

ADDRESS OF PROJECT: 702-704 King Street

TAX MAP AND PARCEL: 074.02-10-10 ZONING: KR

APPLICATION FOR: *(Please check all that apply)*

- CERTIFICATE OF APPROPRIATENESS
- PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
*(Required if more than 25 square feet of a structure is to be demolished/impacted)*
- WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA *(Section 7-802, Alexandria 1992 Zoning Ordinance)*
- WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT  
*(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)*

Applicant:  Property Owner  Business *(Please provide business name & contact person)*

Nando's of Alexandria, LLC

Name: By: M. Catharine Puskar  
Walsh, Colucci, Lubeley, Emrich & Walsh, PC

Address: 2200 Clarendon Boulevard, Suite 1300

City: Arlington State: VA Zip: 22201

Phone: 703-528-4700 E-mail: cpuskar@arl.thelandlawyers.com

Authorized Agent *(if applicable)*:  Attorney  Architect  \_\_\_\_\_

Name: M. Catharine Puskar Phone: 703-528-4700

E-mail: cpuskar@arl.thelandlawyers.com

Legal Property Owner:

Name: Eleventh Hour, LLC  
c/o Scott McElhaney, Managing Member

Address: P. O. Box 7437

City: Arlington State: VA Zip: 22201

Phone: 703-528-4700 E-mail: scott@arlingtonproperty.net

- Yes  No Is there an historic preservation easement on this property?
- Yes  No If yes, has the easement holder agreed to the proposed alterations?
- Yes  No Is there a homeowner's association for this property?
- Yes  No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

**NATURE OF PROPOSED WORK:** *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
  - awning                       fence, gate or garden wall     HVAC equipment                       shutters
  - doors                               windows                               siding                                       shed
  - lighting                               pergola/trellis                       painting unpainted masonry
  - other See attached description
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

**DESCRIPTION OF PROPOSED WORK:** *Please describe the proposed work in detail (Additional pages may be attached).*

See attached.

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**SUBMITTAL REQUIREMENTS:**

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

**Demolition/Encapsulation :** *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- <sup>N/A</sup>  Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

**DESCRIPTION OF PROPOSED WORK**

On March 21, 2012, the BAR approved an application for signage, lighting, and façade work for Nando's Restaurant at 702-704 King Street. This application requests additional exterior alteration, demolition/encapsulation, and a waiver of screening requirements for the rear of the building, which is located off of a public alley. The details of the proposed work necessary for the new restaurant are described below and depicted on the attached revised drawings.

This application requests BAR review to add a new rooftop ladder, new mechanical duct work, removal of vents and infill with brick, new bathroom vents, removal of an existing window and louver, addition of a new vinyl canopy, replacement of a louver, and the addition of two skylights. Screening for rooftop equipment is provided from King and Washington Streets, and a waiver of the screening requirement is requested for the equipment visible from the alley to the rear of the building.

**Additions & New Construction:** *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 12 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.*

- <sup>N/A</sup> Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- <sup>N/A</sup> Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_.
- Square feet of existing signs to remain: \_\_\_\_\_.
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** *Check N/A if an item in this section does not apply to your project.*

- <sup>N/A</sup> Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

**ALL APPLICATIONS:** *Please read and check that you have read and understand the following items:*

- I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 12 sets of revised materials.

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The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**

Signature: M. Catharine Puskar by em

Printed Name: M. Catharine Puskar

Date: 4/25/12 for 5/16/12 hearing

**OWNERSHIP AND DISCLOSURE STATEMENT**

Use additional sheets if necessary

**1. Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Nando's Restaurant Group, Inc.	819 7th Street, NW Washington, DC 20001	Owens 100% of Applicant Entity
<del>2</del> Owned By:		
3. Nando's Restaurant Group Holdings BV		There are no owners of 10% or greater

**2. Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at 702-704 King Street (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Eleventh Hour, LLC	c/o Scott McElhaney P. O. Box 7434	
2. Scott McElhaney	Arlington, VA 22207	50% Ownership
3. Lisa McElhaney	Same	50% Ownership

**3. Business or Financial Relationships.** Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Nando's Restaurant Group, Inc.	Applicant	None
2. Eleventh Hour, LLC		
3. Scott McElhaney Lisa McElhaney	Owner	None

**NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.**

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

4/25/12                      M. Catharine Puskar                      M. Catharine Puskar by euc  
Date                                      Printed Name                                      Signature



# *Nando's* *Peri-Peri*

@704 King Street, Alexandria VA 22314

City of Alexandria - B.A.R. submission  
February 21st, 2012

Amended for May 16th hearing  
HSK - 9 thru HSK - 16

**HapstakDemetriou+**  
ARCHITECTURE | DESIGN

**jackstone**  
SIGNS



**HapstakDemetriou+**

3247 Q Street, NW  
 Suite 200  
 Washington, DC 20007

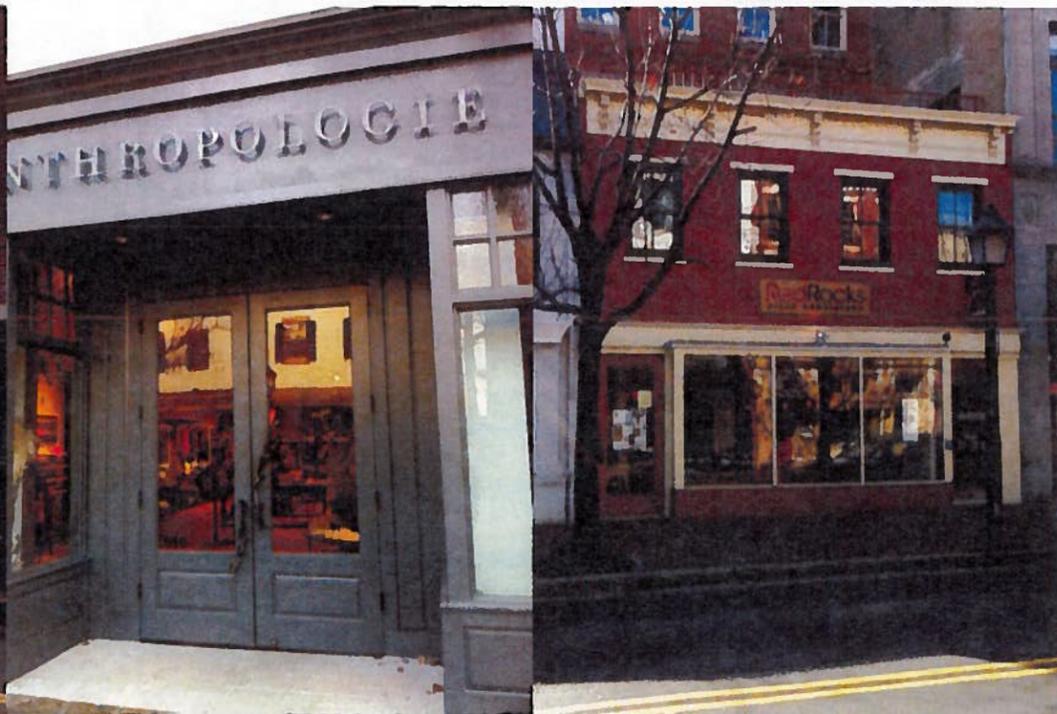
202.333.9038  
 202.333.6888  
 www.hd-ad.com  
 info@hd-ad.com

ARCHITECTURE | DESIGN

**HSK-0**

**Nando's Peri Peri**  
 Project Number 11020.00  
 Existing Conditions Printed 2/21/12

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**HapstakDemetriou+**

3247 Q Street, NW  
 Suite 200  
 Washington, DC 20007

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 202.333.6888  
[www.hd-ad.com](http://www.hd-ad.com)  
[info@hd-ad.com](mailto:info@hd-ad.com)

ARCHITECTURE | DESIGN

**HSK-0.5**

**Nando's Peri Peri**  
 Existing Storefronts  
 Project Number  
 Printed 2/21/12

11020.00

©HapstakDemetriou, pc



**1 EXISTING FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

**2 PROPOSED FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

**3 SIDE VIEW HANGING SIGN**  
SCALE: 1/4" = 1'-0"



**4 SIGNAGE DETAIL ELEVATION**  
SCALE: 1" = 1'-0"

1. SIGNAGE TO CONFORM TO THE CITY OF ALEXANDRIA, VIRGINIA GUIDELINES
2. WIDTH OF STREET FRONTAGE: 28 LINEAR FEET; MAXIMUM ALLOWABLE SIGNAGE AREA: 28 SQUARE FEET  
FLAT SIGN: (18) SQUARE FEET  
HANGING: 30" DIAMETER (LESS THAN 5 SQ FT)
3. WALL SIGN: FTD LETTERS TO BE PIN MOUNTED TO WOOD FASCIA WITH HIDDEN FASTENERS.
4. HANGING SIGN BRACKET AND MOUNTING HARDWARE TO BE METAL PAINTED BLACK. SEE DRAWINGS DETAILS & SPECS FROM SIGNAGE MANUFACTURER

**B-K LIGHTING**  
Quality to Last a Lifetime™

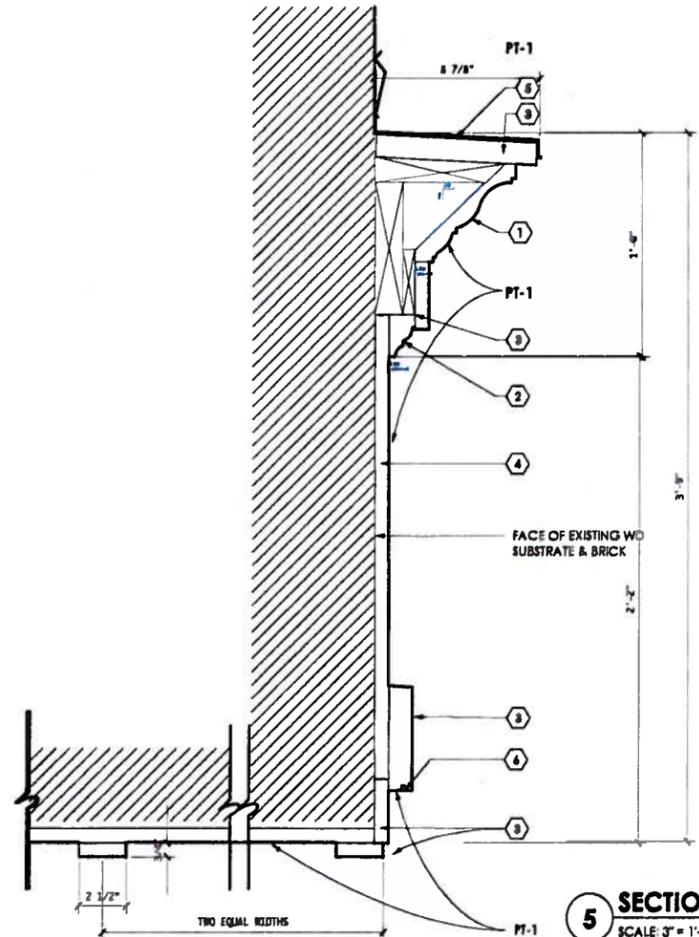
WALL MNTD SIGN LIGHT: BK LIGHTING "MINI MICRO" SIGN LIGHT SOLID STATE (BKSSL)  
#SN-24-L-MM-LED-e88-F1-BLP-12-11-A-PC-L10M-120  
FINISH: BLACK MATTE  
LAMP: LED WITH 2.7K WARMEST AVAILABLE (CRI: 90)

Products / 05 Signlights

**Mini Micro™ Sign Light**  
Solid State (BKSSL™)

Measuring just one inch in diameter, this light is our smallest uplight and features an elegant transition from stem to fixture.

The Mini Micro™ Sign Light incorporates BKSSL™ technology for years of energy efficient service and includes an exclusive locking O' Ring Compression Bracket (O-CB) ensuring precision optical alignment.



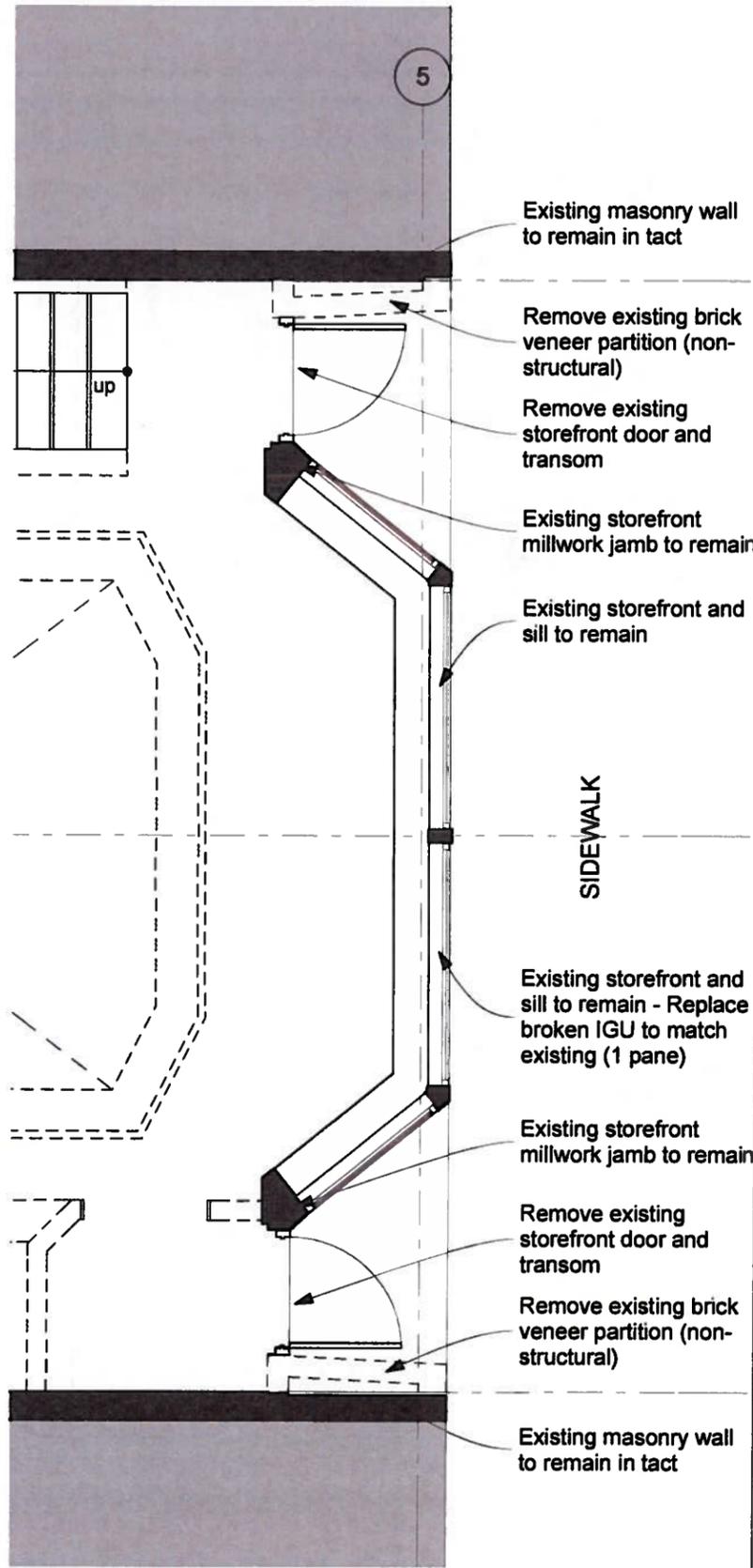
**5 SECTION DETAIL**  
SCALE: 3" = 1'-0"

**KEY NOTES**

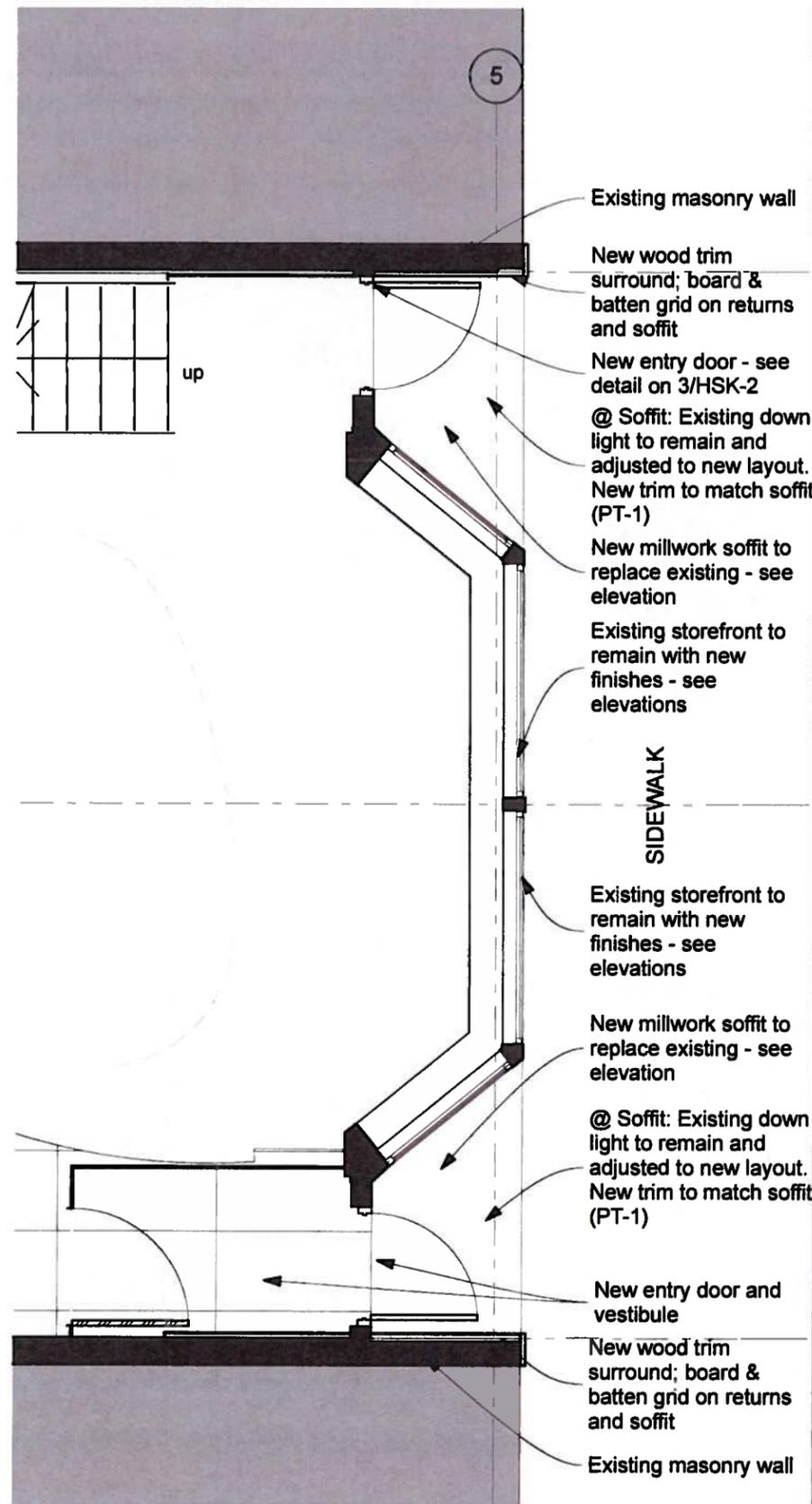
- 1 GREENWICH COLLECTION EXTERIOR CROWNS # 1L E08
- 2 GREENWICH COLLECTION EXTERIOR CROWNS # 1L E08
- 3 EXTERIOR GRADE FTD WOOD
- 4 3/4" THICK MDO PANEL
- 5 BRONZE ANODIZED FLASHING & COUNTERFLASHING; CALUK TO EXISTING MASONRY TO MATCH
- 6 DRIP

**FINISH NOTES**

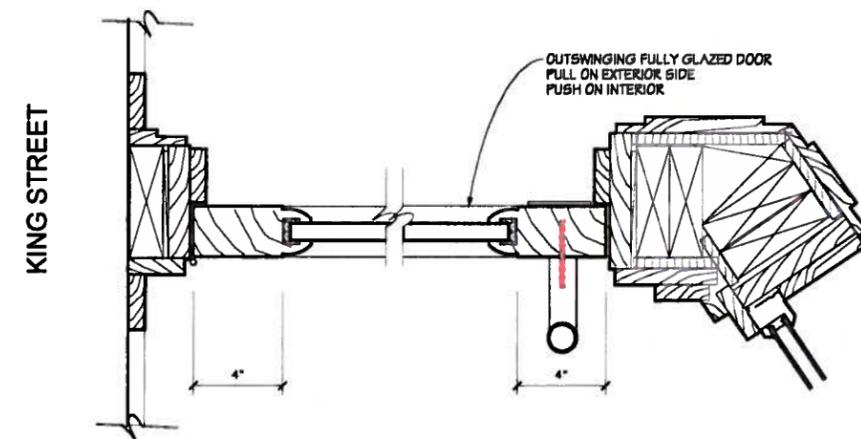
- PT-1 BENJAMIN MOORE HISTORIC COLORS "KENDALL CHARCOAL" # HC-166**  
• EXISTING PAINTED BRICK & WINDOWS SILLS TO RECEIVE:  
(1) PRIME COAT, (2) FINISH COATS FLAT  
• NEW WOOD FASCIA, CROWN, & SOFFIT TO RECEIVE:  
(1) PRIME COAT, (2) FINISH COATS SEMI-GLOSS
- PT-2 BENJAMIN MOORE HISTORIC COLORS BLACK, SEMI-GLOSS**  
ON WINDOW UNITS, CASING TRIM, BAY WINDOW, AND ENTRY DOORS; ALL WOOD TRIM BELOW SOFFIT



**1** Storefront Demo - First Floor  
Scale: 1/4" = 1'-0"



**2** Storefront New work - First Floor  
Scale: 1/4" = 1'-0"



**3** Door Jamb detail  
Scale: 6" = 1'-0"



**HapstakDemetriou+**

3247 Q Street, NW  
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Washington, DC 20007

202.333.9038  
202.333.6888  
www.hd-ad.com  
info@hd-ad.com

ARCHITECTURE | DESIGN

**HSK-5**

**Nando's Peri Peri**

Nando's Alexandria  
Front Perspective - New Work

Project Number 11020.00  
Printed 2/21/12

© HapstakDemetriou+, PLLC



# HSK-6

## Nando's Peri Peri

Nando's Alexandria    Project Number    11020.00  
Street Perspective - New work    Printed 3/15/12    © Haysball/DunneBourne, LLC



**HSK-5A**

**Nando's Peri Peri**

Nando's Alexandria  
Front Perspective - Night

Project Number 11020.00  
Printed 3/1/12

© HKS Architects, Inc.

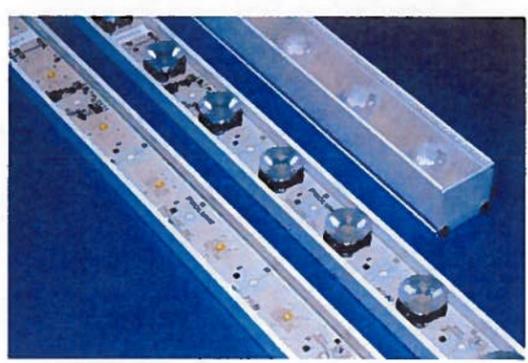
**NEW**



**Energy Efficient, High Quality, LED Lighting Products**

**SERIES RLA  
CUSTOM LINEAR ARRAYS  
with LUXEON REBEL® LEDs**

Prolume Series RLA Linear Arrays allow the custom design of hi-flux LED lighting in interior applications including cove and accent lighting, case lighting, edge lighting, wall raking and more. Key features include...



- LUXEON Rebel® LEDs**  
 ANSI binned white light in a range of temperatures from 2700°K to 6500°K with typical CRI of 70 and 85. Colored light in red, blue, green, amber and cyan also available.
- Light Distribution**  
 Available with or without optics to provide patterns from 15° narrow to 150° wide including elliptical.
- Circuit and Thermal Management**  
 Uniquely designed circuit in a 24VDC convention allows series / parallel LED groupings to permit custom fixture lengths. Temperature compensation and wiring boards that are thermally bonded to fixture assemblies insure minimum 50,000 hour LED life to 70% LM.
- Array Styles**  
 Arrays are custom to specific application lengths and can be provided in laser cut tubes, "U" channels, flat channels or other fixture designs tailored to the application requirements. Fixture colors are custom (specify).

- Power**  
 7.6 watts per foot @ 350mA. A full range of LED drivers for Class 2 wiring methods are available. See separate catalog section.
- Luminous Intensity (Typical)**
  - 2700°K – 438 lumens / foot
  - 3000°K – 462 lumens / foot
  - 3500°K – 480 lumens / foot
  - 4000°K – 510 lumens / foot
  - 5000°K – 630 lumens / foot
  - 5700°K – 630 lumens / foot
  - 6500°K – 630 lumens / foot
- Dimming**  
 When dimming is specified, a third wire is provided in the wiring termination to accept a 0-10VDC signal from a dimming controller (by others). See wiring diagram and notes under Technical Information.

**Fixture Schedule**  
TYPE            Model Number

**Job:**

**Remarks:**



HIGHLY INNOVATIVE • TECHNOLOGY BASED • QUALITY LIGHTING PRODUCTS

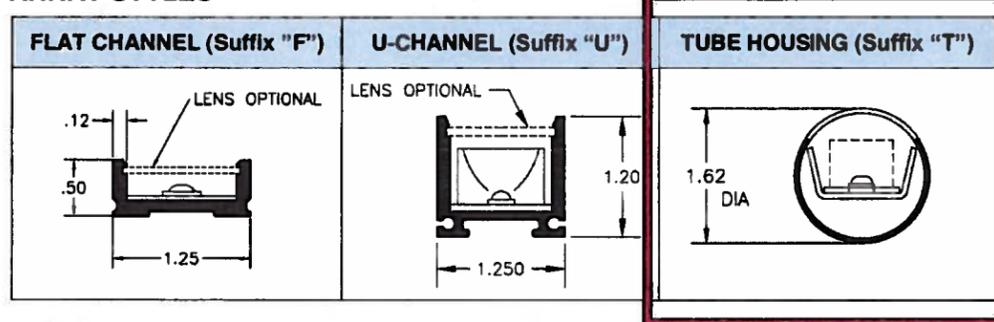
525 Fan Hill Road • Monroe • Connecticut 06468  
 Phone (800) EXIT-LED • FAX (203)268-7855  
[www.prolumeLED.com](http://www.prolumeLED.com)  
 email: [info@prolumeled.com](mailto:info@prolumeled.com)

**TECHNICAL INFORMATION**

LED SELECTOR / ANSI Binned					OPTICS	
COLOR	CCT Nominal	CRI Typical	LED Ordering Suffix	Lumens / LED @ 350mA*	Viewing Angle	Order Suffix
Warm White	2700°K	85	W827	73	40° Wide (DIFFUSED)	W
Warm White	3000°K	85	W830	77	15° Spot (DIFFUSED)	S
Neutral White	3500°K	85	N835	80	50° x 10° ELLIPTICAL	E
Neutral White	4000°K	85	N840	85	CLEAR LENS FOR 'F' AND 'U' CHANNELS	C
Cool White	5000°K	70	C750	105	DIFFUSED LENS FOR 'F' AND 'U' CHANNELS	D
Cool White	5700°K	70	C757	105	*F' CHANNEL FIXTURES WITH NO OPTICS HAVE 150° DISTRIBUTION	N
Cool White	6500°K	70	C765	105		

Other LEDs with different CCT, CRI and drive current values may be available. Color LEDs in red, green, blue, amber and cyan also available. CONSULT FACTORY

**ARRAY STYLES**



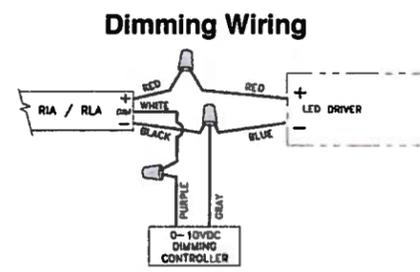
**ORDERING...**

**SERIES – LENGTH, ARRAY STYLE, LENS – LED SUFFIX – OPTIC SUFFIX / TERMINATION\***  
 (\* - See separate catalog page for termination options)

**Example...**

**MODEL RLA-45UC-N740-E/10TD**

RLA fixture, 45" L, U-Channel with Clear lens, Neutral white LEDs, 70 CRI, 4000°K CCT, Elliptical optics, 10' Tray cable termination leads for Dimming



Note: the dimmer (controller) must be able to sink .5mA per foot of RLA fixture. Less than .5mA will be "off". If the controller cannot sink down to .5mA a separate control should be used to disconnect the AC from the driver to turn the fixture(s) completely off.

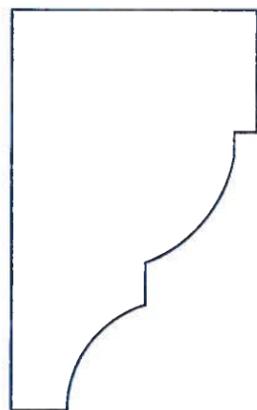
(Form RLA010311.Rev4)

**HSK-5B**

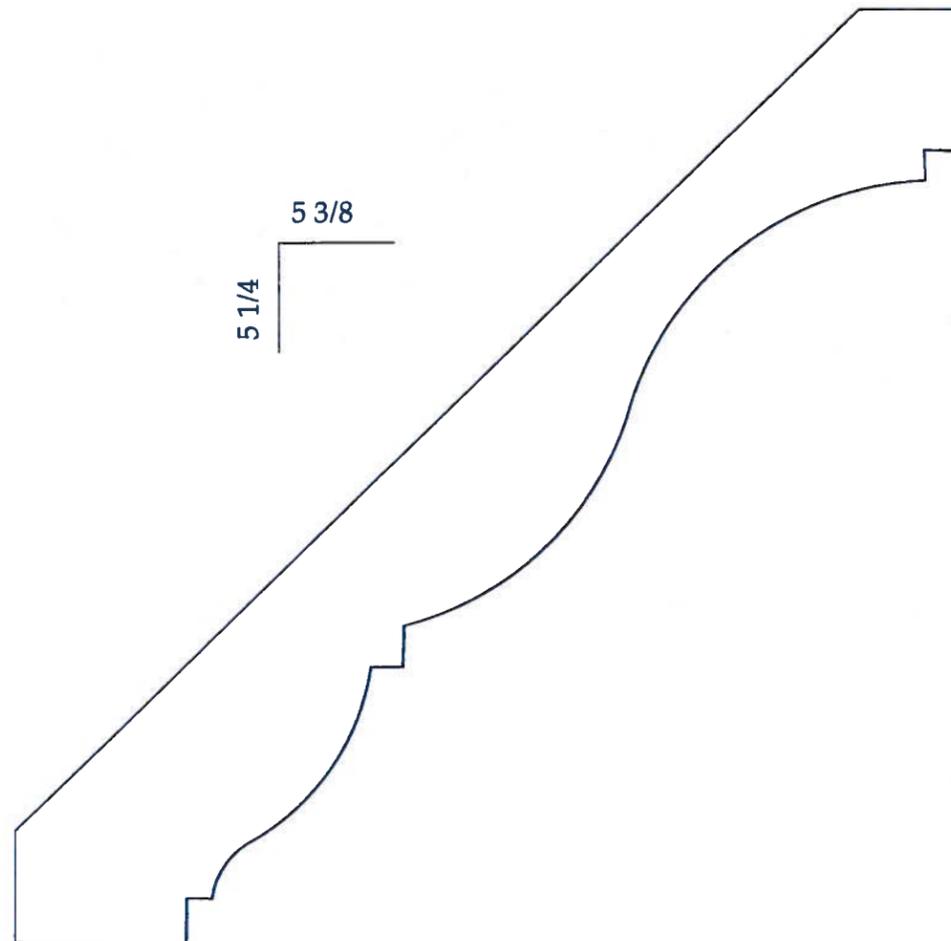
**Nando's Peri Peri**

Nando's Alexandria  
 Project Number 11020.00  
 Exterior Accent Light Specification  
 Printed 3/1/12

11020.00  
 Nando's Alexandria



IL E08  
1 3/8 x 2 1/4



IL E03  
1 1/8 x 7 1/2

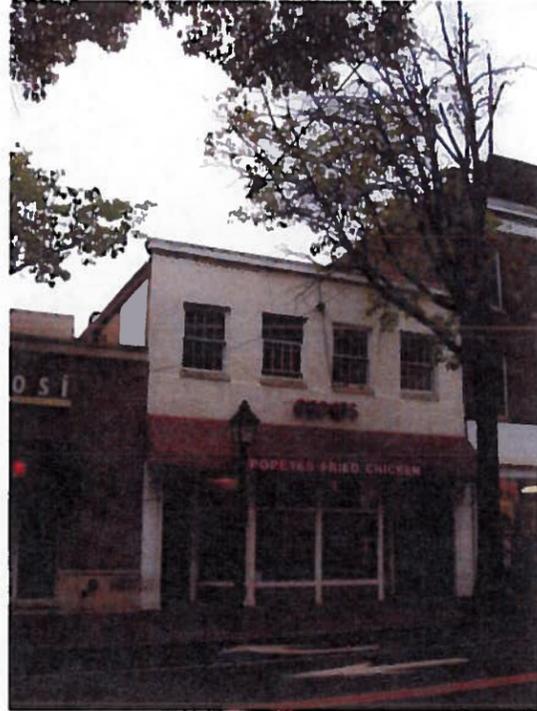
1 Crown small trim 3  
Scale: 1' = 1'-0"

2 Crown  
Scale: 1' = 1'-0"





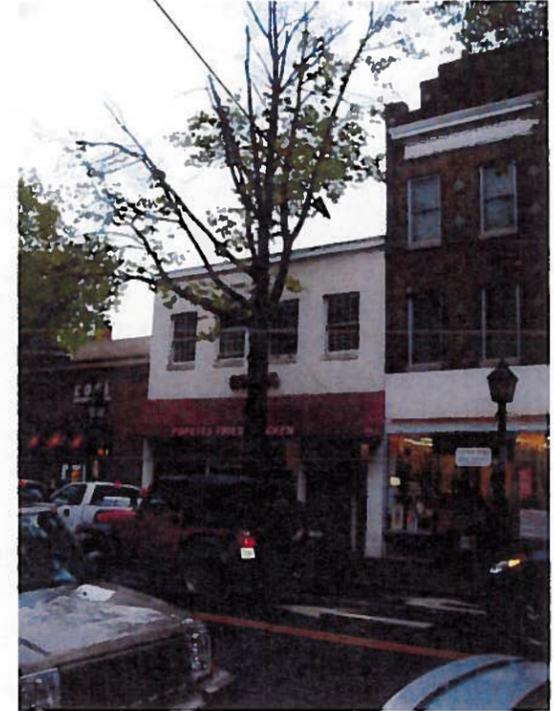
No current visibility of roof top units from King Street



3



2



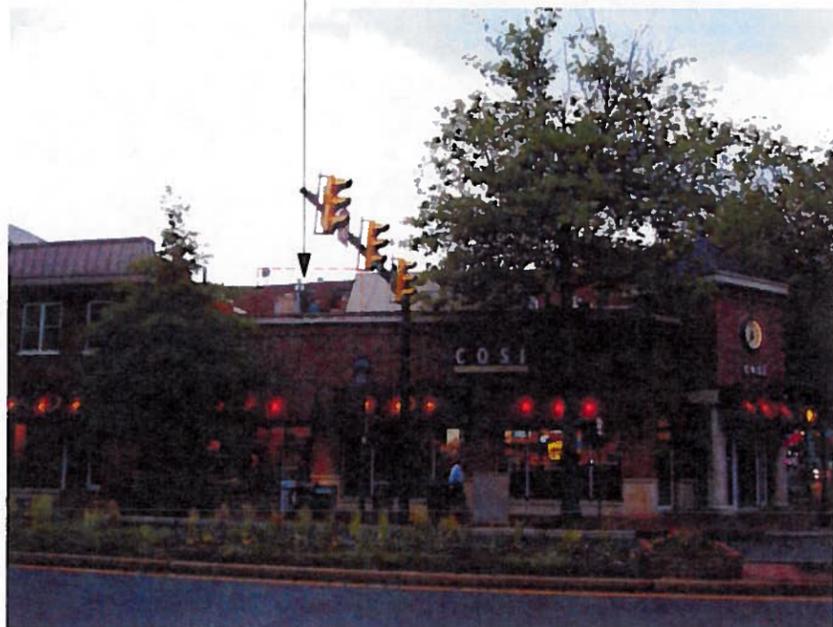
1

No visibility to site from Washington and rear alley due to set back of Nando's site in rear



6

Roof units can only currently be seen from Washington Street at this location

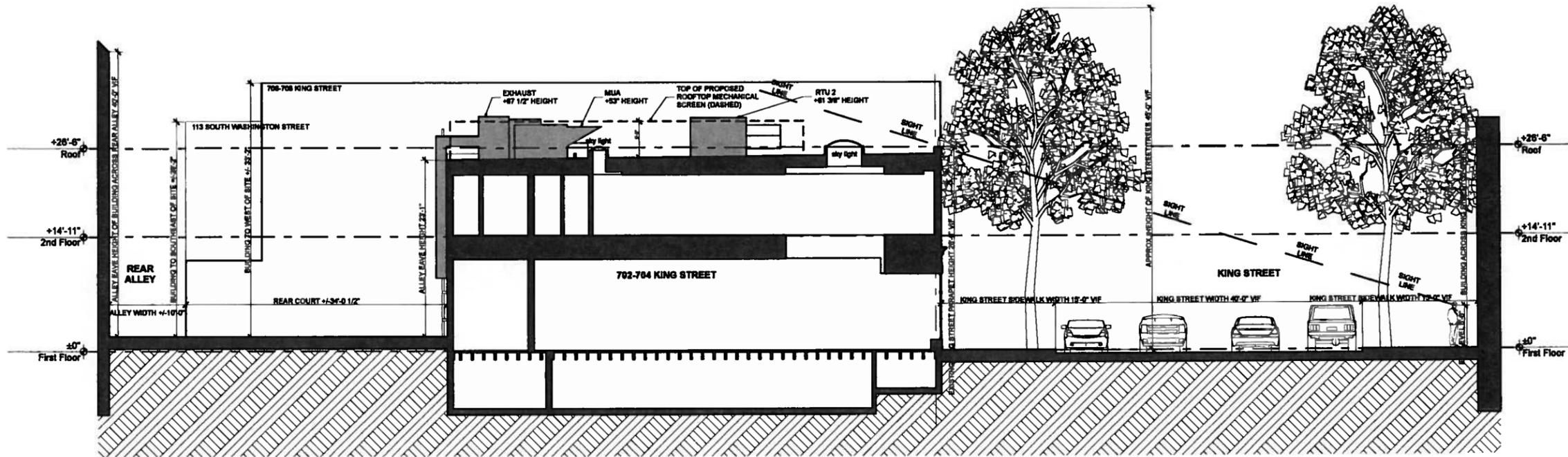


5



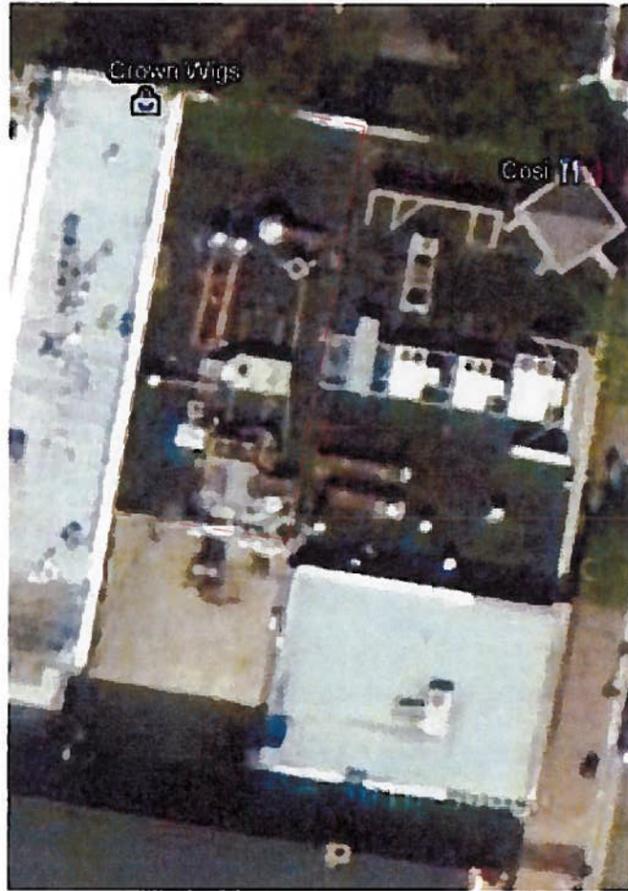
4

**HSK-9**



1 Site section  
 Scale: 1/16" = 1'-0"

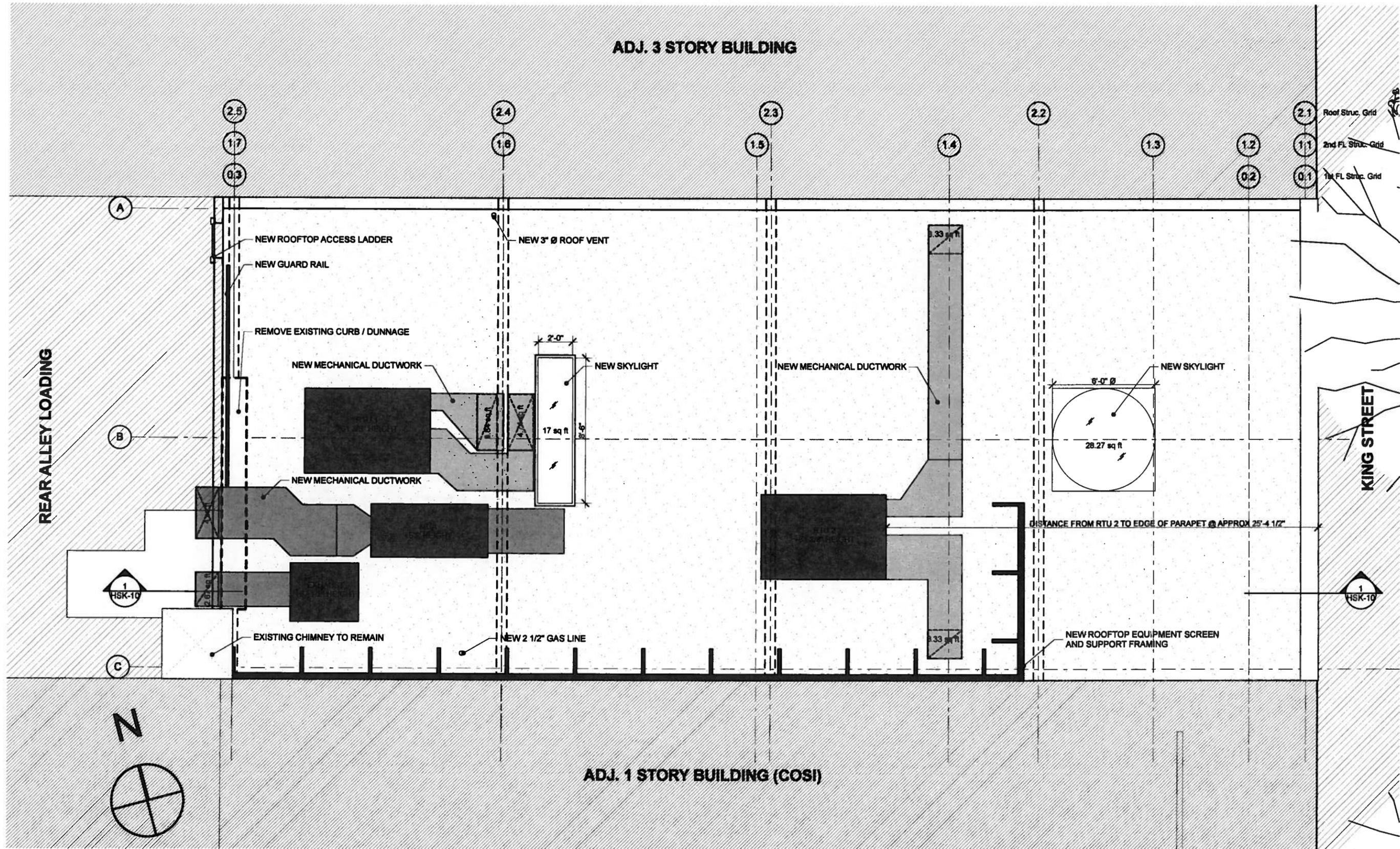
HSK-10



This existing is closest to King Street. Unit is approx. 6'-8" high above roof and approx. 19'-0" back from edge of roof from King Street. At this current height and location, it cannot be seen from street below nor across the street on King.



# HSK-11



ADJ. 3 STORY BUILDING

ADJ. 1 STORY BUILDING (COSI)

REAR ALLEY LOADING

KING STREET

HSK-12

2.5  
1.7  
0.3  
2.4  
1.6  
2.3  
1.5  
1.4  
2.2  
1.3  
1.2  
0.2  
2.1  
1.1  
0.1  
Roof Struc. Grid  
2nd FL Struc. Grid  
1st FL Struc. Grid

A

B

C

1  
HSK-10

1  
HSK-10



NEW ROOFTOP ACCESS LADDER

NEW GUARD RAIL

REMOVE EXISTING CURB / DUNNAGE

NEW MECHANICAL DUCTWORK

NEW MECHANICAL DUCTWORK

EXISTING CHIMNEY TO REMAIN

NEW 3" Ø ROOF VENT

2'-0"

NEW SKYLIGHT

17 sq ft

NEW 2 1/2" GAS LINE

NEW MECHANICAL DUCTWORK

NEW SKYLIGHT

6'-0" Ø

28.27 sq ft

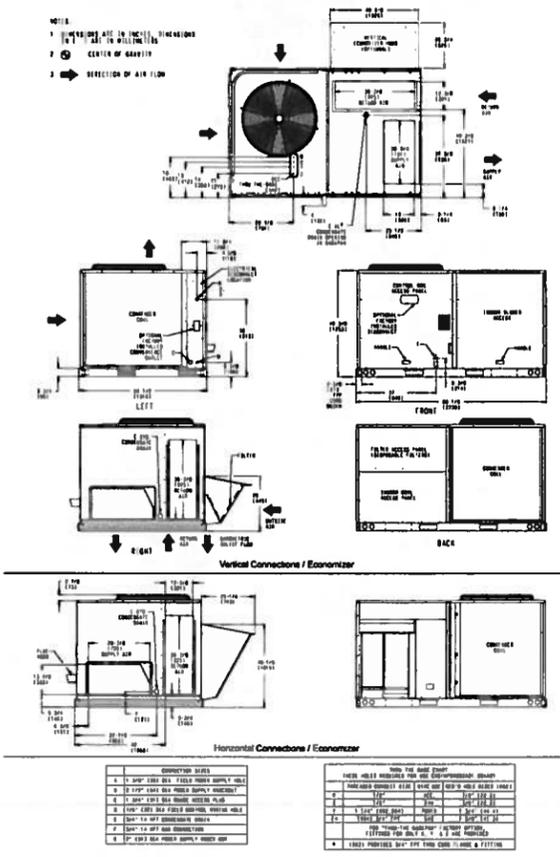
DISTANCE FROM RTU 2 TO EDGE OF PARAPET @ APPROX 25'-4 1/2"

NEW ROOFTOP EQUIPMENT SCREEN AND SUPPORT FRAMING

1 Restroom Plan Detail

Scale: 3/16" = 1'-0"

**CURBS & WEIGHTS DIMENSIONS - 48HC 12**



**CURBS & WEIGHTS DIMENSIONS - 48HC 12 (cont.)**

UNIT	STD. UNIT WEIGHT		CORNER WEIGHT (A)		CORNER WEIGHT (B)		CORNER WEIGHT (C)		CORNER WEIGHT (D)		C.G.			
	NO.	WT.	NO.	WT.	NO.	WT.	NO.	WT.	NO.	WT.	X	Y	Z	
48HC-012	1089	489	337	153	307	139	217	98	238	808	42.718671	24.518	16263	23.15843



Fig. 10 - Dimensions 48HC 12

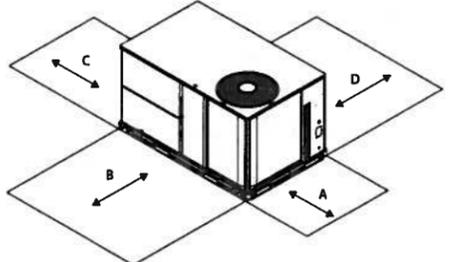


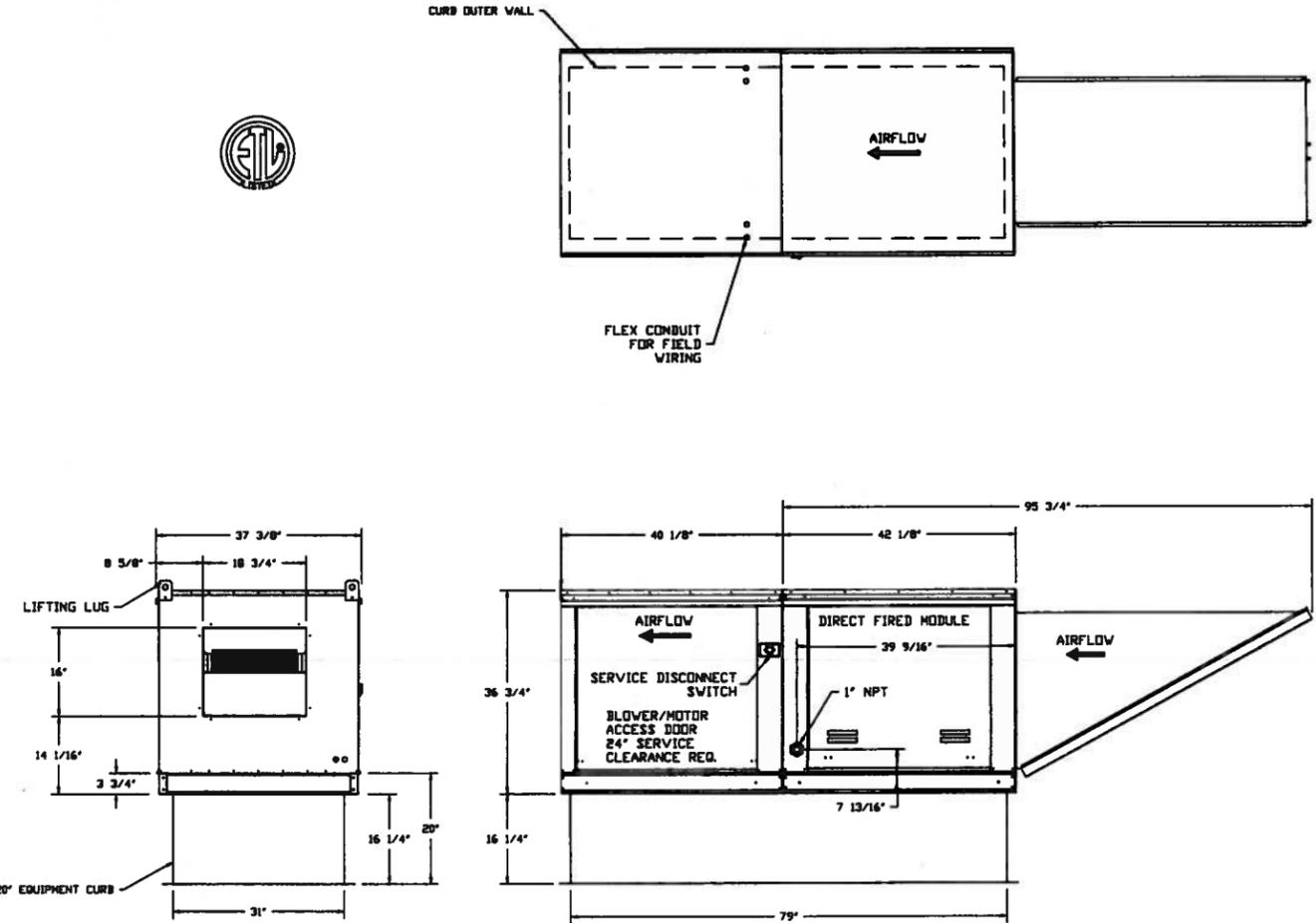
Fig. 11 - Service Clearance

LOC.	DIMENSION	CONVENTION
A	42-in (1067 mm)	Unit disconnected to mounted on panel
	18-in (457 mm)	No disconnect, convenience outlet option
	18-in (457 mm)	Recommended service clearance
B	12-in (305 mm)	Minimum clearance
	42-in (1067 mm)	Surface behind service is grounded (e.g., metal, masonry wall)
C	36-in (914 mm)	Surface behind service is electrically non-conductive (e.g., wood, fiberglass)
	36-in (914 mm)	Check for sources of flue products within 10-ft of unit fresh air intake hood
D	18-in (457 mm)	Side condensate drain is used
	18-in (457 mm)	Minimum clearance
D	42-in (1067 mm)	No flue discharge accessory installed, surface is combustible material
	42-in (1067 mm)	Surface behind service is grounded (e.g., metal, masonry wall, another unit)
	36-in (914 mm)	Surface behind service is electrically non-conductive (e.g., wood, fiberglass)

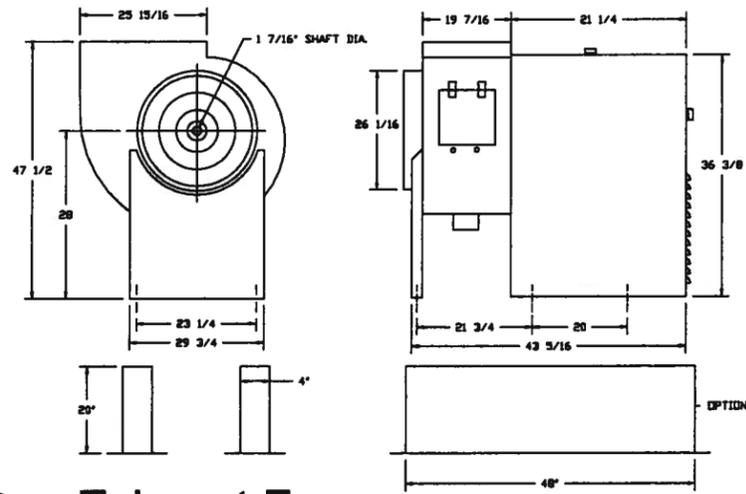
**3 RTU 1 & 2**  
NOT TO SCALE

- FAN 02 AE-D300-G15 - HEATER  
 1. DIRECT GAS FIRED HEATED MAKE UP AIR UNIT WITH 15" BLOWER  
 2. INTAKE HOOD WITH EZ FILTERS  
 3. SIDE DISCHARGE - AIR FLOW RIGHT -> LEFT  
 4. GAS PRESSURE GAUGE, 0-35", 2.5" DIAMETER, 1/4" THREAD SIZE  
 5. COOLING INTERLOCK RELAY, 24VAC COIL, 120V CONTACTS, LOCKS OUT BURNER CIRCUIT WHEN AC IS ENERGIZED  
 6. LOW FIRE START, ALLOWS THE BURNER CIRCUIT TO ENERGIZE WHEN THE MODULATION CONTROL IS IN A LOW FIRE POSITION  
 7. GAS PRESSURE GAUGE, -5 TO +15 INCHES WC, 2.5" DIAMETER, 1/4" THREAD SIZE  
 8. MOTORIZED BACK DRAFT DAMPER 22.75" X 24" FOR SIZE 2 STANDARD & MODULAR DIRECT FIRED HEATERS W/EXTENDED SHAFT, STANDARD GALVANIZED CONSTRUCTION, 3/4" REAR FLANGE, LIFTERS ACTUATOR INCLUDED  
 9. SEPARATE 120VAC WIRING PACKAGE FOR MAKE-UP AIR UNITS. OPTION MUST BE SELECTED WHEN MOUNTING VFD IN PREVIOUS PANEL OR WITH EMS PACKAGE. PROVIDES SEPARATE 120VAC INPUT TO SUPPLY FAN. THIS 120V SIGNAL MUST BE RUN BY ELECTRICIAN FROM EMS TO HMA SWITCH

SUPPLY SIDE HEATER INFORMATION  
 WINTER TEMPERATURE = 20°F, TEMP. RISE = 54°F.  
 BTUH CALCULATED OFF ACTUAL AIR DENSITY  
 OUTPUT BTUH AT ALTITUDE OF 0.0 Ft. = 283808  
 INPUT BTUH AT ALTITUDE OF 0.0 Ft. = 308487



**1 MUA**  
Scale: 6" = 1'-0"



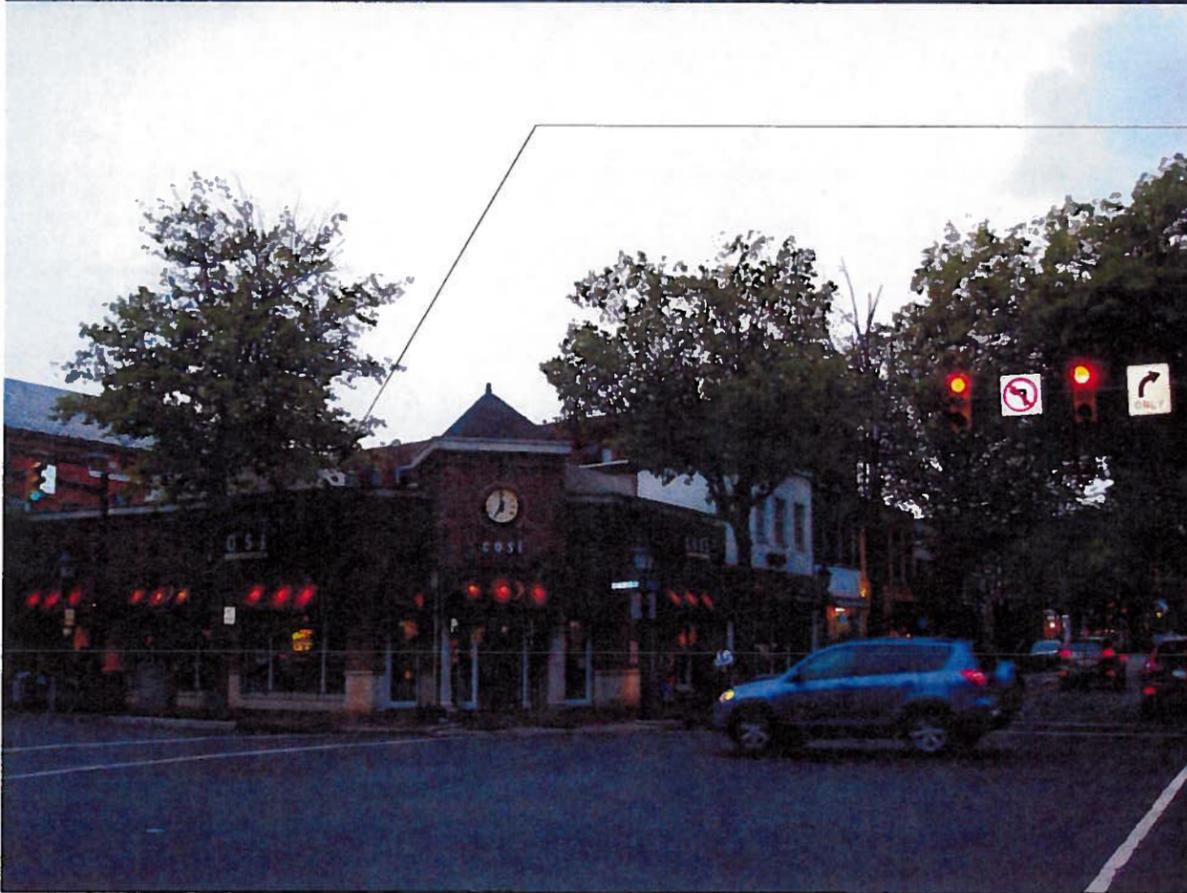
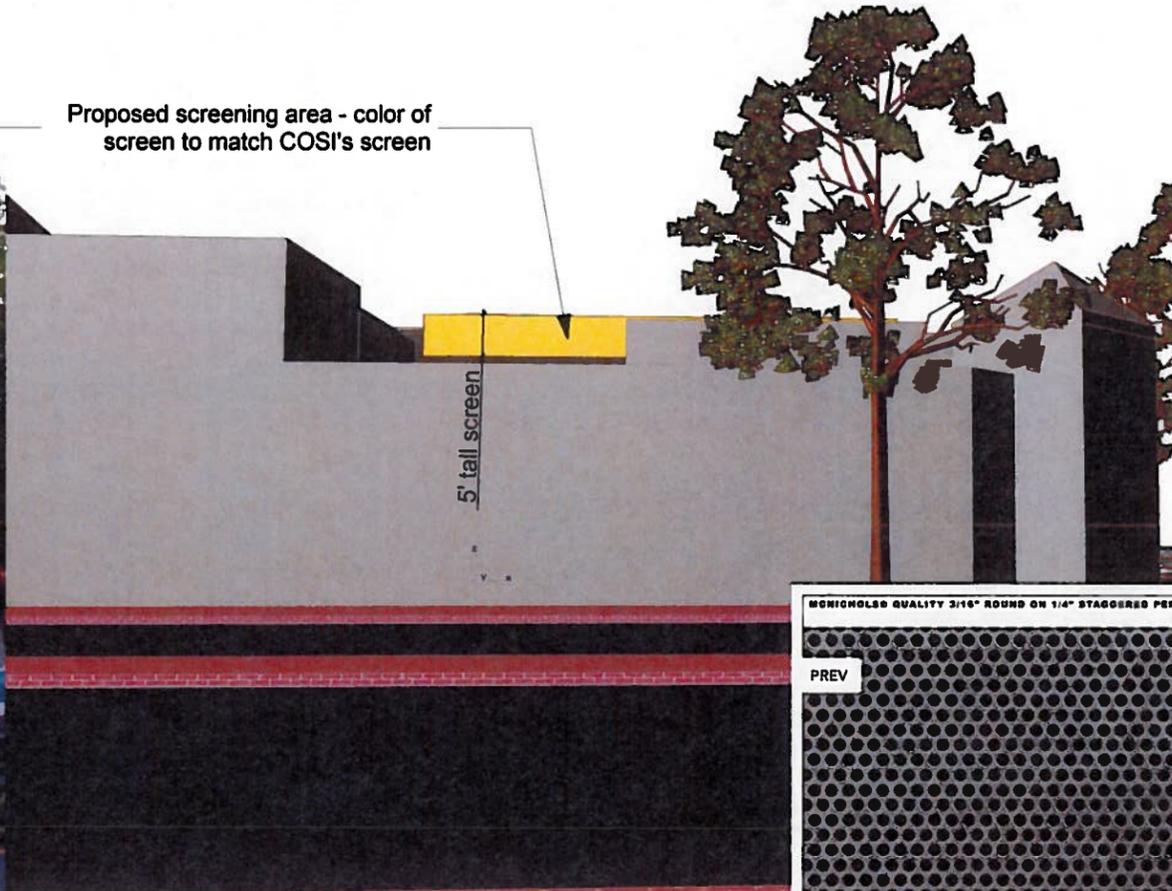
- FEATURES:**  
 - FULL AMCA CLASS 1 OPERATION  
 - VENTED MOTOR COVER FOR WEATHER PROTECTION  
 - UL762 LISTED FOR RESTAURANT DUTY  
 - UPBLAST DISCHARGE DIRECTS AIR AWAY FROM FLOOR  
 - CONTINUOUSLY WELDED HOUSING  
 - CLEANOUT DOOR WITH BOLTS PROVIDE EASY ACCESS  
 - 2" GREASE DRAIN WILL NOT CLOG  
 - DISCONNECT SWITCH
- OPTIONS:**  
 EXHAUST FAN GREASE CUP (TWIN CITY UTILITY SET)  
 UTILITY SET - SPRING VIBRATION ISOLATORS - B120 THRU B124 / EQUIVALENT  
 SIZED UTILITY SET - INDOOR/OUTDOOR USE

**2 Exhaust Fan**  
Scale: 6" = 1'-0"

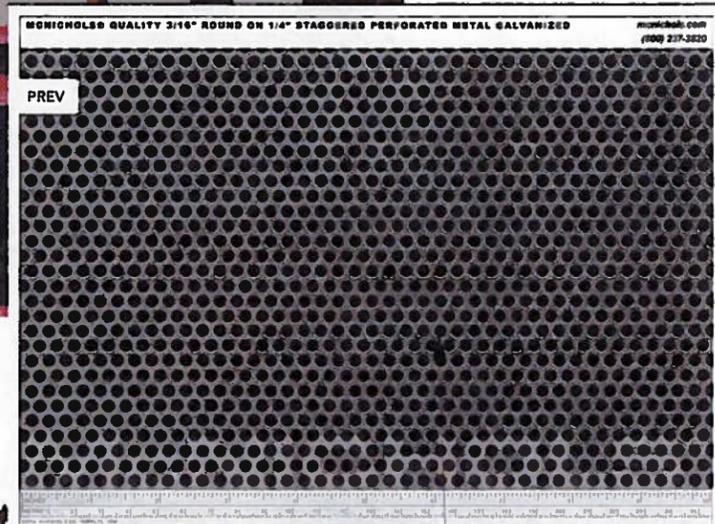
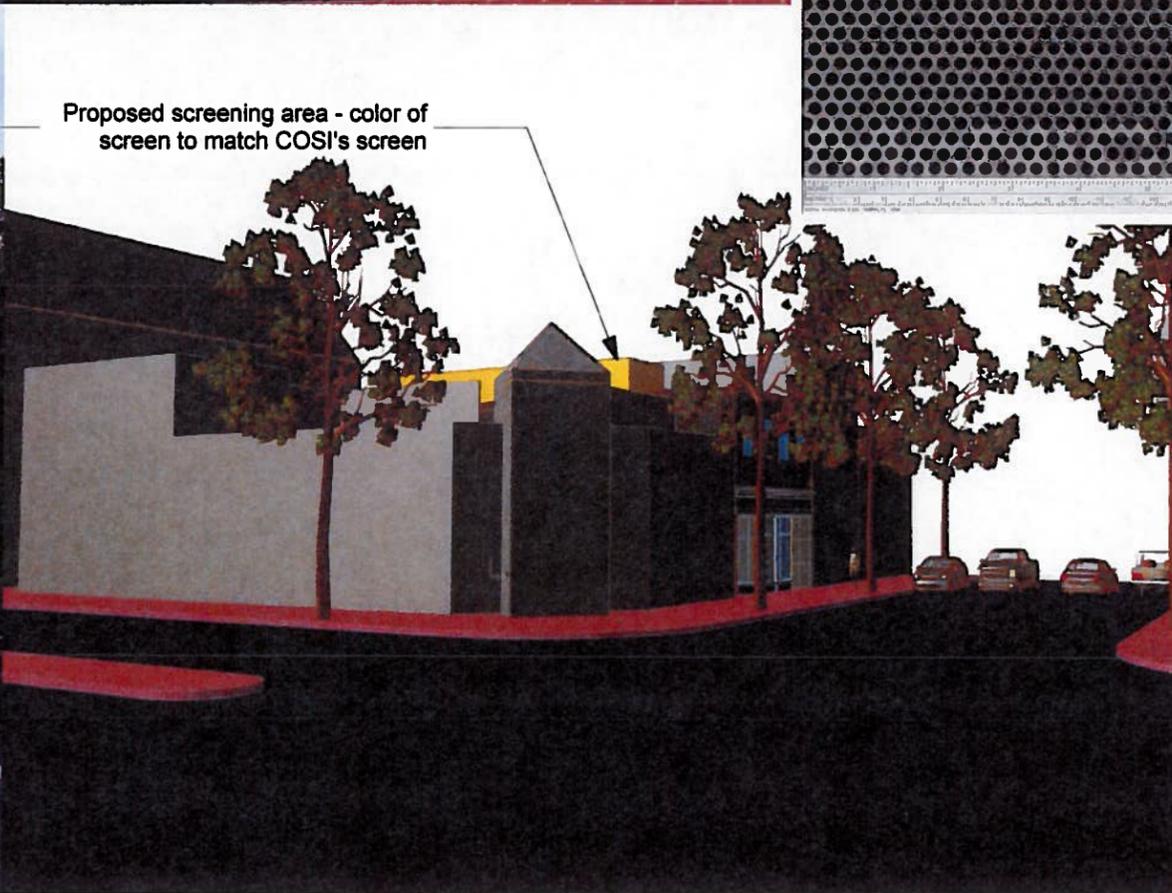
**HSK-13**



Proposed screening area - color of screen to match COSI's screen

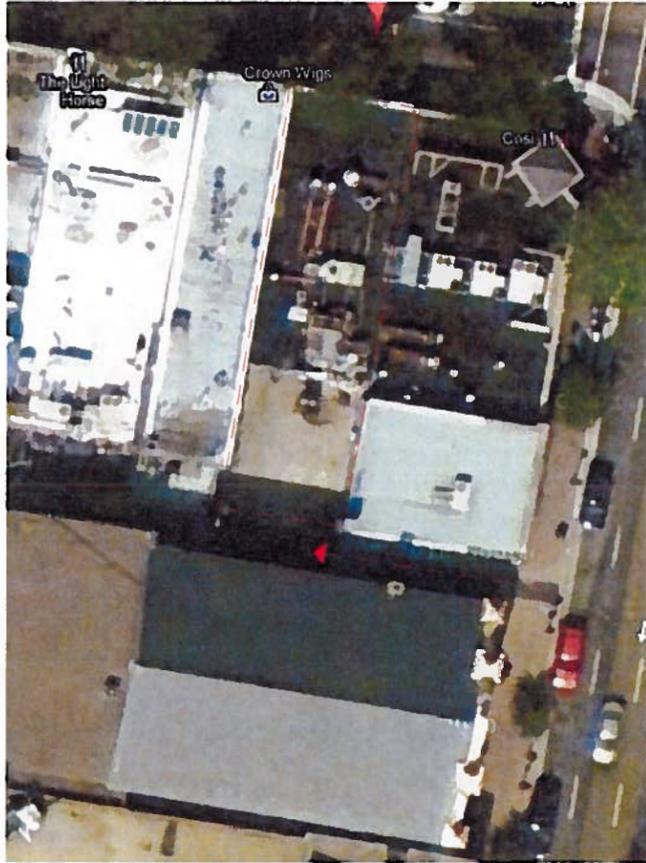


Proposed screening area - color of screen to match COSI's screen

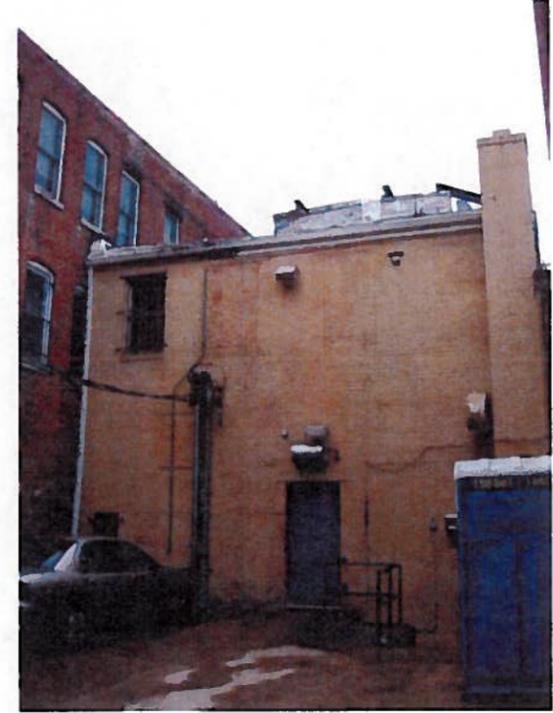
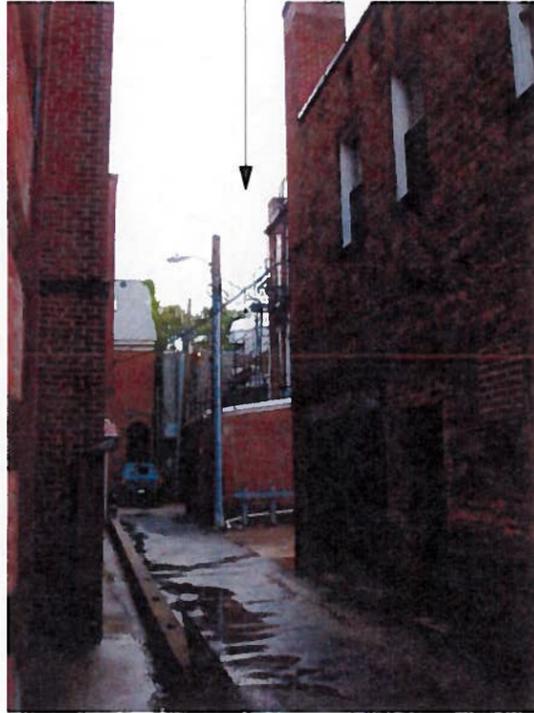


Proposed screening material. To be fastened onto galvanized alum. framing. Color of screen to match COSI's screen (beige)

# HSK-14



No visibility to rear of site because of set back.



Current roof access is only available by using the neighboring roof access ladder. However this ladder stops at the 1 story building roof. Additional non-code compliant 6' ladder is being used on top of the neighbor's roof to gain access up to our roof.

# HSK-15

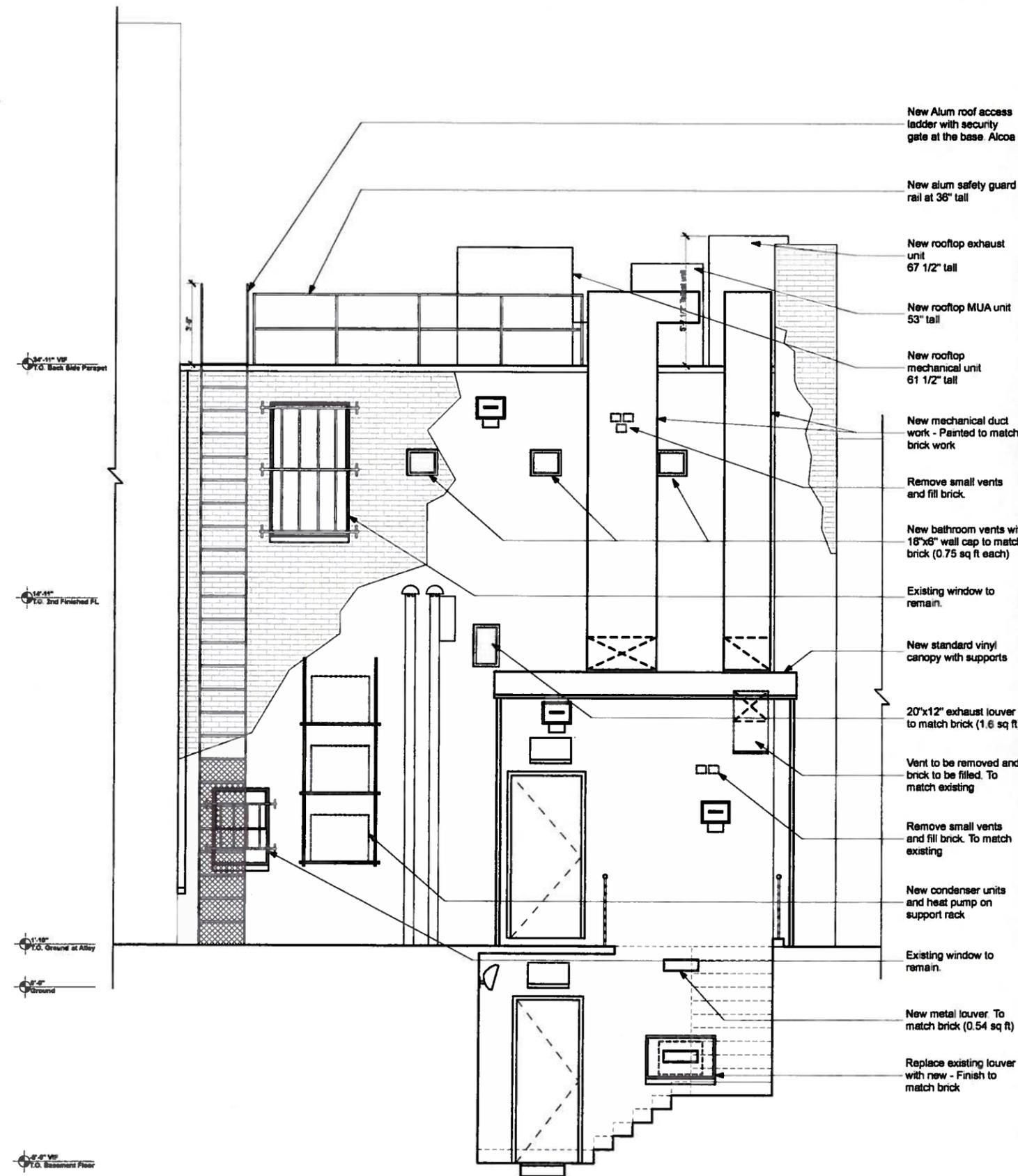
Nando's Peri Peri

Nando's Peri Peri Alexandria Rear Alley conditions

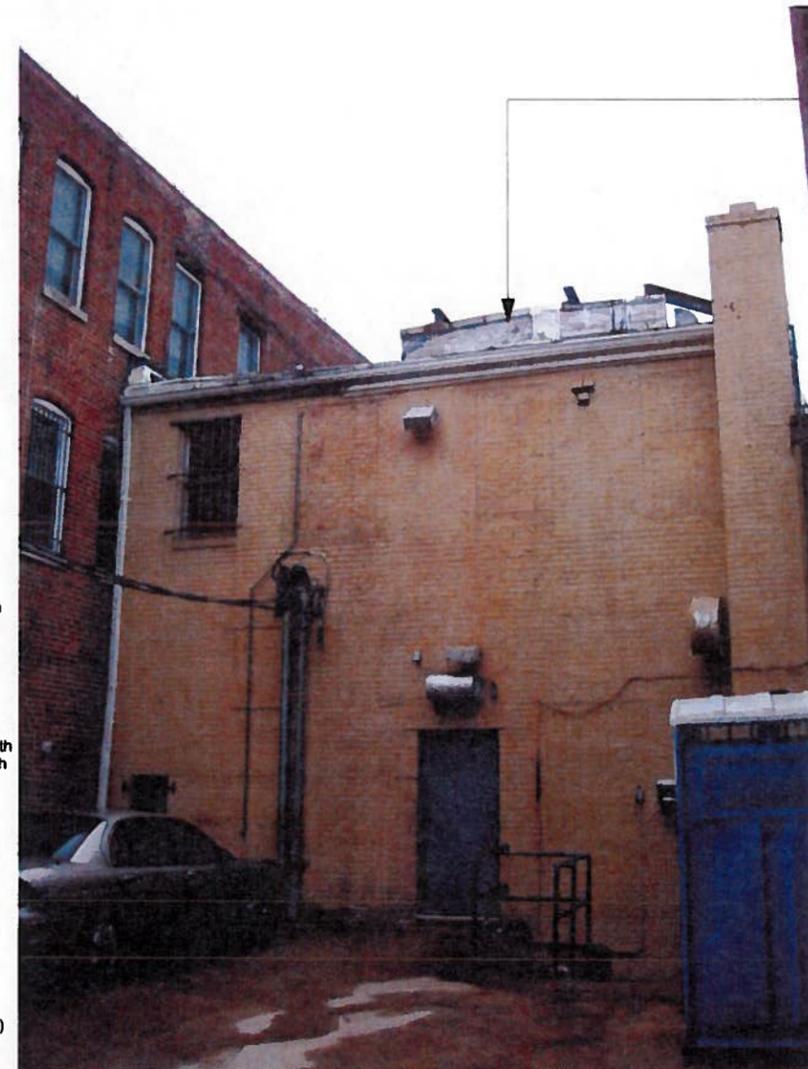
Project Number 11020.00

Printed 4/25/12

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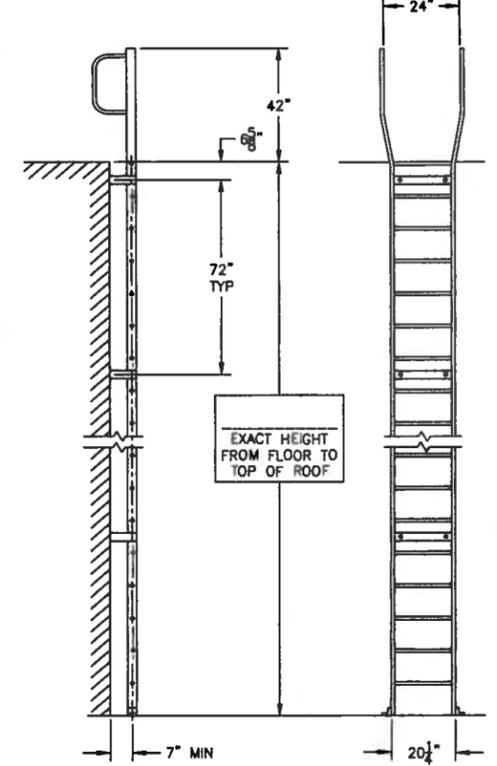


**1** Rear Elevation  
Scale: 3/16" = 1'-0"

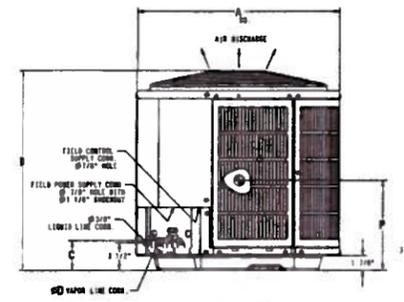
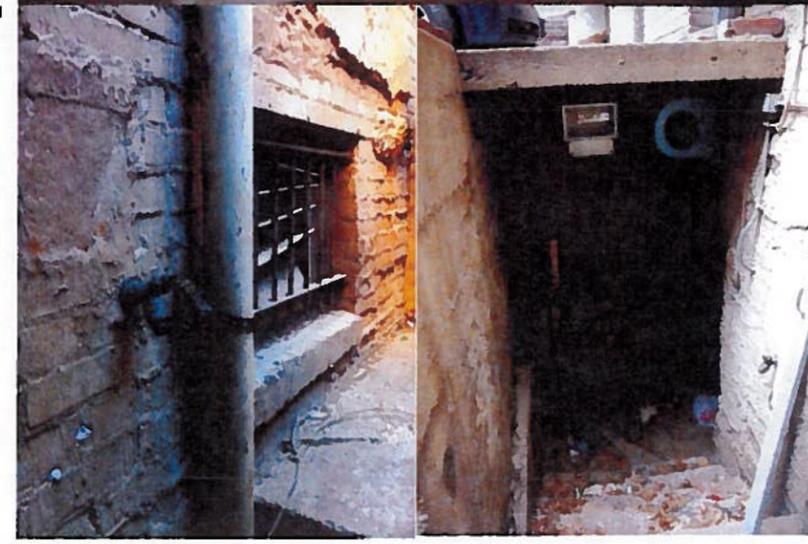


Existing curb for roof top equipment dunnage will not be needed for new equipment due to new framing support below roof.

MODEL 561 — Fixed Wall Ladder with Handrails Over Roof



**2** Roof Ladder detail  
NOT TO SCALE



A = 35" B = 32"

**1** Heat Pump Detail  
NOT TO SCALE

**HSK-16**