

Docket Item # 3 & 4
BAR CASE # 2012-0053 & 0056

BAR Meeting
April 4, 2012

ISSUE: Permit to Demolish/Encapsulate, Dormer Additions and Alterations
APPLICANT: Caroline & Timothy Hanson by Stephen Kulinski, AIA
LOCATION: 103 Franklin Street
ZONE: RM / Residential

STAFF RECOMMENDATION: Staff recommends approval of the Permit to Demolish/Encapsulate and a Certificate of Appropriateness with the condition that the new windows be in conformance with the Window Policy.

*EXPIRATION OF APPROVALS NOTE: In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

**BUILDING PERMIT NOTE: Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.



**CASE BAR2012-0053 &
CASE BAR2012-0056**



Note: Staff coupled the reports for BAR #2012-0053 (Permit to Demolish/Encapsulate) and BAR #2012-0056 (Certificate of Appropriateness) for clarity and brevity. This item requires a roll call vote.

I. ISSUE:

The applicant is requesting approval of a number of changes to the property including the following:

Permit to Demolish/Encapsulate:

- Demolish portions of the north and south elevations to accommodate dormer additions.

Addition/Alterations:

- Install two, pedimented dormers on south (front) elevation.
- Install a large, pedimented dormer detailed with coupled windows on north (rear) elevation.

The proposed materials include Kolbe and Kolbe, painted wood, twelve-light, casement windows with check rails, wood trim, 5” smooth finish, v-groove, painted wood siding, and standing seam metal roofs to match the existing.

II. HISTORY:

The three-story, two-bay brick townhouse at 103 Franklin Street that was constructed in **1971** as part of the Pommander Square subdivision. The project was approved in concept by the Board on March 31, 1971 and final details were approved on May 21, 1971. The architect for the subdivision was Henry S. Sliwka, AIA, of Springfield, Virginia.

Previous Applications

An application for a large, single, third floor dormer on the front elevation at 103 Franklin Street was reviewed by the BAR at their December 4, 1996 public hearing. The applicant, at that time, was proposing an asphalt shingle roof, aluminum fascia, and vinyl clad windows. The BAR deferred the application for re-study, requesting a smaller dormer and more appropriate materials. The applicant never returned to the Board with a re-study (BAR1996-0270.)

III. ANALYSIS:

The proposal is in compliance with Zoning Ordinance requirements.

The proposed height is 38 feet +/- to the midpoint of the gable of the dormer on the front elevation. The maximum permitted height in the RM zone is 35 feet. However the maximum height can be increased to 45 feet if the ridge is parallel to the street and the slope of the roof is compatible with the neighboring buildings, as it is in this case.

Staff has no objection to the proposed demolition and encapsulation of portion of the existing roof. Furthermore, Staff conceptually supports the alterations and additions, acknowledging that the townhouse is plainly visible both from public streets as well as a public park, though there are no historic buildings in the immediate vicinity. Although the applicant is proposing

substantial alterations to the roof of this townhouse, Staff does not find that the cumulative effect of the changes will overwhelm or compromise the existing late 20th century townhouse in this particular location. The dormer on the north elevation of the subject house is farther from the public street and smaller than the dormer recently approved by the Board, though not yet built, for the adjoining townhouse at 101 Franklin Street.

Permit to Demolish

In considering a Permit to Demolish, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B):

- (1) Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?
- (2) Is the building or structure of such interest that it could be made into a historic house?
- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
- (4) Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?
- (5) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?
- (6) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?

In the opinion of Staff, none of the criteria for demolition and encapsulation are met and the Permit to Demolish/Encapsulate should be granted. Staff finds that the proposed demolition and encapsulation do not compromise the integrity of this 1970s townhouse.

Alterations/Addition

Staff supports the proposed dormer additions finding them to be compatible with the existing, simple 1970s townhouse.

Staff has no objection to the proposed pair of gabled dormers on the south (front) elevation and the larger single dormer on the north (rear) elevation finding them to be appropriately proportioned and detailed and consistent with alterations the Board has approved on similarly styled townhouses, including the neighbors at 101 Franklin Street (BAR 2011-0275&276 10/19/11.) Furthermore, the proposed utilization of materials including painted wood casement windows, painted wood v-groove siding and standing seam metal roofing is compatible with the house's existing building materials and the surrounding development.

Staff recommends approval of the application with the conditions noted above.

STAFF

Michele Oaks, Historic Preservation Planner, Planning & Zoning

Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Code Administration:

- F-1 The review by Code Administration is a preliminary review only. Once the applicant has filed for a building permit, code requirements will be based upon the building permit plans. If there are any questions, the applicant may contact Ken Granata, Acting Plan Review Supervisor at ken.granata@alexandriava.gov or 703-746-4193.
- C-1 Alterations to the existing structure will require a building permit. Five sets of *construction documents* sealed by a *Registered Design Professional* that fully detail the construction as well as layout and schematics of any mechanical, electrical, and plumbing systems that may change.
- C-2 Alterations to the existing structure must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-3 Before a building permit can be issued on any proposed future alterations, a certification is required from the owner or owner's agent that the building has been inspected by a licensed asbestos inspector for the presence of asbestos.
- C-4 All exterior walls shall comply with Table R302.1 of the 2009 USBC (2009 IRC as amended).
- C-5 The applicant shall provide window manufacturer specification, size of openings for each window, framing plans, any changes made to the existing structure, distances of new dormers to fire rated wall, size and type of new lintels being installed and flashing details.
- C-6 Any electrical wiring methods and other electrical requirements must comply with Virginia Residential Code and/or NFPA 70, 2008.
- C-7 All exterior walls within 5 feet from an interior property line shall have a fire resistance rating as required per Virginia Construction Code Section R302.
- C-8 Permission from adjacent property owners is required if access to the adjacent properties is required to complete the proposed construction.

Transportation and Environmental Services (T & ES):

RECOMMENDATIONS

- R1. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

- R2. All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (T&ES)
- R3. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- R4. An erosion and sediment control plan must be approved by T&ES prior to any land disturbing activity greater than 2,500 square feet. (T&ES)
- R5. Compliance with the provisions of Article XIII of the City's zoning ordinance for stormwater quality control is required for any land disturbing activity greater than 2,500 square feet. (T&ES)
- R6. The building permit must be approved and issued prior to the issuance of any permit for demolition. (T&ES)

CODE REQUIREMENTS

- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Pay sanitary sewer tap fee prior to release of Grading Plan. (Sec. 5-6-25) (T&ES)
- C-6 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)

V. IMAGES



Figure 1: South Elevation Streetscape – Existing Conditions



Figure 2: North Elevation Streetscape – Existing Conditions

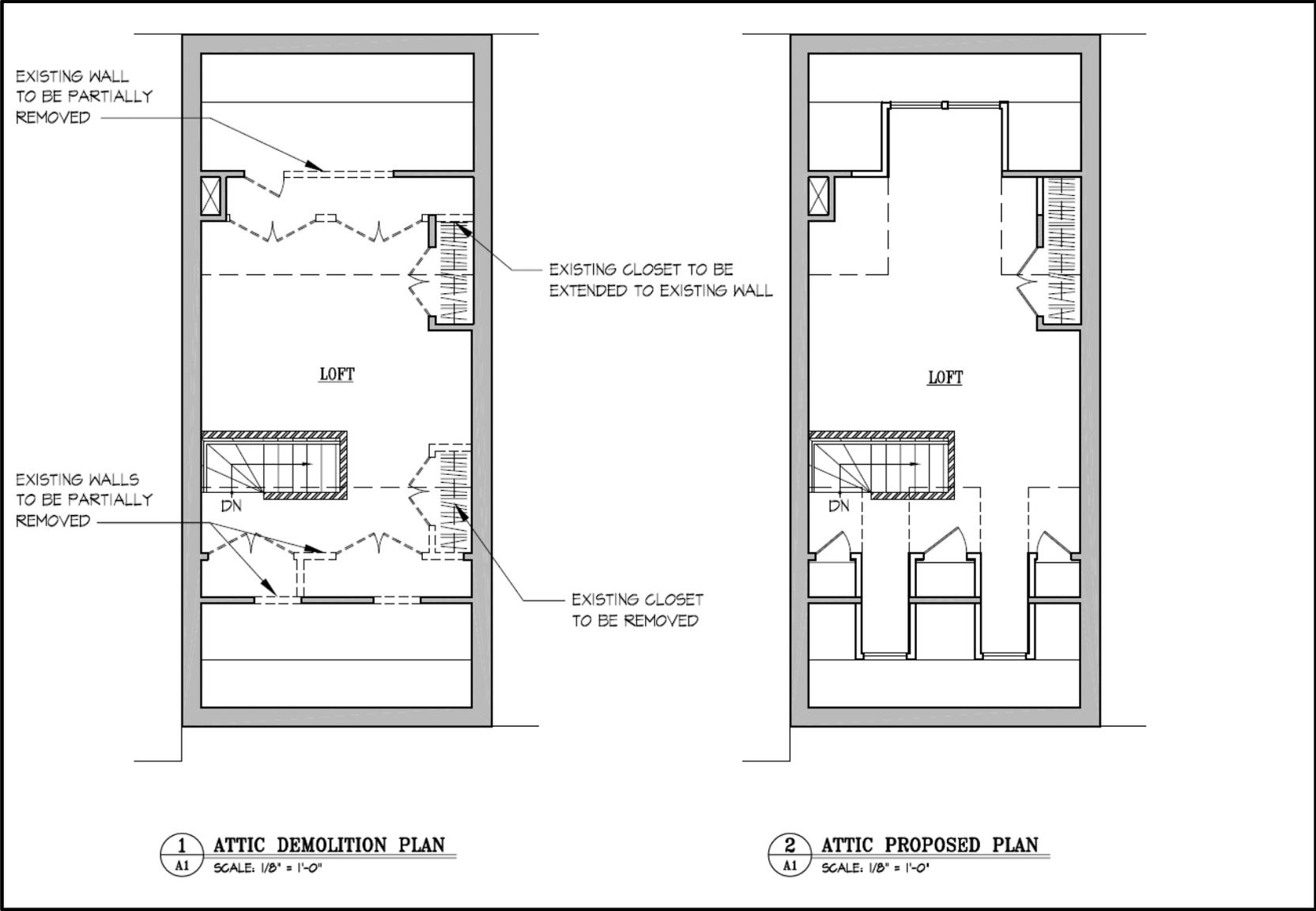


Figure 3: Existing/Proposed Attic Plans

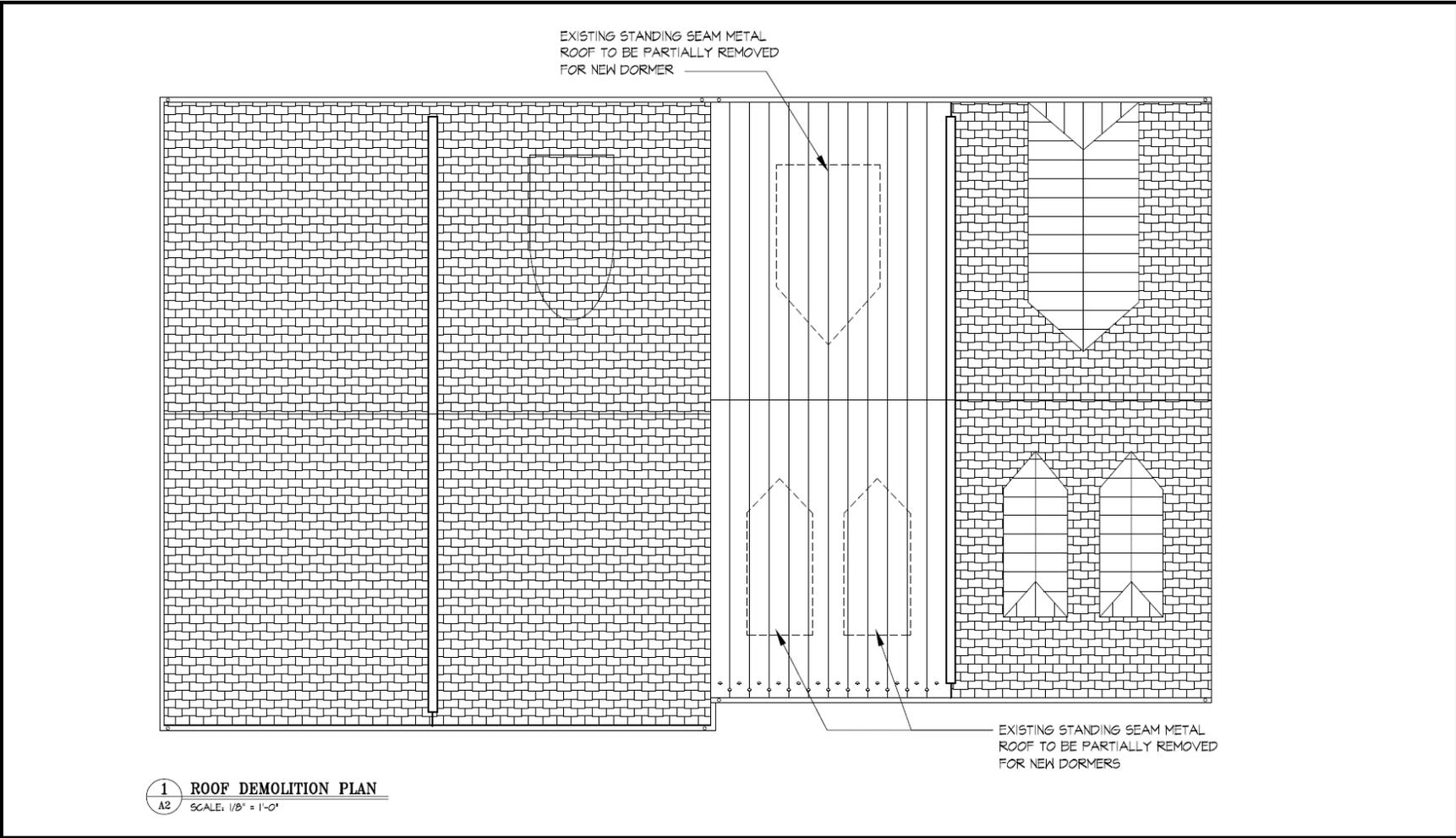


Figure 4: Roof Demolition Plan

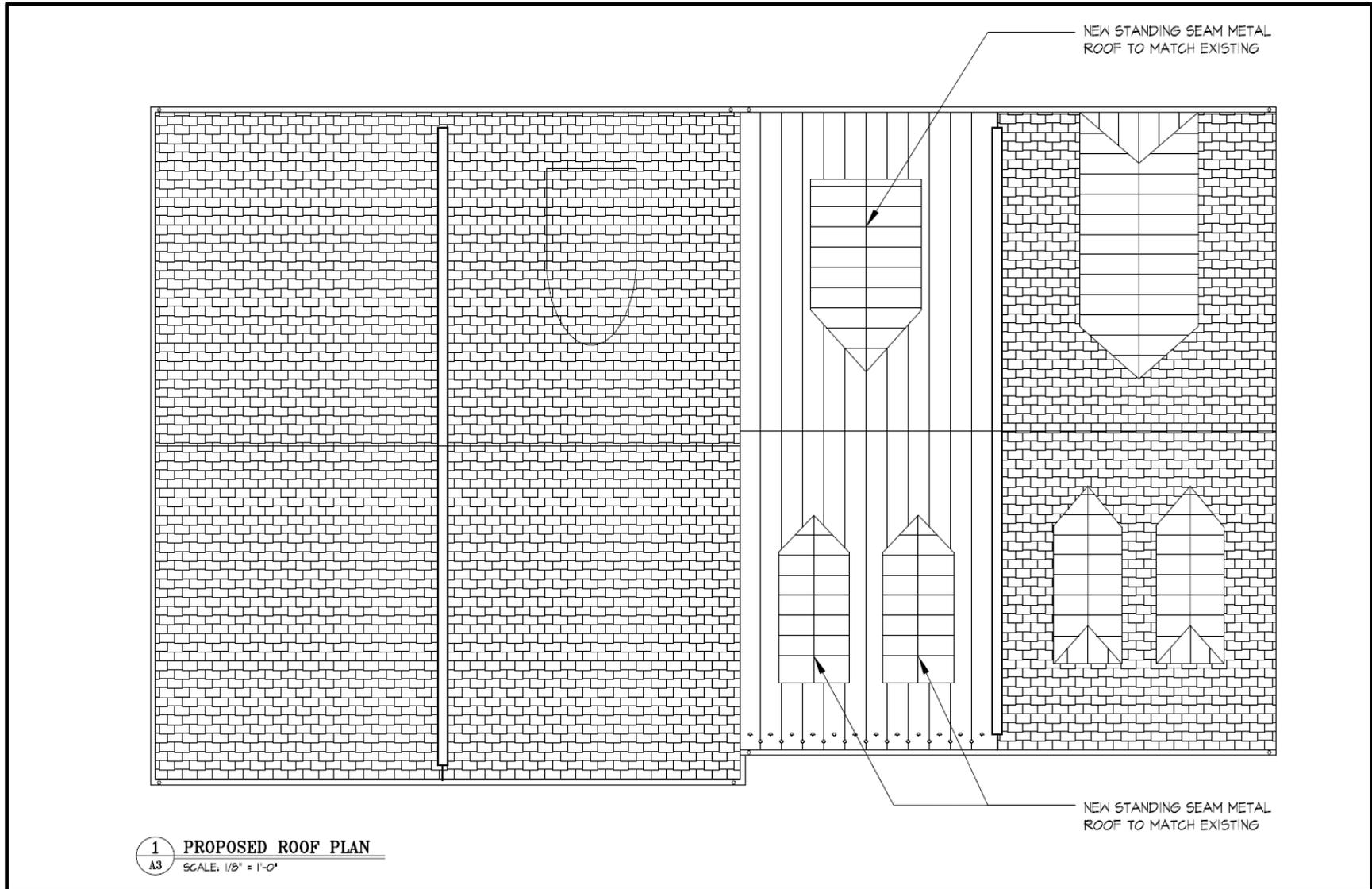


Figure 5: Proposed Roof Plan



Figure 6: South Elevation – Proposed Demolition



Figure 7: South Elevation—Proposed



Figure 8: North Elevation – Proposed Demolition



Figure 9: North Elevation – Proposed

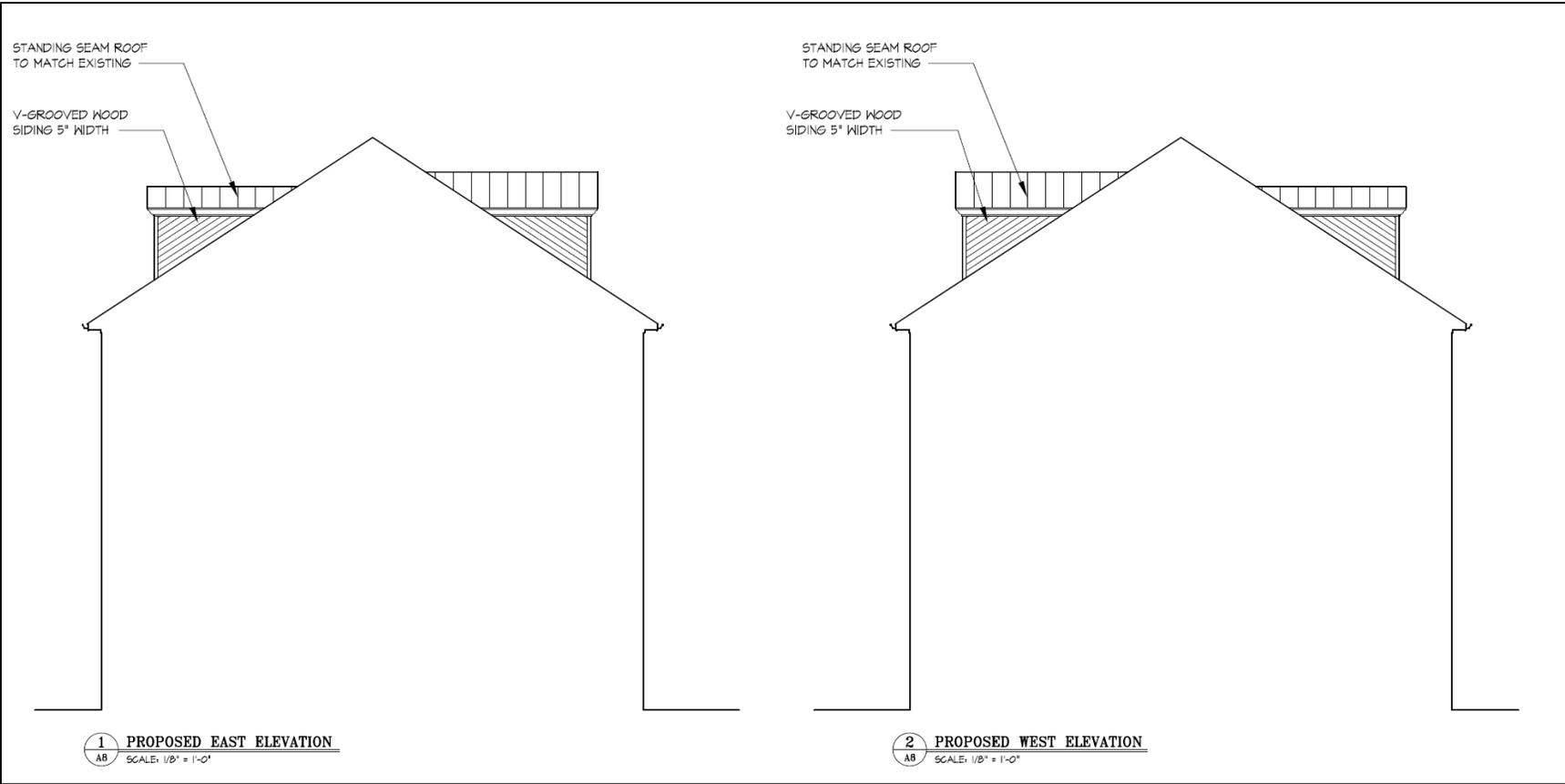


Figure 10: Proposed East and West Elevations

ADDRESS OF PROJECT: 103 FRANKLIN STREET

TAX MAP AND PARCEL: 091.01-02-41 ZONING: RM

APPLICATION FOR: (Please check all that apply)

- CERTIFICATE OF APPROPRIATENESS
- PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)
- WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)
- WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: Property Owner Business (Please provide business name & contact person)

Name: CAROLINE & Timothy HANSON

Address: 103 FRANKLIN ST.

City: ALEXANDRIA State: VA Zip: 22314

Phone: _____ E-mail: CARYHANSON@GMAIL.COM

Authorized Agent (if applicable): Attorney Architect _____

Name: STEPHEN KULINSKI A.I.A.

Phone: 703 236 7243

E-mail: STEVE@KULINSKIGROUP.COM

Legal Property Owner:

Name: CAROLINE & Timothy HANSON

Address: 103 FRANKLIN STREET

City: ALEXANDRIA State: VA Zip: 22314

Phone: _____ E-mail: CARYHANSON@GMAIL.COM

- Yes No Is there an historic preservation easement on this property?
- Yes No If yes, has the easement holder agreed to the proposed alterations?
- Yes No Is there a homeowner's association for this property?
- Yes No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: Please check all that apply

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: Please check all that apply.
 - awning
 - fence, gate or garden wall
 - HVAC equipment
 - shutters
 - doors
 - windows
 - siding
 - shed
 - lighting
 - pergola/trellis
 - painting unpainted masonry
 - other DORMERS
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: Please describe the proposed work in detail (Additional pages may be attached).

DEMOLISH PORTION OF ROOF TO INSTALL 1 ATTIC DORMER ON NORTH ELEVATION AND TWO ATTIC DORMERS ON SOUTH ELEVATION

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.

- N/A Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 12 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- N/A
- Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
 - FAR & Open Space calculation form.
 - Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
 - Existing elevations must be scaled and include dimensions.
 - Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
 - Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
 - Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
 - For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- N/A
- Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
 - Square feet of existing signs to remain: _____.
 - Photograph of building showing existing conditions.
 - Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
 - Location of sign (show exact location on building including the height above sidewalk).
 - Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
 - Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- N/A
- Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
 - Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
 - Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
 - An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
 - Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 12 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: 

Printed Name: STEPHEN KULINSKI

Date: 3.5.2012

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. CAROLINE & TIMOTHY HANSON	103 FRANKLIN ST.	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at _____ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. CAROLINE & TIMOTHY HANSON	103 FRANKLIN ST.	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. CAROLINE & TIMOTHY HANSON	NONE	NONE
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

3.5.12 STEPHEN KULANSKI 
 Date Printed Name Signature



DEPARTMENT OF PLANNING AND ZONING FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

A. Property Information

A1. Street Address 103 FRANKLIN ST. Zone RM
 A2. 1316 x 1.5 = 1974
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area*		Allowable Exclusions	
Basement	<u>N/A</u>	Basement**	<u>0</u>
First Floor	<u>722</u>	Stairways**	<u>321</u>
Second Floor	<u>722</u>	Mechanical**	<u>88</u>
Third Floor	<u>722</u>	Other** <u>UNDER 7'-6"</u>	<u>592</u>
Porches/ Other	<u>722</u>	Total Exclusions	<u>1,001</u>
Total Gross *	<u>2888</u>		

B1. Existing Gross Floor Area * 2888 Sq. Ft.
 B2. Allowable Floor Exclusions** 1001 Sq. Ft.
 B3. Existing Floor Area minus Exclusions 1887 Sq. Ft.
 (subtract B2 from B1)

C. Proposed Gross Floor Area (does not include existing area)

Proposed Gross Area*		Allowable Exclusions	
Basement		Basement**	
First Floor		Stairways**	
Second Floor		Mechanical**	
Third Floor		Other** <u>UNDER 7'-6"</u>	<u>120</u>
Porches/ Other	<u>120</u>	Total Exclusions	<u>0</u>
Total Gross *			

C1. Proposed Gross Floor Area * 120 Sq. Ft.
 C2. Allowable Floor Exclusions** 0 Sq. Ft.
 C3. Proposed Floor Area minus Exclusions 0 Sq. Ft.
 (subtract C2 from C1)

D. Existing + Proposed Floor Area

D1. Total Floor Area (add B3 and C3) 1887 Sq. Ft.
 D2. Total Floor Area Allowed by Zone (A2) 1974 Sq. Ft.

*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.

If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

F. Open Space Calculations

Existing Open Space	
Required Open Space	
Proposed Open Space	

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

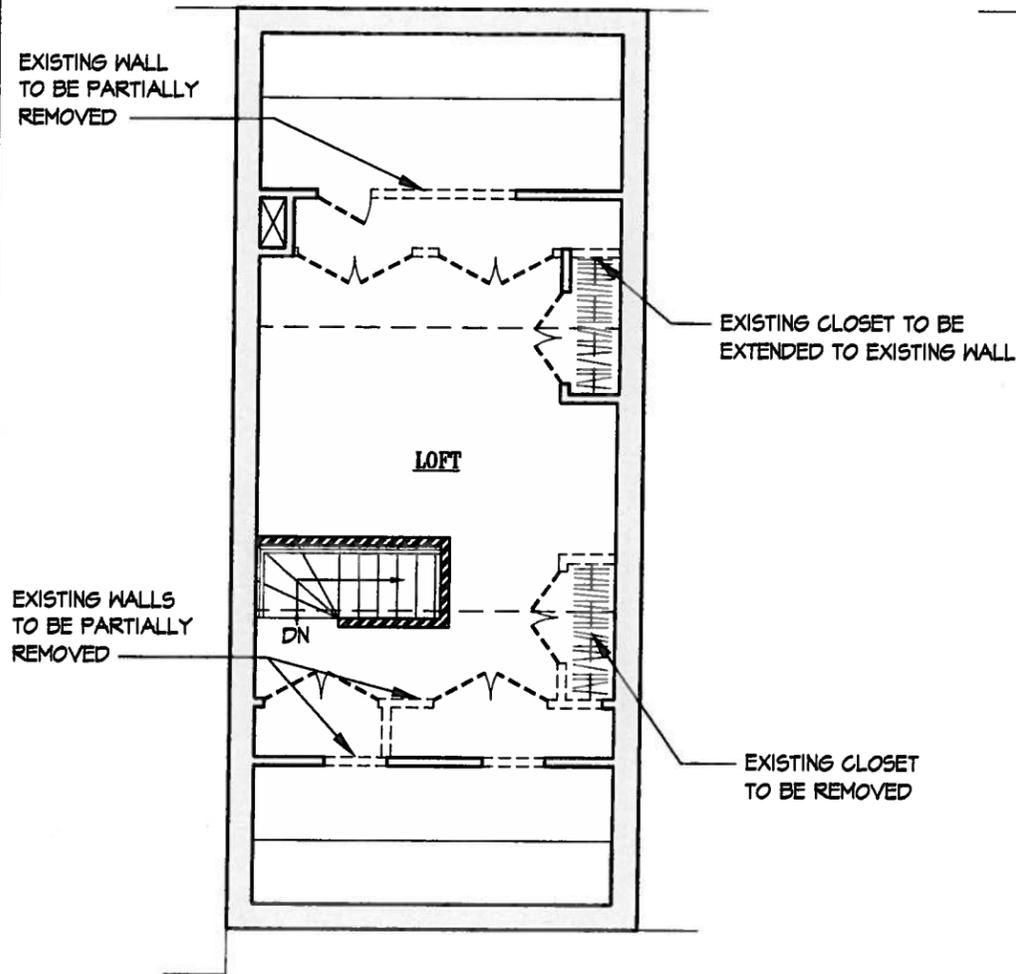
Signature: [Signature] Date: 3-5-12

City of Alexandria – Board of Architectural Review Old and Historic District
103 Franklin Street Alexandria, VA 22314

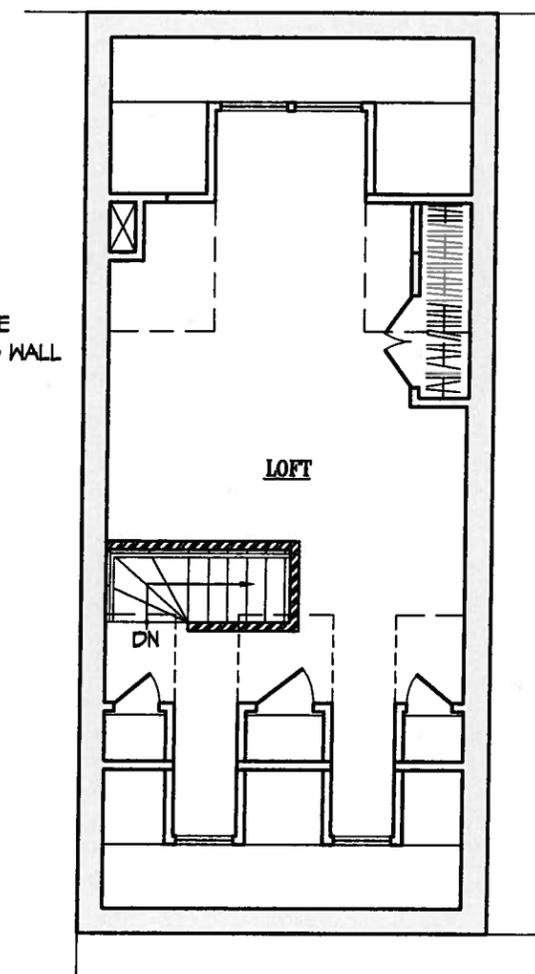
Proposed Dormer Materials Specification List

- **Roof Material:** Standing seam metal roof to match existing
 - Color – Red to match existing
- **Trim:** Paint grade wood –or- Approved non-rot alternative
 - Color – White to match existing
- **Windows:** Kolbe and Kolbe wood casement w/ check rail
 - Color – White to match existing
 - Lite Pattern – Six over Six
- **Siding:** Pint grade wood v-groove siding
 - Color – White to match existing
 - Board Width – 5”
- **Gable Surface:** Painted MDO
 - Color – White to match existing
 - Texture – Smooth

CITY OF ALEXANDRIA
 BOARD OF ARCHITECTURAL REVIEW OLD & HISTORIC DISTRICT
 PLAN SUBMITTAL



1 ATTIC DEMOLITION PLAN
 A1 SCALE: 1/8" = 1'-0"



2 ATTIC PROPOSED PLAN
 A1 SCALE: 1/8" = 1'-0"

SYMBOLS LIST	
	EXISTING CONSTRUCTION TO BE REMOVED
	EXISTING FULL HEIGHT WALL TO REMAIN
	NEW FULL HEIGHT WALL
	EXISTING PARTIAL HEIGHT WALL TO REMAIN

103 FRANKLIN STREET - B.A.R. SUBMITTAL

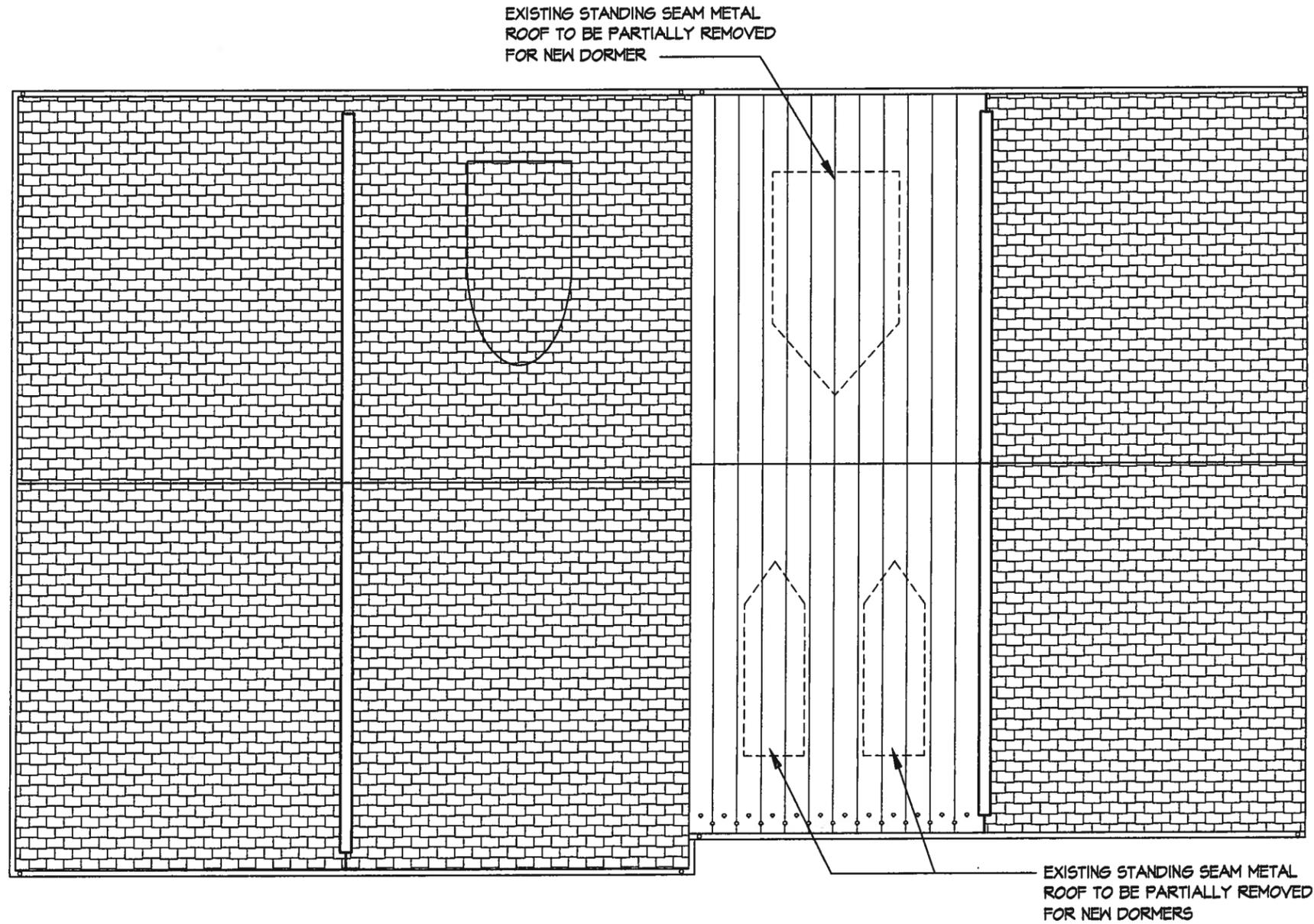
103 FRANKLIN STREET ALEXANDRIA, VA 22314

ATTIC FLOOR PLANS

SHEET NUMBER

A1

CITY OF ALEXANDRIA
 BOARD OF ARCHITECTURAL REVIEW OLD & HISTORIC DISTRICT
 PLAN SUBMITTAL



1 ROOF PLAN DEMOLITION
 A2 SCALE: 1/8" = 1'-0"

103 FRANKLIN STREET - B.A.R. SUBMITTAL

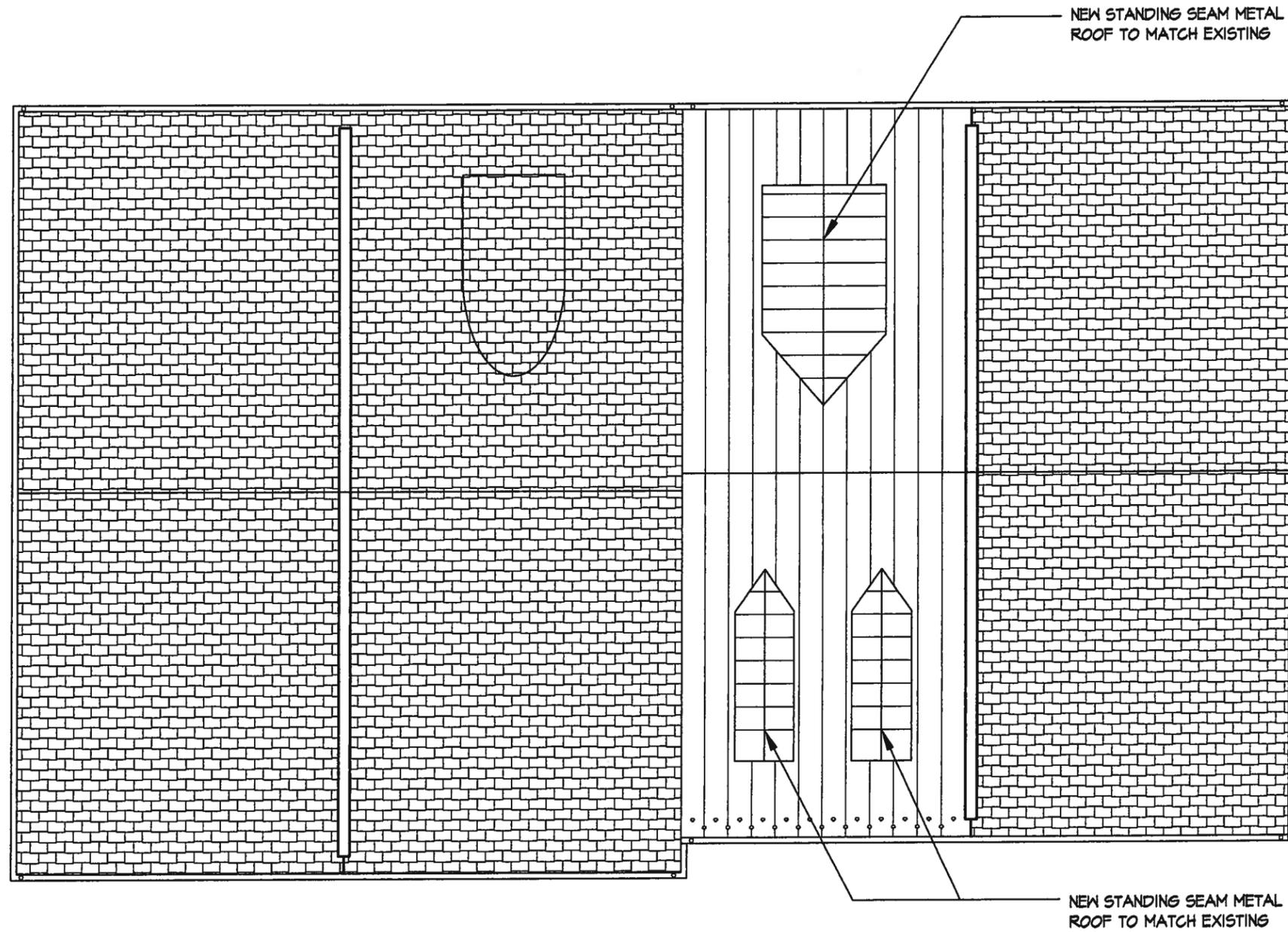
103 FRANKLIN STREET ALEXANDRIA, VA 22314

ROOF PLAN DEMOLITION

SHEET NUMBER

A2

CITY OF ALEXANDRIA
 BOARD OF ARCHITECTURAL REVIEW OLD & HISTORIC DISTRICT
 PLAN SUBMITTAL



1 PROPOSED ROOF PLAN
 A3 SCALE: 1/8" = 1'-0"

103 FRANKLIN STREET - B.A.R. SUBMITTAL

103 FRANKLIN STREET ALEXANDRIA, VA 22314

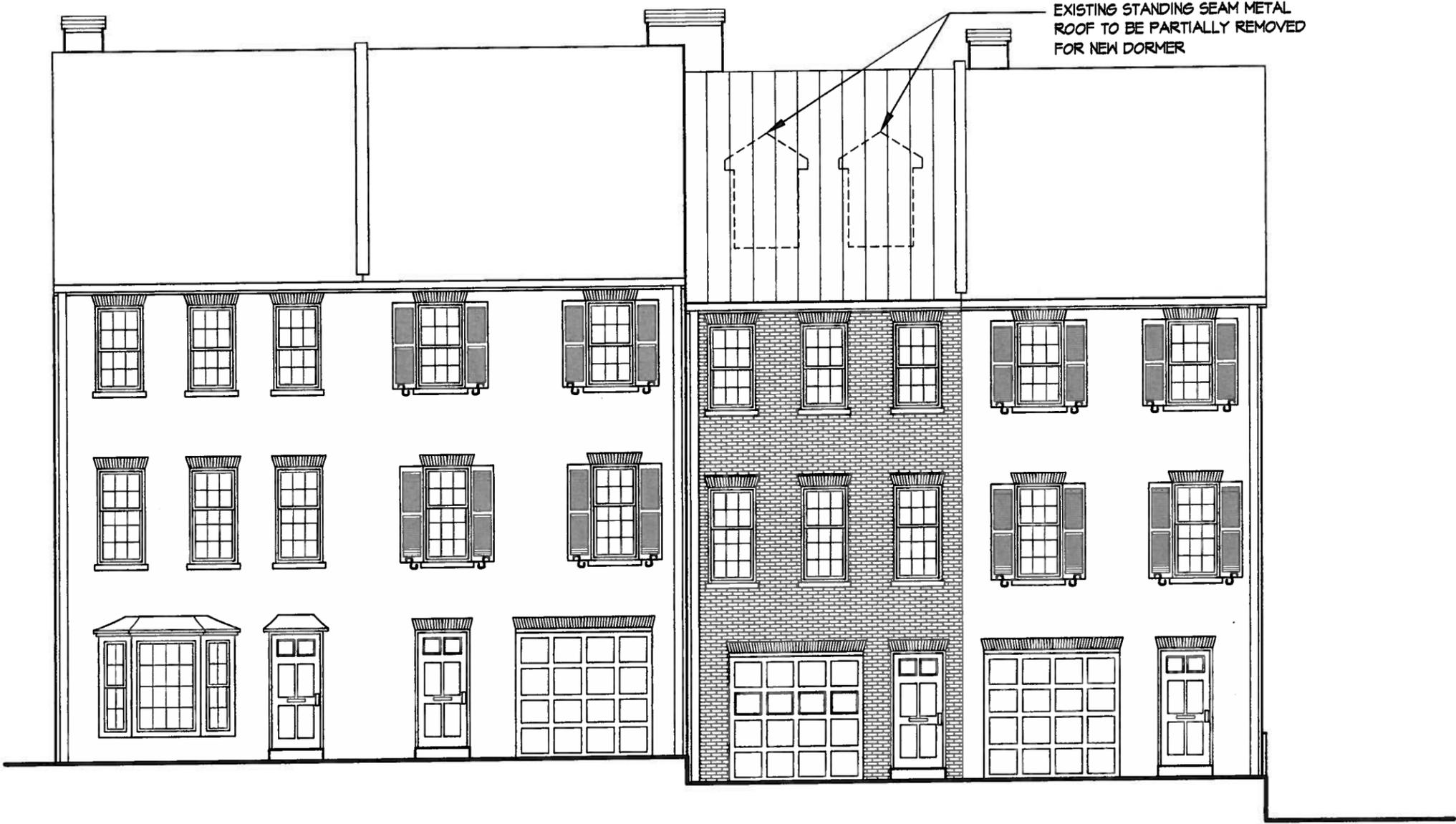
PROPOSED ROOF PLAN

SHEET NUMBER

A3

CITY OF ALEXANDRIA
 BOARD OF ARCHITECTURAL REVIEW OLD & HISTORIC DISTRICT
 PLAN SUBMITTAL

KULINSKI
 GROUP ARCHITECTS P.C.
 KULINSKIGROUP.COM | 703.836.7243



1 SOUTH ELEVATION DEMOLITION
 A4 SCALE: 1/8" = 1'-0"

103 FRANKLIN STREET - B.A.R. SUBMITTAL

103 FRANKLIN STREET ALEXANDRIA, VA 22314

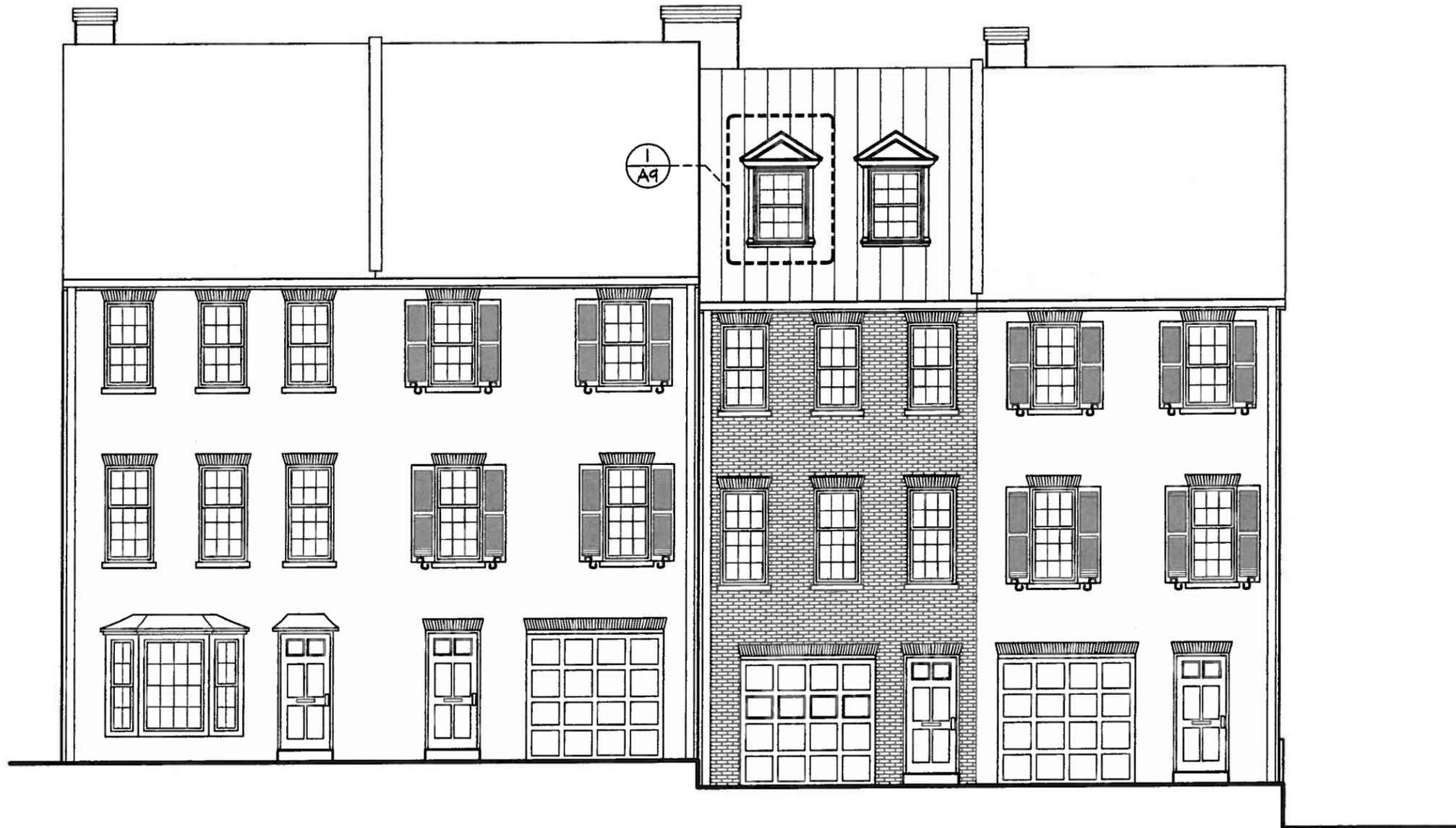
SOUTH ELEVATION DEMOLITION

SHEET NUMBER

A4

CITY OF ALEXANDRIA
 BOARD OF ARCHITECTURAL REVIEW OLD & HISTORIC DISTRICT
 PLAN SUBMITTAL

KULINSKI
 GROUP ARCHITECTS P.C.
 KULINSKIGROUP.COM | 703.836.7243



1 PROPOSED SOUTH ELEVATION
 A5 SCALE: 1/8" = 1'-0"

103 FRANKLIN STREET - B.A.R. SUBMITTAL
 103 FRANKLIN STREET ALEXANDRIA, VA 22314

PROPOSED SOUTH ELEVATION

SHEET NUMBER

A5

CITY OF ALEXANDRIA
 BOARD OF ARCHITECTURAL REVIEW OLD & HISTORIC DISTRICT
 PLAN SUBMITTAL

EXISTING STANDING SEAM
 METAL ROOF TO BE PARTIALLY
 REMOVED FOR NEW DORMER



1 NORTH ELEVATION DEMOLITION
 A6 SCALE: 1/8" = 1'-0"

KULINSKI
 GROUP ARCHITECTS P.C.
 KULINSKIGROUP.COM | 703.836.7243

103 FRANKLIN STREET - B.A.R. SUBMITTAL
 103 FRANKLIN STREET ALEXANDRIA, VA 22314

NORTH ELEVATION DEMOLITION

SHEET NUMBER

A6

CITY OF ALEXANDRIA
 BOARD OF ARCHITECTURAL REVIEW OLD & HISTORIC DISTRICT
 PLAN SUBMITTAL

KULINSKI
 GROUP ARCHITECTS P.C.
 KULINSKIGROUP.COM | 703.836.7243



1 PROPOSED NORTH ELEVATION
 A7 SCALE: 1/8" = 1'-0"

103 FRANKLIN STREET - B.A.R. SUBMITTAL
 103 FRANKLIN STREET ALEXANDRIA, VA 22314

PROPOSED NORTH ELEVATION

SHEET NUMBER

A7

CITY OF ALEXANDRIA
 BOARD OF ARCHITECTURAL REVIEW OLD & HISTORIC DISTRICT
 PLAN SUBMITTAL



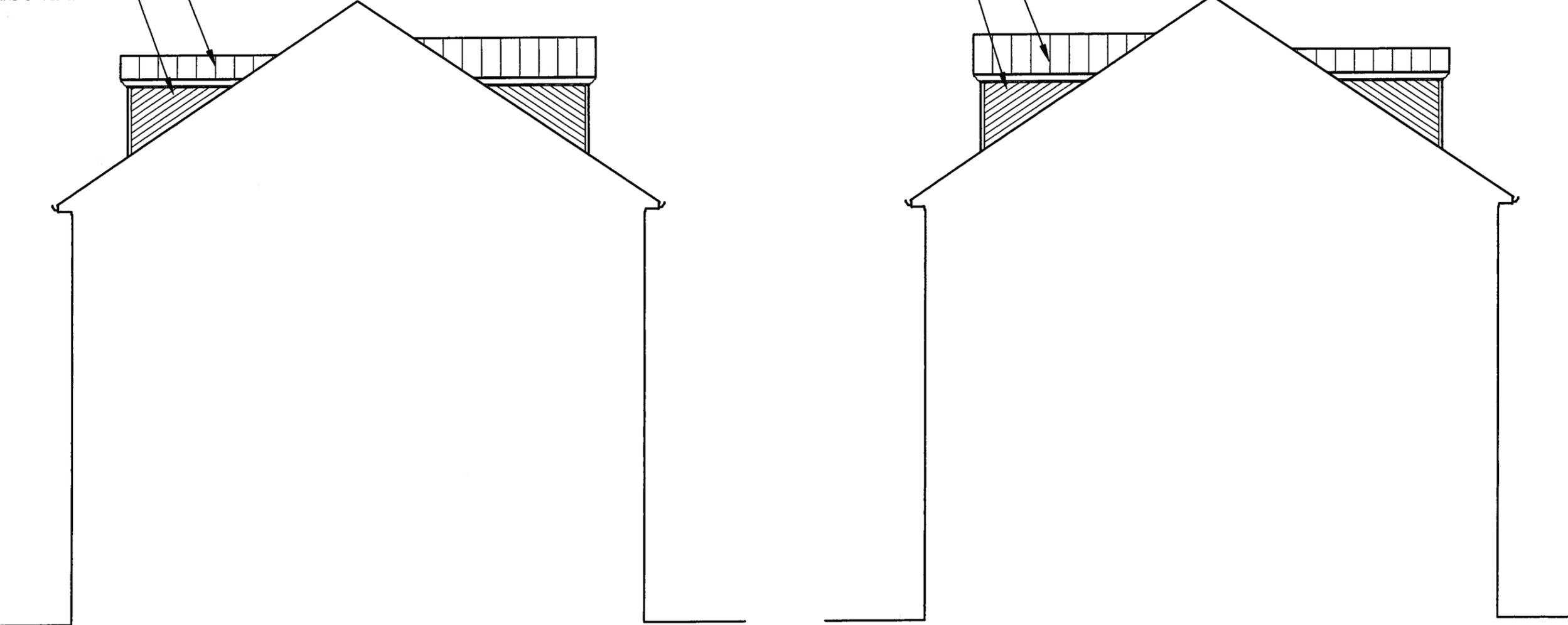
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STANDING SEAM ROOF
 TO MATCH EXISTING

V-GROOVED WOOD
 SIDING 5" WIDTH

STANDING SEAM ROOF
 TO MATCH EXISTING

V-GROOVED WOOD
 SIDING 5" WIDTH



1 PROPOSED EAST ELEVATION
 A8 SCALE: 1/8" = 1'-0"

2 PROPOSED WEST ELEVATION
 A8 SCALE: 1/8" = 1'-0"

103 FRANKLIN STREET - B.A.R. SUBMITTAL

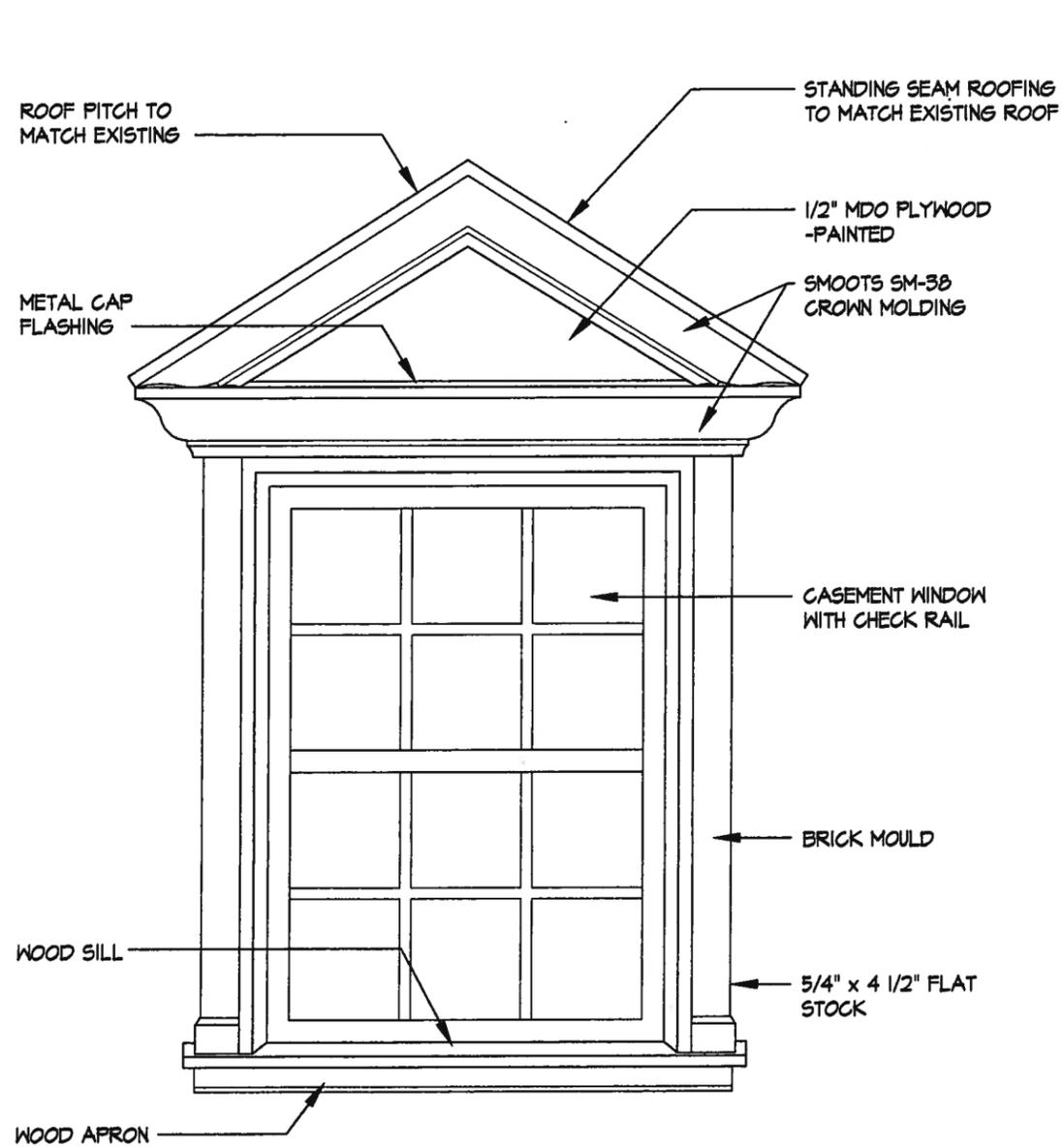
103 FRANKLIN STREET ALEXANDRIA, VA 22314

EAST AND WEST ELEVATIONS

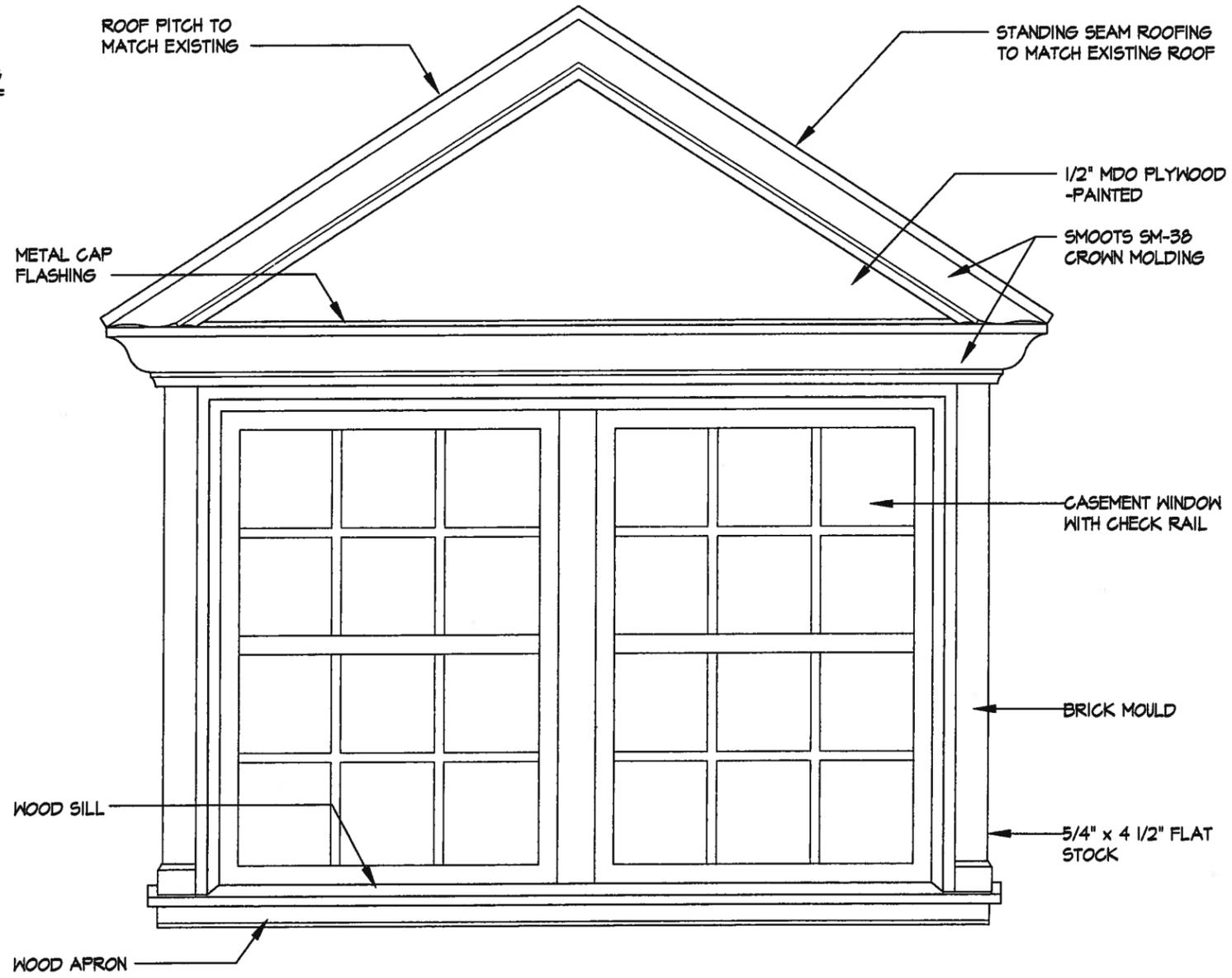
SHEET NUMBER

A8

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1 SOUTH DORMER DETAIL
 AB SCALE: 3/4" = 1'-0"



2 NORTH DORMER DETAIL
 AB SCALE: 3/4" = 1'-0"

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DORMER DETAILS

SHEET NUMBER

A9

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1 SOUTH VIEW STREETScape
 A10 SCALE: N.T.S



2 NORTH VIEW STREETScape
 A10 SCALE: N.T.S

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EXISTING SITE PHOTOS

SHEET NUMBER

A10