

Docket Item # 1 & 2
BAR CASE # 2012-0070 & 0071

BAR Meeting
April 18, 2012

ISSUE: Permit to Demolish &
Certificate of Appropriateness for Alterations

APPLICANT: Betsy & Jason Vines by Oscar Changiz

LOCATION: 501 South Royal Street

ZONE: RM / Residential

STAFF RECOMMENDATION: Staff recommends approval of the Certificate of Appropriateness with the condition that the applicant may utilize either wood or a paintable, solid-through-the-core wood composite material for the door surround in lieu of the proposed painted wood surround.

****EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

****BUILDING PERMIT NOTE:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.



**CASE BAR2012-0070 &
CASE BAR2012-0071**



*Note: Staff coupled BAR #2012-0070 (Permit to Demolish/Encapsulate) and BAR #2012-0071 (Certificate of Appropriateness) for clarity and brevity. This item requires a roll call vote.

I. ISSUE:

The applicant is requesting approval of a Permit to Demolish and Certificate of Appropriateness to remove an existing bay window and door on the first floor of the rear elevation and demolish a portion of the brick veneer wall and install a new, pair of full-light, fiberglass French doors flanked with single-light, sidelights measuring 96 inches wide by 56 inches (56 square feet). The proposed door assembly will be surrounded by a Colonial Revival door surround fabricated from wood.

The upper portion of the new door will be the only portion visible from the public ROW.

II. HISTORY:

The three-story, brick veneer townhouse is one of a group of ten houses built on the site of the old Alexandria Ironworks in 1964. The houses are in two groups of five. The house at 501 South Royal Street is the northern most townhouse located at the corner of South Royal and Wilkes Street.

Previous Approvals

In 2000, BAR Staff administratively approved a roof replacement in-kind for the subject house (BLD2000-0868).

III. ANALYSIS:

The proposed alterations comply with zoning ordinance requirements for the RM zone. Staff has no objection to the proposed encapsulation and demolition of portions of the east (rear) elevation and generally finds the proposed new door installation to be compatible with the existing building and surrounding area.

Permit to Demolish

In considering a Permit to Demolish, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B):

- (1) Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?
- (2) Is the building or structure of such interest that it could be made into a historic house?
- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
- (4) Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?
- (5) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?
- (6) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?

The scope of the proposed demolition of the building exterior is minimal. The removal of the existing bay window and door and the installation of a new set of full-light doors on the rear elevation is a common and typical type of alteration that allows buildings throughout the historic districts to be reconfigured for contemporary lifestyles without negatively impacting the overall architectural integrity of the building or the surrounding streetscape. Staff has no objections to the removal of these minor features as they do not contribute to the significance of the building. The construction materials proposed for demolition are commonly available and were installed without a high degree of design or craftsmanship.

In Staff's opinion, none of the criteria for demolition and encapsulation are met and the Permit to Demolish should be granted.

Certificate of Appropriateness

The *Design Guidelines* state that "Exterior doors and surrounding details should be appropriate to the period of the structure." The applicant is proposing to utilize a fiberglass door with a painted, wood Colonial Revival surround. Staff supports the proposed alterations, noting that the proposed door installation and materials are consistent with the *Design Guidelines*, as the exterior door and its surrounding details are compatible with the architectural style and late 20th century period of the building. In addition, staff also supports the utilization of a paintable, solid-through-the-core wood composite material for the door surround instead of the proposed wood, at the applicant's option, as this new door will be located on the rear of the building and only minimally visible from the ROW.

Staff finds that the proposed demolition of the existing bay window and door and the new door installation in this location is a sensitive and minimally visible alteration that is consistent with the *Design Guidelines*. Staff recommends approval of the Permit to Demolish and Certificate of Appropriateness as submitted.

STAFF:

Michele Oaks, Historic Preservation Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Zoning:

C-2 Proposed window and door comply with zoning.

Code Administration:

Plan Review

- F-1 The review by Code Administration is a preliminary review only. Once the applicant has filed for a building permit, code requirements will be based upon the building permit plans. If there are any questions, the applicant may contact Ken Granata, Acting Plan Review Supervisor at ken.granata@alexandriava.gov or 703-746-4193.
- F-2 The submission for a building permit to the Department of Code Administration for the replacement of the bay window and door with a new patio door (BLD2012-00405) has been approved by the Office of Code Administration and is pending BAR approval.
- C-1 Five sets of *construction documents* have been submitted to the Department of Code Administration for the replacement of the bay window and door with a new patio door (BLD2012-00405). However, the BAR case also indicates a five foot high brick wall with a foundation is also being installed that was not indicated on the current BLD2012-00405. The Department of Code Administration is requesting the applicant add a revision application to the current active permit to BLD2012-00405 and include the brick walls being installed on the property. Foundation details and locations of the brick wall should accompany the revision application permit.
- C-2 New construction must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-3 Alterations to the existing structure must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-4 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to Code Enforcement that will outline the steps that will be taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.

Transportation and Environmental Services (T&ES):

RECOMMENDATIONS

- R1. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R2. All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons,

etc. must be city standard design. (T&ES)

- R3. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- R4. The building permit must be approved and issued prior to the issuance of any permit for demolition. (T&ES)
- R5. Contact T&ES, Construction and Inspection/Permits section at (703) 746-4035 to discuss and/or obtain an application to close the current curb cut on Wilkes Street since is no longer providing access to the property. (T&ES)

FINDINGS

- F1. After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

CODE REQUIREMENTS

- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Any work performed from or within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-4 Per City Code Sec. 5-2-14(j) the existing curb cut on the Wilkes Street side of the property shall be closed and the sidewalk shall be restored since its continued use is not necessary for access to the property. (T&ES)

V. IMAGES

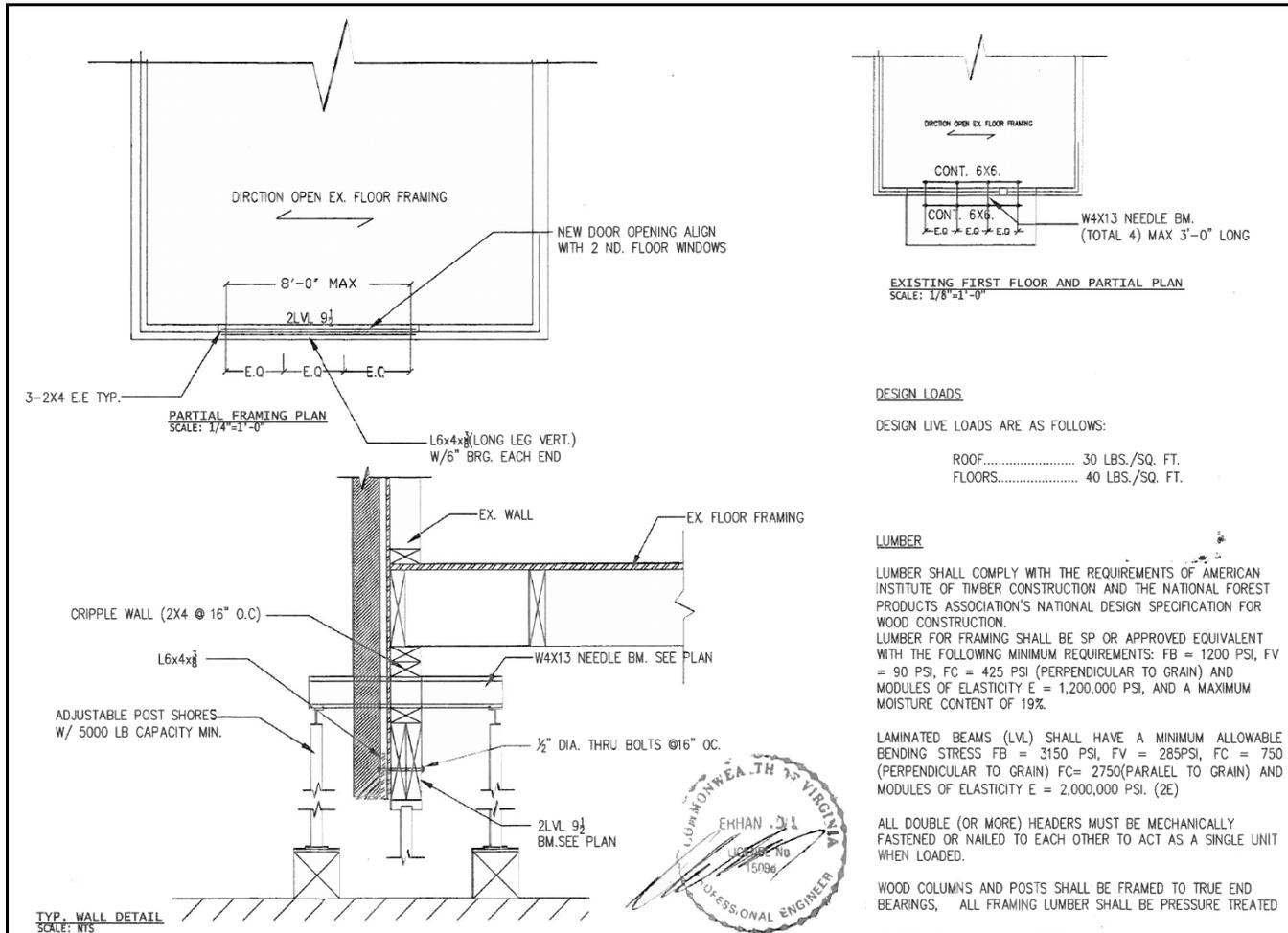


Figure 1: Plan/Details for proposed Door



Figure 2: Front Elevation – 501 South Royal Street

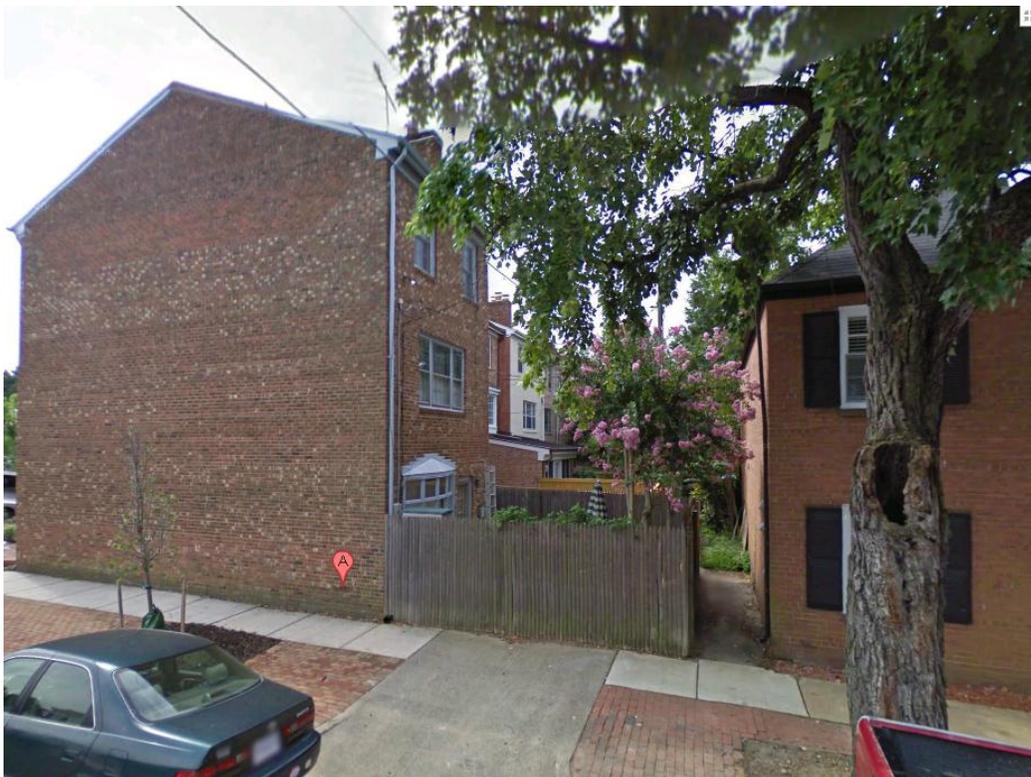


Figure 3: View of Rear Elevation of 501 South Royal, as viewed from Wilkes Street

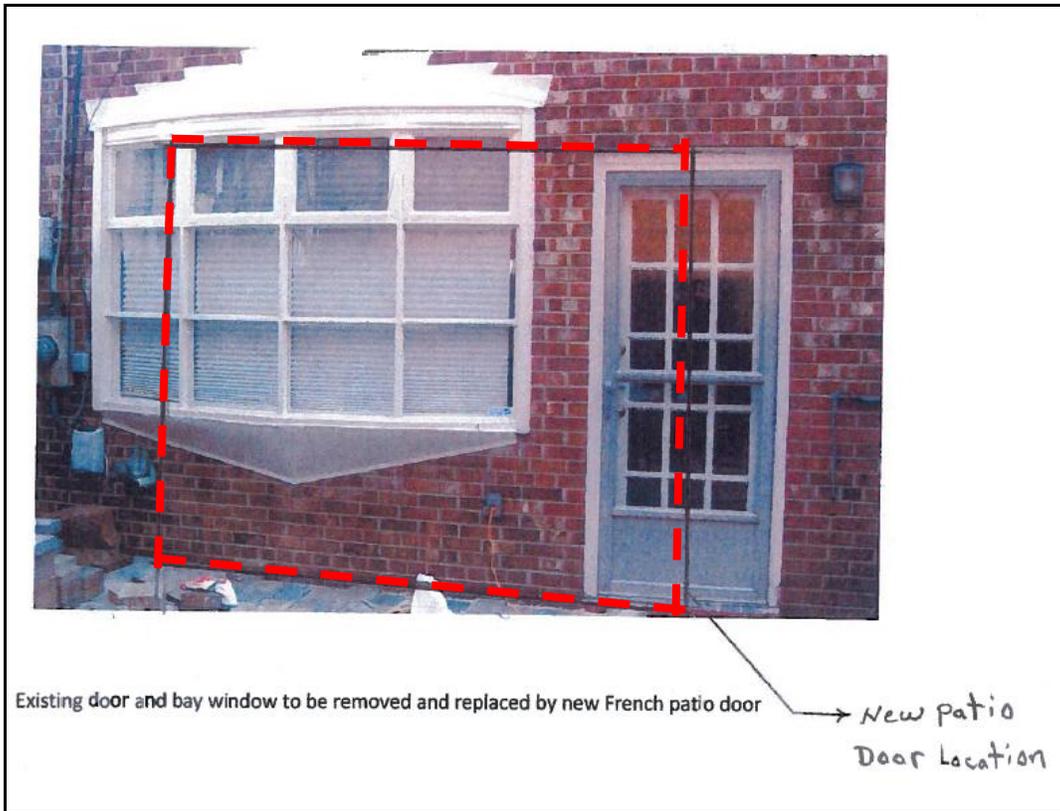


Figure 4: Proposed location of New Door



Figure 5: Proposed Door to be installed on Rear Elevation

VI. ATTACHMENTS

- 1 - Application for alterations to 501 South Royal Street*
- 2 - Supporting Materials*

BAR Case # 2012-0070/71

ADDRESS OF PROJECT: 501 South Royal street Alex, Va- 22314

TAX MAP AND PARCEL: _____ ZONING: _____

APPLICATION FOR: (Please check all that apply)

[X] CERTIFICATE OF APPROPRIATENESS

[X] PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH (Required if more than 25 square feet of a structure is to be demolished/impacted)

[] WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

[] WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT (Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: [] Property Owner [X] Business (Please provide business name & contact person)

Name: A & S Landscaping and construction

Address: 1115 Riva Ridge Drive

City: Great Falls State: Va. Zip: 22066

Phone: (703) 863-7465 E-mail: changizoscar@yahoo.com

Authorized Agent (if applicable): [] Attorney [] Architect [X] contractor

Name: Oscar changiz

Phone: (703) 863-7465

E-mail: changizoscar@yahoo.com

Legal Property Owner:

Name: Betsy and Jason vines

Address: 501 South Royal street

City: Alex State: Va. Zip: 22314

Phone: (314) 562-0467 E-mail: Jason.vines@fleishman.com

- Yes/No questions regarding historic preservation easement, agreement to alterations, and homeowner's association approval.

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
 - awning
 - doors
 - lighting
 - other _____
 - fence, gate or garden wall
 - windows
 - pergola/trellis
 - HVAC equipment
 - siding
 - painting unpainted masonry
 - shutters
 - shed
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

- 1 - Remove existing wood fence on two sides in the back of the house
- 2 - Build new five foot brick wall with one foot of metal fencing on top
- 3 - The brick for new wall will be matched as close as possible to existing brick wall
- 4 - Remove bay window and back door
- 5 - Install new patio door (French door) in place of the bay window & door

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 12 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- N/A Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- Square feet of existing signs to remain: _____.
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

BAR Case # _____

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 12 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: 

Printed Name: oscar changiz

Date: 3-17-2012

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Oscar Changiz	1110 FIVE RIDGE DRIVE GROVE CITY, VA 22066	— 0 —
2. Betsy & Jason Vines	501 S. Royal Street Alex VA - 22314	
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 501 South Royal Street (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

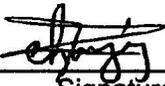
Name	Address	Percent of Ownership
1. Betsy & Jason Vines	501 S. Royal Street Alex Va.	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

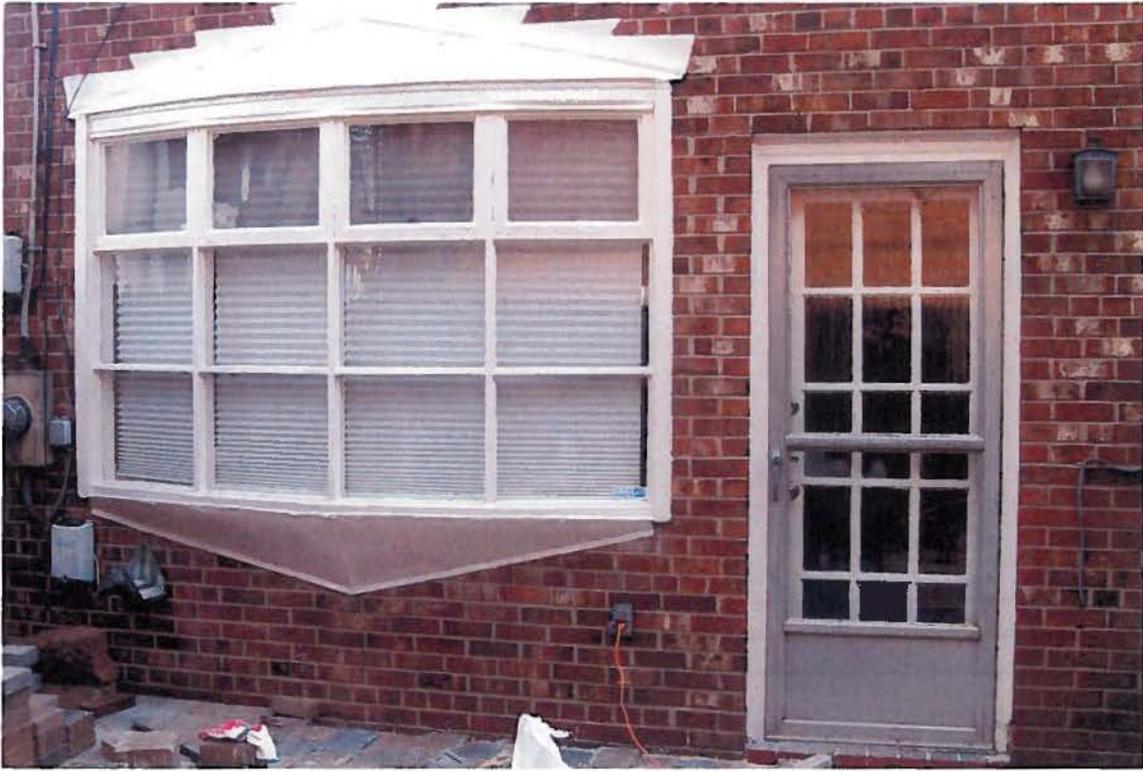
Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Oscar Changiz	Contractor	NA
2. Betsy & Jason Vines	owners	NA
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

3-17-2012 Oscar Changiz 

Date Printed Name Signature



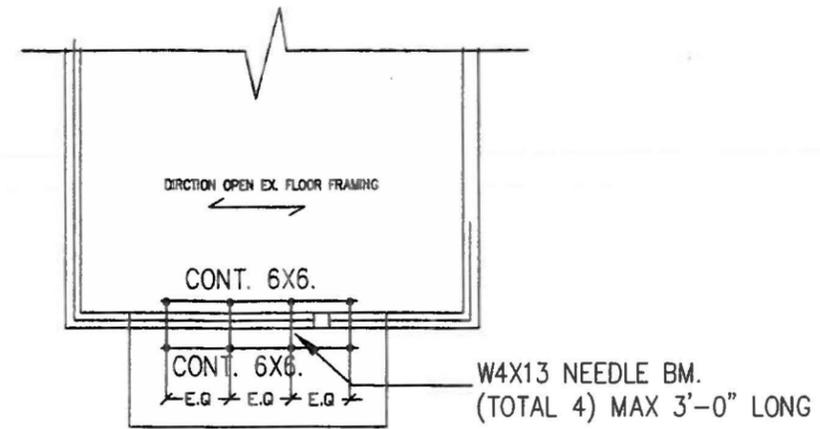
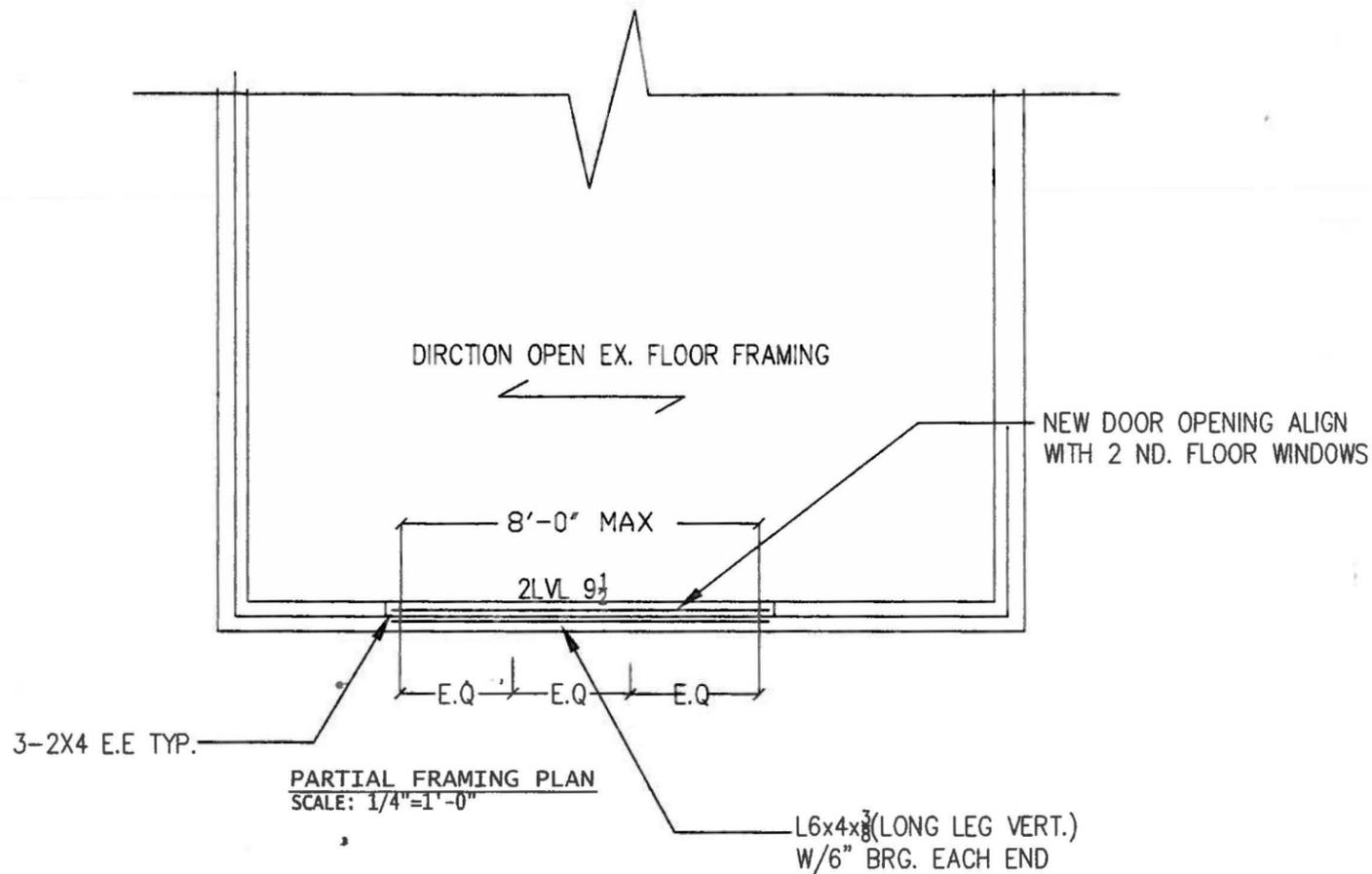


Existing door and bay window to be removed and replaced by new French patio door

→ New patio
Door Location



BENCH MARK FIBERGLASS PATIO DOOR



EXISTING FIRST FLOOR AND PARTIAL PLAN
SCALE: 1/8"=1'-0"

DESIGN LOADS

DESIGN LIVE LOADS ARE AS FOLLOWS:

- ROOF..... 30 LBS./SQ. FT.
- FLOORS..... 40 LBS./SQ. FT.

LUMBER

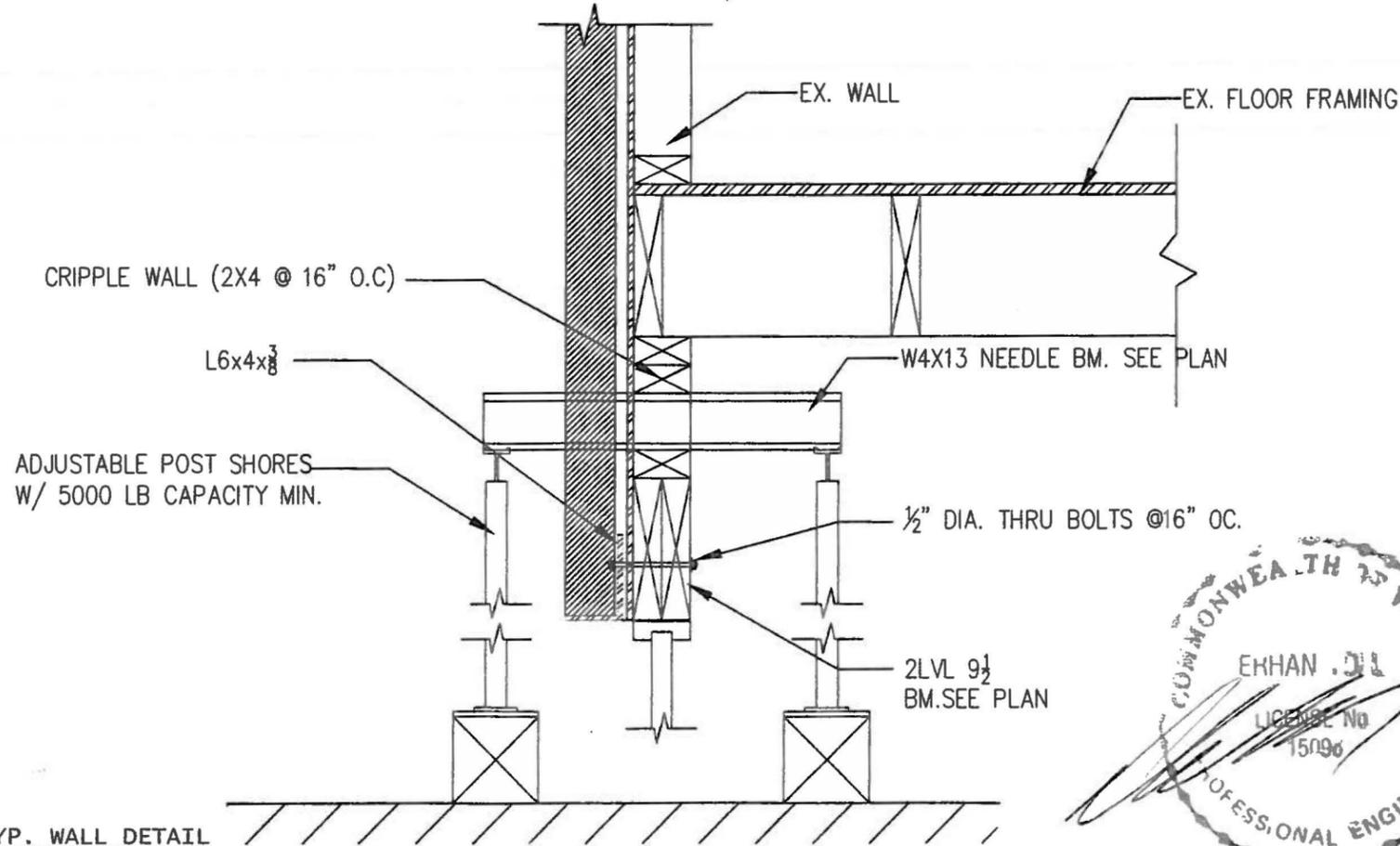
LUMBER SHALL COMPLY WITH THE REQUIREMENTS OF AMERICAN INSTITUTE OF TIMBER CONSTRUCTION AND THE NATIONAL FOREST PRODUCTS ASSOCIATION'S NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.

LUMBER FOR FRAMING SHALL BE SP OR APPROVED EQUIVALENT WITH THE FOLLOWING MINIMUM REQUIREMENTS: FB = 1200 PSI, FV = 90 PSI, FC = 425 PSI (PERPENDICULAR TO GRAIN) AND MODULES OF ELASTICITY E = 1,200,000 PSI, AND A MAXIMUM MOISTURE CONTENT OF 19%.

LAMINATED BEAMS (LVL) SHALL HAVE A MINIMUM ALLOWABLE BENDING STRESS FB = 3150 PSI, FV = 285PSI, FC = 750 (PERPENDICULAR TO GRAIN) FC= 2750(PARALEL TO GRAIN) AND MODULES OF ELASTICITY E = 2,000,000 PSI. (2E)

ALL DOUBLE (OR MORE) HEADERS MUST BE MECHANICALLY FASTENED OR NAILED TO EACH OTHER TO ACT AS A SINGLE UNIT WHEN LOADED.

WOOD COLUMNS AND POSTS SHALL BE FRAMED TO TRUE END BEARINGS, ALL FRAMING LUMBER SHALL BE PRESSURE TREATED



ET&A CONSULTING, INC.
10770 RHODE ISLAND AVENUE
BELTSVILLE, MD 20705
301-931-9130

501 SOUTH ROYAL ST.
ALEXANDRIA VA 22302

WALL PLANS & SECTIONS

SEAL

DATE:03 02 12

1/4" = 1'-0"

12049

S-1