is hard piped, or (3) the roof drainage from the addition will cause erosion or damage to an adjacent property, then run-off water must be hard piped (schedule 40 PVC pipe; ≥ 3 " in diameter) to the storm, sewer, inlet box, building sub drain, street flume or curb.
- C-13 Sheeting and shoring shall not extend beyond the property line; except when the developer has obtained a written release from adjacent property owners which has been recorded in the land records; or through an approved encroachment process.
- C-14 All exterior walls within 5 feet from an interior property line shall have a fire resistance rating of 1 hour, from both sides of the wall. As alternative, a 2 hour fire wall may be provided. This condition is also applicable to skylights within setback distance. Openings in exterior walls between 3 and 5 feet shall not exceed 25% of the area of the entire wall surface (This shall include bay windows). Openings shall not be permitted in exterior walls within 3 feet of an interior lot line.
- C-15 Permission from adjacent property owners is required if access to the adjacent properties is required to complete the proposed construction. Otherwise, a plan shall be submitted to demonstrate the construction techniques utilized to keep construction solely on the referenced property.
- C-16 A wall location plat prepared by a land surveyor is required to be submitted to this office prior to requesting any framing inspection.
- C-17 A Certificate of occupancy shall be obtained prior to any occupancy of the building or portion thereof, in accordance with USBC 116.1 and/or USBC 113.8
- C-18 Service utility connections shall be discontinued and capped for the demolition portion of the project per USBC.
- C-19 Provisions shall be made to prevent the accumulation of water or damage to any foundation on the premises or adjoining property (USBC 3303.5).

Transportation and Environmental Services (T & ES):

FINDINGS:

- F1. The alley located at the rear of the building is a Public Alley. It is advised that if any work is to be performed from the alley that the applicant contact T&ES, Construction & Inspection at (703) 746-4035 to discuss any permits and accommodation requirements that will be required. (T&ES)
- F2. An approved grading plan may be required at the time of building permit application per City Code Section 5-6-224 (d). Insufficient information has been provided to make that determination at this time. Questions regarding the processing of grading plans should be directed to the T&ES Site Plan Coordinator at (703) 746-4064. Memorandum to Industry No. 02-08 was issued on April 28, 2008 and can be viewed online via the following link. **<http://alexandriava.gov/uploadedFiles/tes/info/gradingPlanRequirements.pdf>**

RECOMMENDATIONS

- R1. The building permit must be approved and issued prior to the issuance of any permit for demolition. (T&ES)
- R2. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R3. All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (T&ES)
- R4. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on all plans. (T&ES)
- R5. An erosion and sediment control plan must be approved by T&ES prior to any land disturbing activity greater than 2,500 square feet. (T&ES)

CITY CODE REQUIREMENTS

- C-1 Any work within or performed from the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-4 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99).

(T&ES)

- C5. Roof, surface and sub-surface drains shall be connect to the public storm sewer system, if available, by continuous underground pipe. Where a storm sewer is not available, the applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (5-6-224) (T&ES)

V. IMAGES



Figure 1: Existing Front Elevation – Streetscape View



Figure 2: Existing Front Elevation



Figure 3: Existing Condition Views of West Elevation



Figure 4: Existing Conditions View of West Elevation



Figure 5: View of Front Brick/Iron Garden Fence



Figure 6: View of Existing Front Entry Door and Surround



Figure 7: Digital Illustrative of Proposal



Figure 8: Digital Illustrative of the Revised Proposal

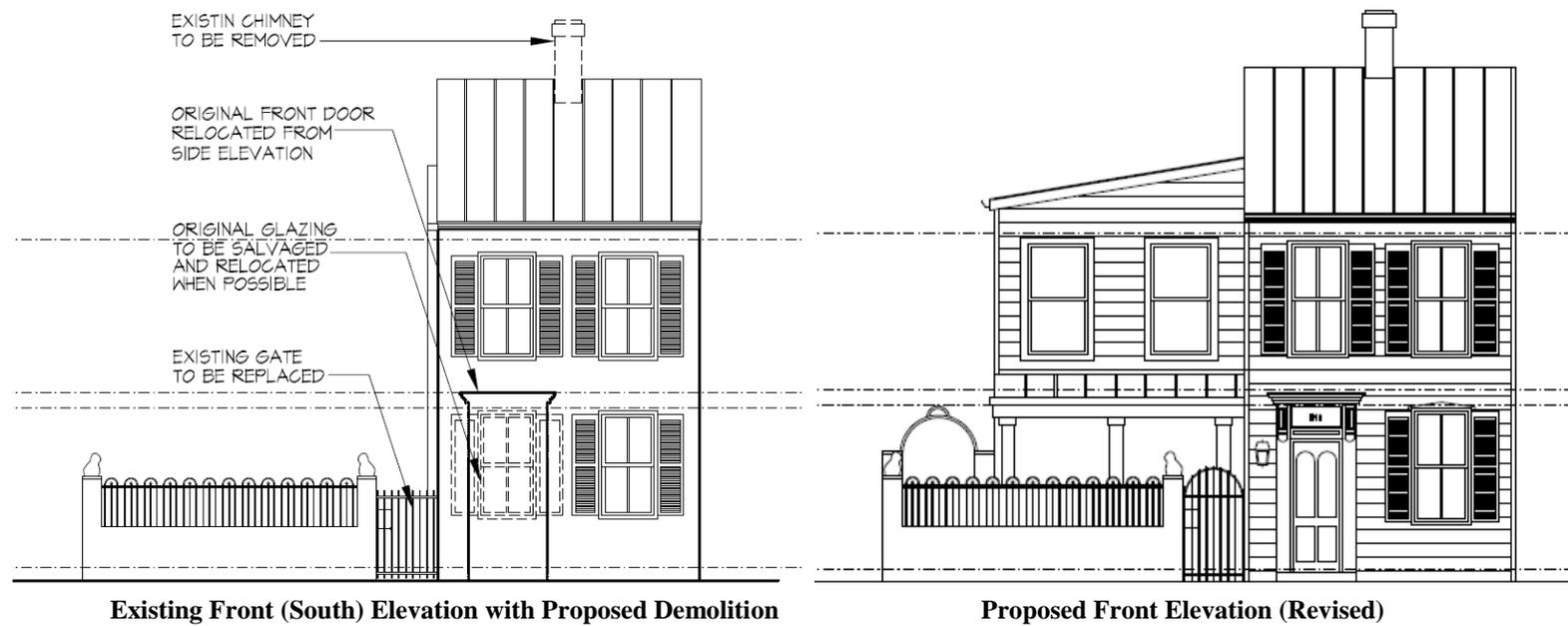


Figure 9: Front Elevation

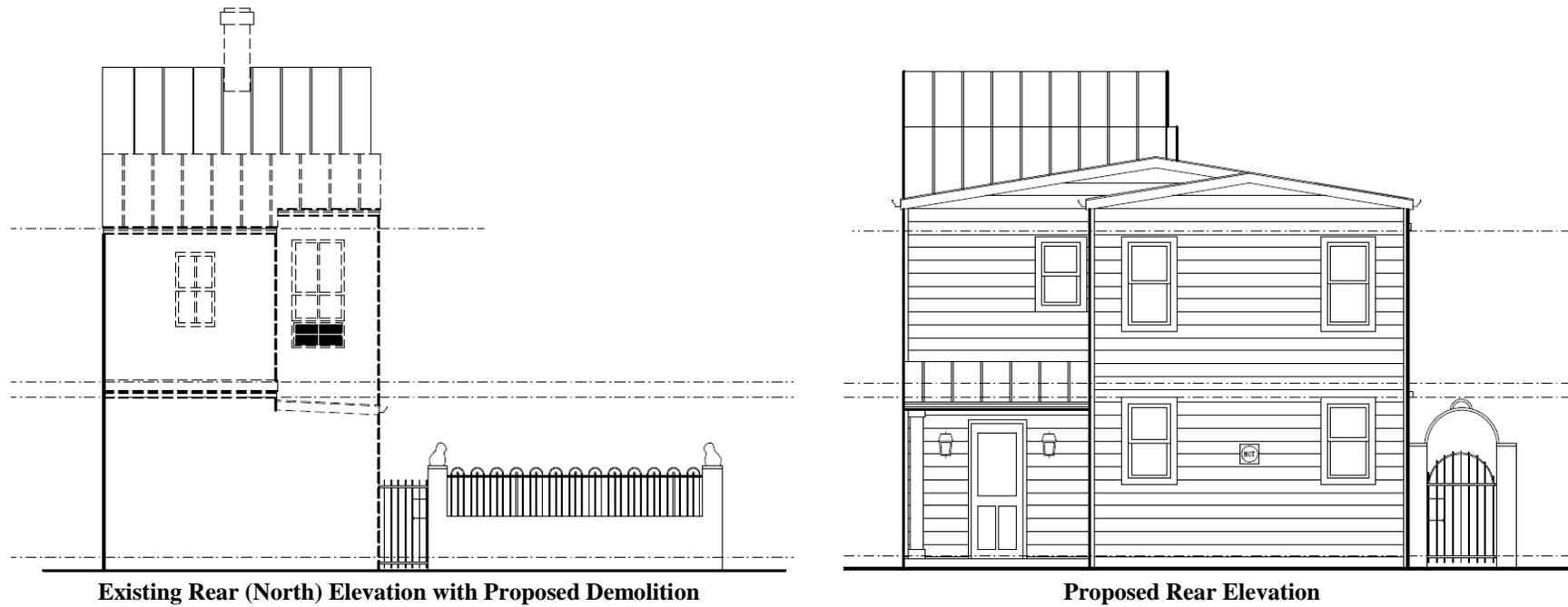


Figure 10: Rear Elevation



Figure 11: Existing West Elevation with Proposed Demolition



Figure 12: Proposed West Elevation of the Revised Proposal



Figure 13: Existing and Proposed Streetscape Views, Revised

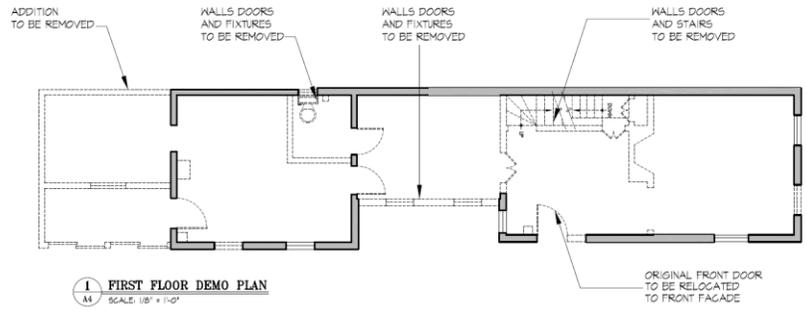


Figure 14: Existing First Floor with Proposed Demolition

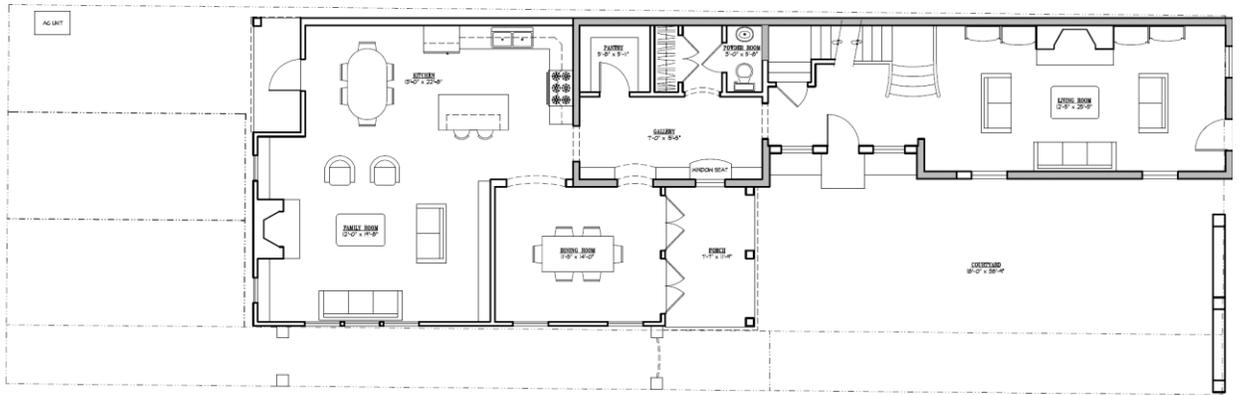


Figure 15: Proposed First Floor

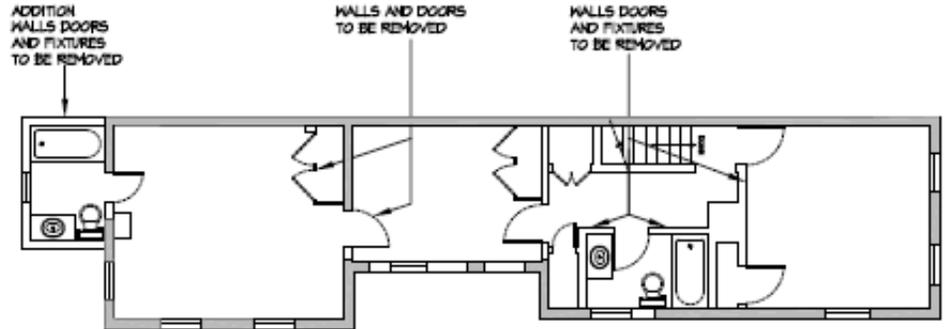


Figure 16: Existing Second Floor with proposed Demolition

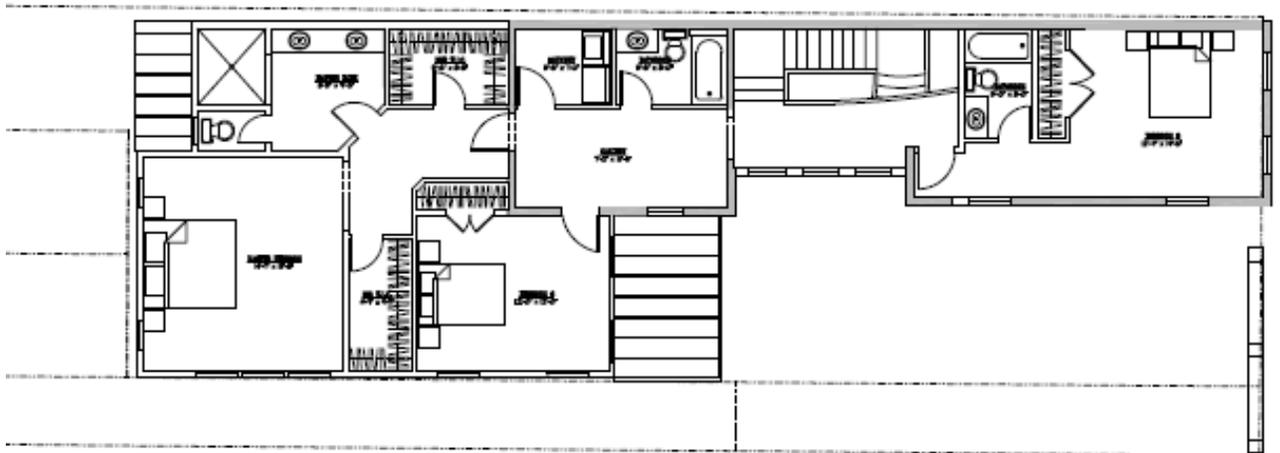


Figure 17: Proposed Second Floor, Revised

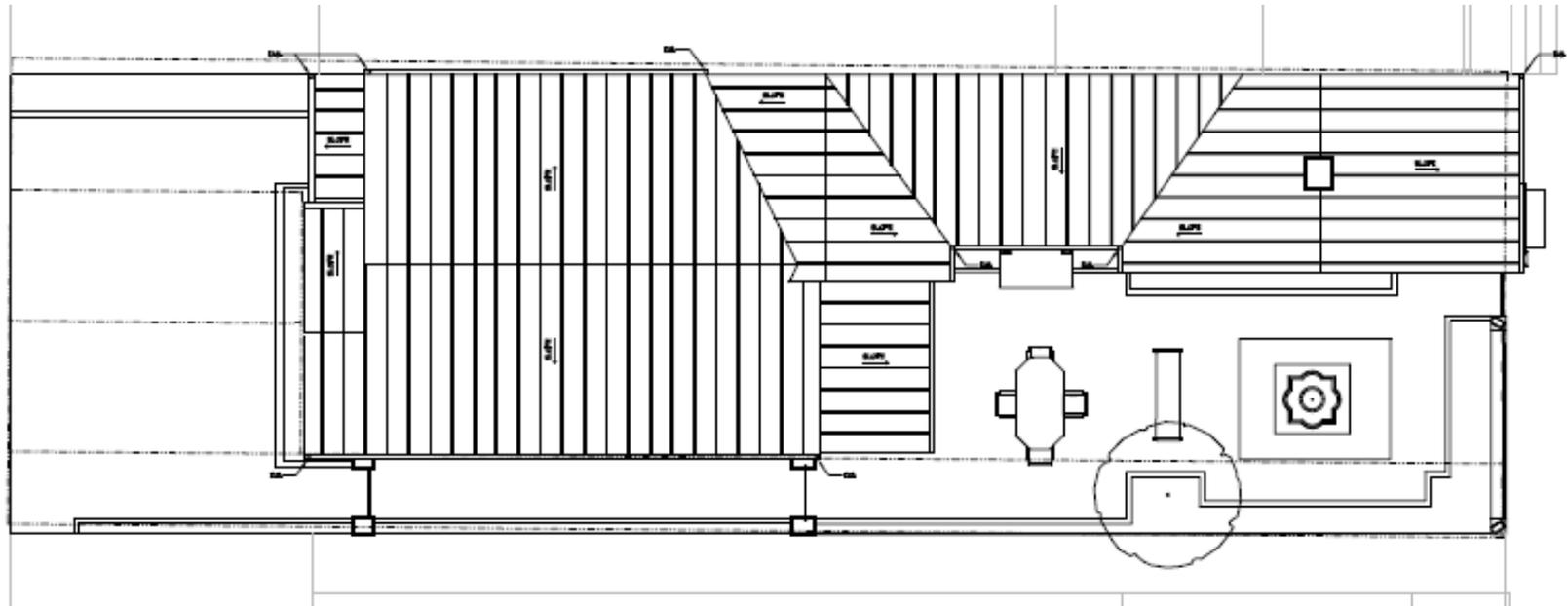


Figure 18: Roof Plan

ADDRESS OF PROJECT: 211 GIBBON ST.

TAX MAP AND PARCEL: 001.01-01-17 ZONING: RM

APPLICATION FOR: (Please check all that apply)

- CERTIFICATE OF APPROPRIATENESS
- PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)
- WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)
- WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: Property Owner Business (Please provide business name & contact person)

Name: ALABAMA AVE. LC

Address: 1300 LAFAYETTE DR.

City: ALEXANDRIA State: VA Zip: 22308

Phone: 703.765.5544 E-mail: N/A

Authorized Agent (if applicable): Attorney Architect _____

Name: STEPHEN KULINSKI A.I.A. Phone: 703.836.7243

E-mail: STEVE@KULINSKIGROUP.COM

Legal Property Owner:

Name: ALABAMA AVE LC

Address: 1300 LAFAYETTE DR.

City: ALEXANDRIA State: VA Zip: 22308

Phone: 703.765.5544 E-mail: N/A

JAN 17 2012

- Yes No Is there an historic preservation easement on this property?
- Yes No If yes, has the easement holder agreed to the proposed alterations?
- Yes No Is there a homeowner's association for this property?
- Yes No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
 - awning
 - doors
 - lighting
 - other _____
 - fence, gate or garden wall
 - windows
 - pergola/trellis
 - HVAC equipment
 - siding
 - painting unpainted masonry
 - shutters
 - shed
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

SEE ATTACHED.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- ^{N/A} Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 12 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- Square feet of existing signs to remain: _____.
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

City of Alexandria – Board of Architectural Review: Old and Historic District
211 Gibbon Street Alexandria, VA 22314

Description of Proposed work

The proposed work entails demolition/encapsulation, construction of a rear addition and exterior alterations to the historic structure. The goal of the proposed work is both to restore the existing historic structure and to provide a noteworthy house fit for contemporary life while respecting the historic portions of the structure and property. The addition to the rear is intended to appear secondary to the historic portions of the structure.

The demolition portion of the project involves removing the non-historic addition to the rear of the house as well as the shed structure and covered parking structure in the rear. The entire structure is to be refaced with 5" reveal wood lap siding and 5/4 x 4 wood corner boards.

The proposed 1919 sq.ft. addition and renovation includes the construction of a two story structure to the rear of the historic portion of the house and the removal of several interior walls from the existing house. Most of these interior walls appear to not be original to the historic house. Furthermore, the massing of the historic portion will be maintained and reflected in the interior layout of the proposed design.

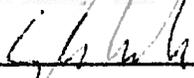
Proposed exterior alterations are intended to restore the historic nature of the house. The original front entry door, which has been moved to the side of the house, will be returned to its original location on the front façade. The historic windows are to be retained wherever possible. Proposed new doors, new windows and lighting all intend to reflect the historic nature of the property, while differing enough in order not to be confused the actual historic portions of the house. The garden courtyard to the west of the historic structure is to be refurbished with new paving, a new fountain and new plantings. A masonry pad in the rear will be provided for on-site parking.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 12 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: 
Printed Name: STEPHEN KULINSKI
Date: 1.16.2012

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. SCOTT MITCHELL	1300 LAFAYETTE DR.	50%
2. LARRY HIRSCH	1300 LAFAYETTE DR.	50%
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 211 GIBSON ST. (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. SCOTT MITCHELL	1300 LAFAYETTE DR.	50%
2. LARRY HIRSCH	1300 LAFAYETTE DR.	50%
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. SCOTT MITCHELL	NONE	NONE
2. LARRY HIRSCH	NONE	NONE
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

1-16-12 STEPHEN KULINSKI [Signature]
 Date Printed Name Signature