

Docket Item # 2  
BAR CASE # 2012-0150

BAR Meeting  
June 6, 2012

**ISSUE:** Alterations  
**APPLICANT:** Patrick and Linnette Camus  
**LOCATION:** 225 North Pitt Street  
**ZONE:** RM / Residential

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**STAFF RECOMMENDATION:** Staff recommends approval of the Certificate of Appropriateness as submitted.

**\*\*EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

**\*\*BUILDING PERMIT NOTE:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.



# CASE BAR2012-0150



**I. ISSUE:**

The applicant is requesting approval of a Certification of Appropriateness for the installation of a below-grade window and window well within the existing planter area in front of 225 North Pitt Street. The existing planter will be in-filled with brick pavers and an at-grade metal grate will be installed over the window well. The new window will be a simulated divided light, aluminum clad, six light window with 7/8" muntins manufactured by Kolbe & Kolbe.

**II. HISTORY:**

The two-story, two-bay frame townhouse at 225 North Pitt Street was constructed in the **mid-19<sup>th</sup> century**, according to Ethelyn Cox in *Historic Alexandria Street by Street*.

Staff could not locate any previous BAR approvals for the subject property.

**III. ANALYSIS:**

The proposed alterations comply with zoning ordinance requirements.

Staff has no objections to the proposed alterations. Although the *Design Guidelines* and the Board's window policy discourage the use of aluminum clad windows on buildings pre-dating 1969, Staff supports the installation of an aluminum clad window for a number of reasons. First, not only will the window be located entirely below grade, but it will also be obscured by a metal grate. Second, given the window's small size and limited access, maintenance of an all wood window would be challenging. Therefore, Staff supports the installation of an aluminum clad window in this unique situation.

Stephanie Sample, Historic Preservation Planner, Planning & Zoning  
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

**IV. CITY DEPARTMENT COMMENTS**

Legend: C - code requirement R - recommendation S - suggestion F- finding

Code Administration

- F-1 The review by Code Administration is a preliminary review only. Once the applicant has filed for a building permit, code requirements will be based upon the building permit plans. If there are any questions, the applicant may contact Ken Granata, Acting Plan Review Supervisor at ken.granata@alexandriava.gov or 703-746-4193.
- F-2 Upon submission for a building permit, include all dimension of depth of window well, flooring of window well, and drainage of window well.
- C-1 A building is required for this project. Five sets of construction documents that fully detail the construction of the window well and new window being installed. If a design professional prepares drawings for the project the plans must bear the seal of the design professional in accordance with the Code of Virginia Section 54.1-410B.
- C-2 New construction must comply with the current edition of the Uniform Statewide Building Code (USBC).

- C-3 Any proposed future alterations to the existing structure must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-4 Before a building permit can be issued on any proposed future alterations, a certification is required from the owner or owner's agent that the building has been inspected by a licensed asbestos inspector for the presence of asbestos.
- C-5 If the new window is to be used as an emergency escape and rescue opening below grade, the following criteria shall be met. In order for a window to be classified as an emergency escape window the following conditions must be present at the time of inspection: a) sill height less than 44", b) minimum net clear opening of 5.7 sq. ft., c) minimum opening height 24" d) minimum clear opening 20" and must be operational without the use of a key, tool or special device. See the Virginia Residential Code Section R310 for any additional information associated with emergency escape and rescue openings.
- C-6 If the window well is intended to be part of an emergency escape and rescue opening the minimum window well shall be 9 sq. ft. with a minimum horizontal projection width of 3 ft. Window wells with a depth of greater than 44" shall also be equipped with a permanently affixed ladder. See the Virginia Residential Code Section R310 for any additional information associated with emergency escape and rescue openings.
- C-7 If the metal grate is to be part of an emergency escape and rescue opening it shall be removable or releasable from the inside without the use of a key, tool or special device. The minimum net clear are of the grate opening is 5.7 sq. ft., minimum opening length of 24" and a clear minimum opening width 20".
- C-8 The architect shall provide window manufacturer specification, size of opening and lintel size and material for the installation of the new window.
- C-9 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to Code Enforcement that will outline the steps that will be taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.

Transportation & Environmental Services

RECOMMENDATIONS

- R1. The building permit must be approved and issued prior to the issuance of any permit for demolition. (T&ES)

- R2. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R3. The proposed work is shown within the property, if any permanent features are to be constructed within the public right of way the applicant must obtain permission by means of applying for and obtaining an encroachment permit.

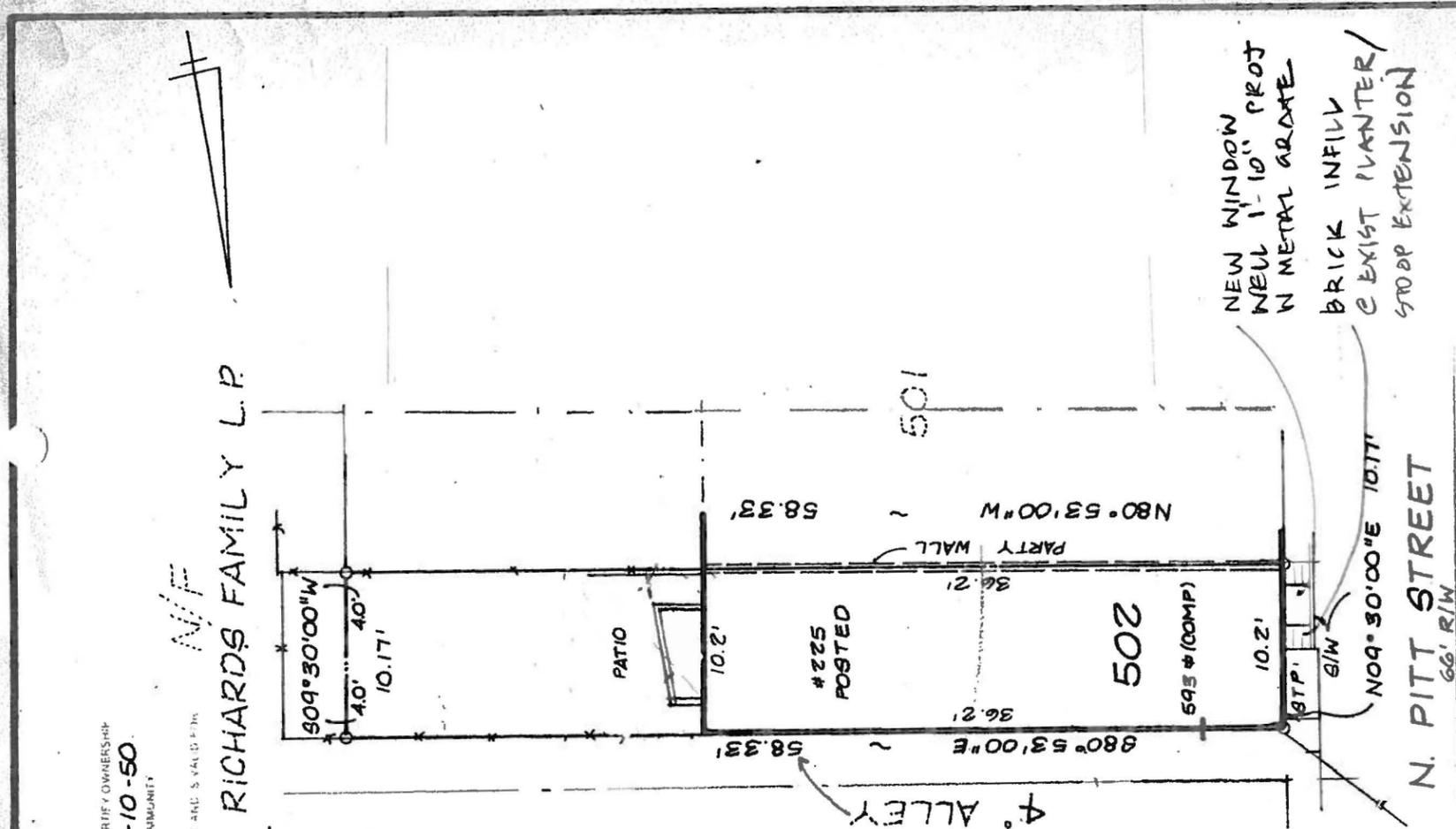
**CITY CODE REQUIREMENTS**

- C-1 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C3. Any work within or performed from the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)

**V. ATTACHMENTS**

*1 – Supporting Materials*

*2 – Application BAR2012-00150 at 225 N Pitt St*



NEW WINDOW  
NEW 1'-10" PROJ  
N METAL GRATE  
BRICK INFILL  
EXIST PLANTER/  
STOOP EXTENSION

LOT 502  
RESUBDIVISION OF PROPERTY OF  
**CHARLES H. BLUNT, JR.**  
CITY OF ALEXANDRIA, VIRGINIA

**HOUSE LOCATION**

No Title Report Furnished

DATE: 3-14-96 SCALE: 1" = 10'  
DRAWN BY: BCS CHECKED BY: MPC  
**RICE ASSOCIATES, P.C.**  
SPRINGFIELD, VIRGINIA  
PHONE 866-7770 FAX 866-3609

- NOTES
1. BOUNDARY BY OTHERS
  2. NOT FOR ANY CONSTRUCTION INCLUDING PERMITS
  3. LOCATION OF FENCES (IF SHOWN) ARE APPROXIMATE AND DO NOT CERTIFY OWNERSHIP
  4. THIS PROPERTY IS SHOWN ON ASSESSMENT MAP NO. **064.04-10-50**
  5. THIS PROPERTY IS LOCATED IN FIRM ZONE **X** AS SHOWN ON COMMUNITY PLAN NO. **5/5519 0005 D** DATED **5-15-91**
  6. THIS COPYRIGHT © 1996 RICE ASSOCIATES IS THE SERVICE DOCUMENT AND IS VALID FOR SIX MONTHS FROM DATE ISSUED
  7. ALL RIGHTS ARE RESERVED AND ALL RIGHTS ARE RESERVED
  8. LOCATION OF IMPROVEMENTS BASED ON CITY OF ALEXANDRIA MONUMENT LINES.

N/F  
RICHARDS FAMILY L.P.



96032504  
MTC, INC. 96-153M  
CAMUS & MCDANIEL/PLAUCHE IV  
KIPLINGER



**STUDIO CAMUS LLC**  
225 North Pitt Street Alexandria Virginia 22314  
studiocamus@comcast.net  
Lynnette 703 989 3777 Patrick 703 626 1984

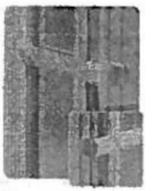
Proposed Modifications to  
**225 NORTH PITT STREET**  
Alexandria Virginia

DATE  
**26 APR 12**  
SCALE  
1" = 10'-0"

SHEET  
**R1**

**PERFORMANCE DIVIDED LITES FOR WOOD WINDOWS & DOORS**  
 Applies to Ultra, Horizon, Classic & Modern Series wood windows & doors  
 Applies to Craftsman wood doors & Fiberglass doors as noted

Performance Divided Lites couple energy efficiency with historic beauty. Although the appearance is similar to true divided lites, the PDL system uses single insulating glass units, which offer much better U & R values than true cutlite units. The illusion of division is created by adhering bars to both sides of an insulating glass unit and champagne-colored bars within the insulating glass unit. Airflow within the unit is not hindered, however, so the thermal break of a single insulating glass unit is maintained.



PDL for Kolbe wood products are available in a variety of bar widths, including 5/8", 7/8", 1-1/8", 1-3/4" and 2-1/4". The exterior bars are extruded aluminum except for some radius patterns, which may be composite material to achieve the desired radius. Interior bars are pine as standard, with the option of oak.

Exterior bars are finished to match the exterior of the window or door unit. Several interior refinishing options are available for wood PDL bars, including latex paint and wood stain colors. View our interior finish page for the latest options available. PDL bars are finished profiles as standard, but an ovolo profile is available on the interior bar. Custom bar widths and profiles may be requested as well.

\*Viewport Sliding Patio doors and direct set windows are not available with PDL.

PDL with 1-3/4" and 2-1/4" bars have two bars within the glass unit to match the width of each PDL bar. The difference is not visible, however radius patterns are not possible.

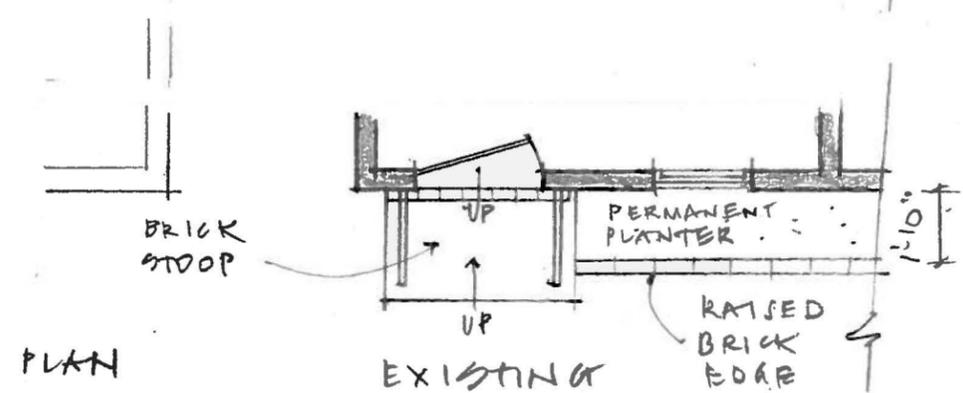
PDL bars made of composite materials cannot be prefinished on the interior.



ELEVATION

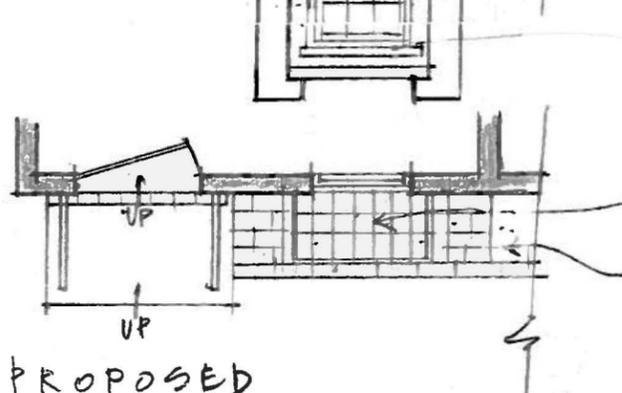


ELEVATION



PLAN

EXISTING



PLAN

PROPOSED

EXIST RAILING & STOOP

PARCE EXIST MASONRY

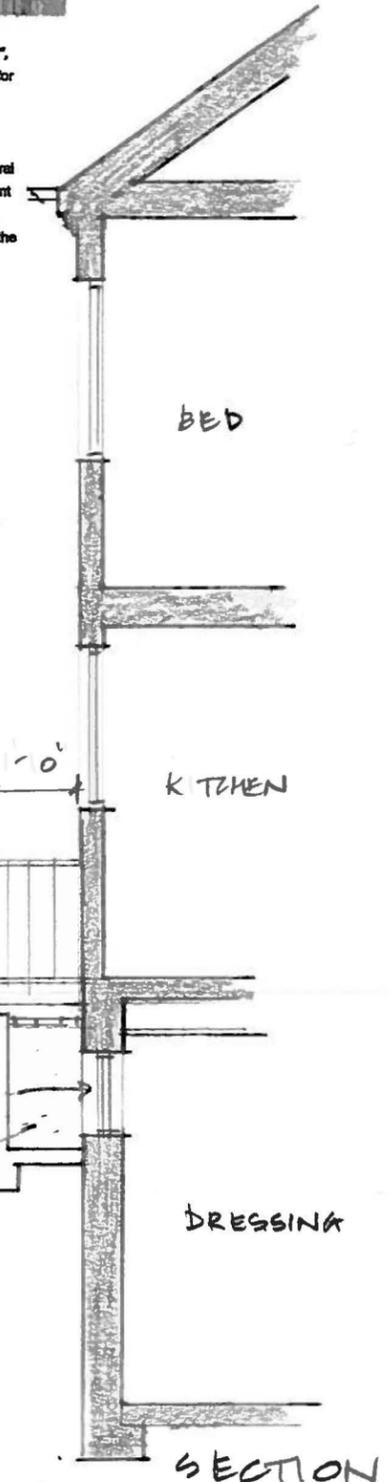
BRICK EDGE (SAME LOCATION) & HEIGHT

NEW WINDOW, SLAB, WOOD, SDL (KOLBE), NEW WELL, IRONED

MTL GRATE & WELL

BRICK PAVERS & STOOP EXPANSION OVER EXIST PLANTER

BRICK EDGE (UNMANAGED)



SECTION

ADDRESS OF PROJECT: 225 NORTH PITT ST

TAX MAP AND PARCEL: 6404 - 10.50 ZONING: RM

**APPLICATION FOR:** *(Please check all that apply)*

CERTIFICATE OF APPROPRIATENESS

PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
*(Required if more than 25 square feet of a structure is to be demolished/impacted)*

WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA *(Section 7-802, Alexandria 1992 Zoning Ordinance)*

WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT  
*(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)*

**Applicant:**  Property Owner  Business *(Please provide business name & contact person)*

Name: PATRICK & LINNETTE CAMUS

Address: 225 NORTH PITT ST

City: ALEXANDRIA State: VA Zip: 22314

Phone: 703 626 1984 E-mail: studiocamus@comcast.net

**Authorized Agent** *(if applicable):*  Attorney  Architect  \_\_\_\_\_

Name: \_\_\_\_\_

Phone: \_\_\_\_\_

E-mail: \_\_\_\_\_

**Legal Property Owner:**

Name: SAME

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ E-mail: \_\_\_\_\_

- Yes  No Is there an historic preservation easement on this property?  
 Yes  No If yes, has the easement holder agreed to the proposed alterations?  
 Yes  No Is there a homeowner's association for this property?  
 Yes  No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

**NATURE OF PROPOSED WORK:** *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
  - awning
  - doors
  - lighting
  - other stoop/window well
  - fence, gate or garden wall
  - windows
  - pergola/trellis
  - HVAC equipment
  - siding
  - painting unpainted masonry
  - shutters
  - shed
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

**DESCRIPTION OF PROPOSED WORK:** *Please describe the proposed work in detail (Additional pages may be attached).*

REQUEST APPROVAL FOR A BELOW GRADE  
WINDOW & WINDOW WELL WITHIN EXIST BRICK  
PLANTER

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**SUBMITTAL REQUIREMENTS:**

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

**Demolition/Encapsulation :** *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- <sup>N/A</sup>  Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

**Additions & New Construction:** Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 12 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- N/A Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_.
- Square feet of existing signs to remain: \_\_\_\_\_.
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** Check N/A if an item in this section does not apply to your project.

- N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

**ALL APPLICATIONS:** *Please read and check that you have read and understand the following items:*

- I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 12 sets of revised materials.

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The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**

Signature: 

Printed Name: PATRICK CAMUS

Date: 3 MAY 12

**OWNERSHIP AND DISCLOSURE STATEMENT**

Use additional sheets if necessary

**1. Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. PATRICK & LYNNETTE CAMUS	225 N PITT	100%
2.		
3.		

**2. Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at 225 N PITT (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. PATRICK & LYNNETTE CAMUS	225 N PITT	100%
2.		
3.		

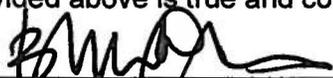
**3. Business or Financial Relationships.** Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. NONE		
2.		
3.		

**NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.**

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

3 MAY 12  
Date

  
Printed Name

12 PATRICK CAMUS  
Signature