

Docket Item # 6 & 7
BAR CASE #2012-0152 & 0153

BAR Meeting
June 6, 2012

ISSUE: Partial Demolition/Encapsulation and Additions/Alterations
APPLICANT: Alice Reid by Ray Lewis and Associates
LOCATION: 412 South Fairfax Street
ZONE: RM / Residential

STAFF RECOMMENDATION:

Staff recommends approval of the Permit to Demolish/Capsulate and Certificate of Appropriateness for Additions with the following conditions:

1. That the four-paneled door with four-light glass inset is changed to a painted wood, six panel wood door or a wood six panel door with glass in the top two panels.
2. That the painted wood siding on the new two-story addition match the exposure found on the existing 1970s addition.
3. That the following archaeology conditions appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements.
 - a. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
 - b. The applicant/developer shall not allow any metal detection or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology.

*EXPIRATION OF APPROVALS NOTE: In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

**BUILDING PERMIT NOTE: Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.



**CASE BAR2012-0152 &
CASE BAR2012-0153**



***Note:** Staff coupled the two reports for 412 South Fairfax Street, BAR #2012-0152 (Permit to Demolish/Capsulate) and BAR #2012-0153 (Certificate of Appropriateness for clarity and brevity. This item requires a roll call vote.

I. ISSUE

Proposal

The applicant is requesting approval of a Permit to Demolish/Capsulate and Certificate of Appropriateness for the construction of new additions at 412 South Fairfax Street.

The Permit to Demolish/Capsulate proposes to:

- Demolish the existing ca.1940 one-story porch (approximately 93 sq. ft. footprint)
- Partial wall demolition and capsulation of the existing ca.1940 south elevation walls (approx. 160 sq. ft of wall area.)

The Certificate of Appropriateness consists of:

- Infill the first floor of the two-story ca.1900 side extension (90 sq. ft. footprint)
- Construct a new, two-story side addition, which will extend from the rear elevation of the ca.1900 two-story, side extension.

The proposed new additions are designed to accommodate bathroom and a garden room on the first floor and expand an existing bathroom on the second floor. The side (south) elevation of the addition will be contain a pair of multi-light painted wood doors and four, 9/6 cottage style SDL painted wood, double-glazed, double-hung windows on the first floor. The second story will have a single, six-over-six, double-glazed, double-hung window. The west elevation, facing the street will contain a wood panel door with glass inset and a single, four-light, SDL double-glazed, double-hung painted wood window. The proposed materials include: painted wood siding and factory-painted standing-seam metal roof.

II. HISTORY

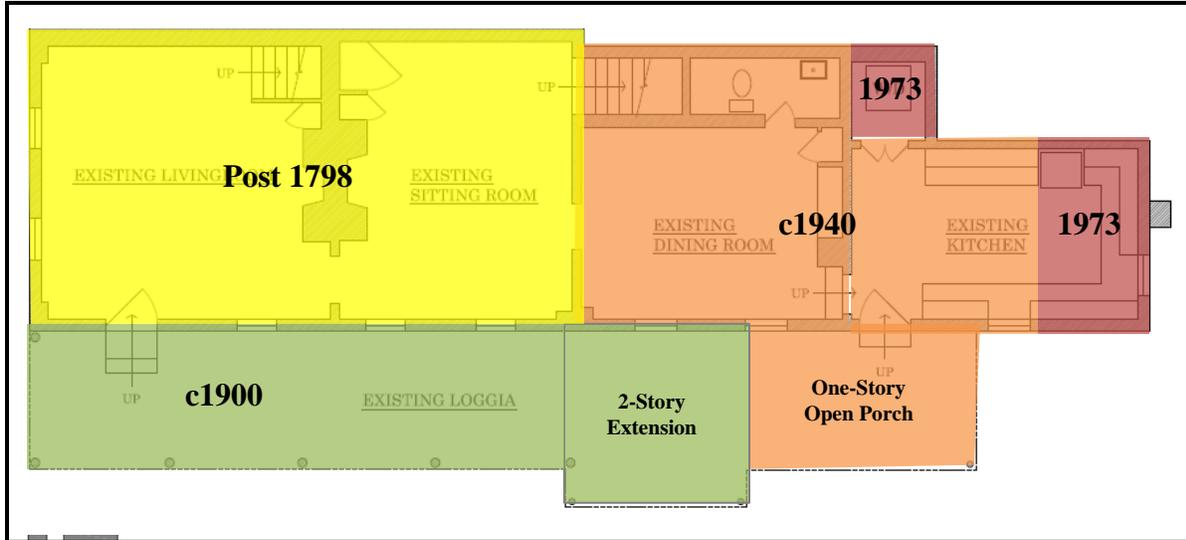
The original frame flounder was historically associated with the adjacent house at 410 South Fairfax¹ and believed to have been built as early as 1798.² This original structure was expanded with the addition of a two-story rear addition, a two-story side extension with open porch on the first floor, a two-story sleeping porch, and a one-story, rear open porch by 1902.³ A detached, two-story storage and laundry outbuilding was also constructed on the property by 1902. By 1921 a second-story addition above the one-story, side porch was added. By 1941, the existing two-story rear addition was replaced with two, separate two-

¹ The original property consisted of one-parcel of land identified as 408 South Fairfax and included the flounder and its associated additions on 410 South Fairfax, the existing building and associated additions on 412 South Fairfax and a storage/laundry building (demolished in 1989) on what is today 412 ½ South Fairfax. In c1920, the building on 408 was subdivided from the other structures and the address was changed to 410 South Fairfax.

² From Ethelyn Cox's book *Historic Alexandria Virginia Street by Street*.

³ From the 1902 Sanborn Fire Insurance Map – the first map recording this region of the City.

story frame additions and the two-story side porch was demolished and replaced with the present day one-story porch. In 1973, the two-story rear addition was extended to their present configuration and alterations were approved for the interior and existing residence (see diagram below).



Illustrative Diagram Showing Evolution of Dwelling

Previous Approvals:

4/23/73 (BLD#9148) – Enlarge existing rear addition and alterations to existing building.

8/9/89 (BAR89-138/139) – Demolition of the existing shed on 412 ½ South Fairfax and approval for the construction of a new shed.

III. ANALYSIS

Staff has no objection to the proposed encapsulation and demolition of portions of the south (side) elevation and finds the proposed addition to be compatible with the existing building and surrounding area.

Permit to Demolish:

In considering a Permit to Demolish, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B):

- (1) Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?
- (2) Is the building or structure of such interest that it could be made into a historic house?
- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
- (4) Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?
- (5) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?

(6) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?

In the opinion of Staff, none of the criteria for demolition and encapsulation are met and the Permit to Demolish/Capsulate should be granted. Staff has no objection to the proposed demolition and capsulation of portions of the side elevation walls, as the majority of the work is being located on the ca.1940s rear additions. The area proposed for demolition/encapsulation is minimal in scope, located on the rear portion of a secondary elevation, does not remove any portion of the building containing character defining features of uncommon design or historic merit, and does not compromise the integrity of the building as a whole.

Addition:

The construction of an addition to any building within a historic district must be evaluated not only for its impact on the building to which it is being attached, but also for its impact on the district as a whole. The *Design Guidelines* encourage “designs that are respectful of the existing structure and which seek to be background statements or which echo the design elements of the existing structure.”

As the applicant’s drawings illustrate, the design for the new addition does not overwhelm the existing building, respects the architectural heritage of the historic structure, and maintains a distinction between the historic building mass and the new addition.

The new, rear addition will barely be visible from South Fairfax Street and will not be visible from Wolfe Street, as it is being sited toward the rear of the existing house.



The proposed two-story addition is being sited on an existing (ca.1940) wall surface on the rear, southeastern corner of the structure and will require the removal of portions of the side elevation wall on the first and second story (approx. 150 sq. ft.) to create openings to accommodate the new interior spaces. Additionally, the proposed infill of the existing ca.1900 side extension will provide a bathroom for the first floor living spaces. These proposed additions will be sited on the rear, secondary elevations, and as such are respectful of the existing historic massing and does not negatively impact its integrity.

The massing and scale of the proposed addition are compatible with the existing vernacular style of the house. The proposed two-story addition will contain a shed roof form similar to the existing two-story sleeping porch. While the proposed doors and windows are appropriate to the architectural style of the building, staff suggests that a simple, six-panel, painted wood door be used on the west elevation – the elevation which is the most visible from the street -- instead of the proposed, wood, four-panel door with glass inset. In addition, Staff recommends that the proposed wood siding match the reveal of the existing wood siding on the side elevation of the ca.1973 addition, in order to subtly differentiate it from the smaller exposure siding found on the original Flounder.

In Staff's opinion, the proposed addition, with the recommended modifications, is appropriate and compatible with the main historic house in terms of mass, scale, height, and architectural expression, and does not negatively impact the integrity of this or nearby historic resources. Staff recommends approval of the Permit to Demolish/Capsulate and the Certificate of Appropriateness for additions, with the condition noted above.

STAFF

Michele Oaks, Historic Preservation Planner
Al Cox, FAIA, Historic Preservation Manager

V. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Zoning

C-1 The proposed enclosure of the existing porch, the addition, new roof and windows comply with zoning.

F-1 The property is greater than 25' wide and less than 35' wide, one setback of at least 5' is required and provided.

T&ES

RECOMMENDATIONS

- R1. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R2. All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (T&ES)

CITY CODE REQUIREMENTS

C-1 Roof, surface and sub-surface drains shall be connect to the public storm sewer

system, if available, by continuous underground pipe. Where a storm sewer is not available, the applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (5-6-224) (T&ES)

- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-4 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-5 Any work within or performed from the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)

Code Administration

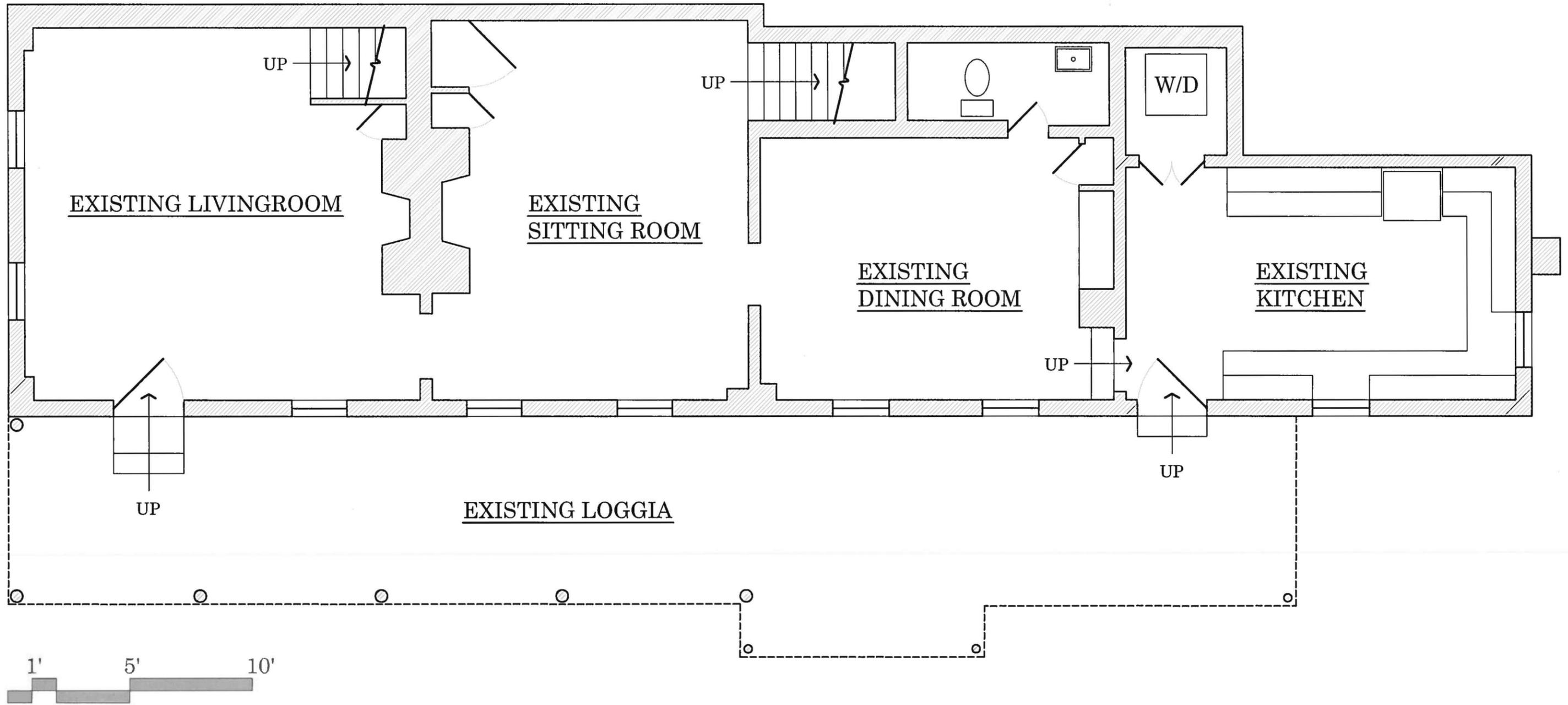
- F-1 The review by Code Administration is a preliminary review only. Once the applicant has filed for a building permit, code requirements will be based upon the building permit plans. If there are any questions, the applicant may contact Ken Granata, Acting Plan Review Supervisor at ken.granata@alexandriava.gov or 703-746-4193.
- C-1 Building and trades permits are required for this project. Five sets of *construction documents* that fully detail the construction as well as layout and schematics of the mechanical, electrical, and plumbing systems shall accompany the permit application(s). If a design professional prepares drawings for the project the plans must bear the seal of the design professional in accordance with the Code of Virginia Section 54.1-410B.
- C-2 Alterations to the existing structure and/or installation of equipment requires construction/alteration permits. Five sets of architectural quality drawings shall accompany the permit applications that fully detail the construction/alteration as well as layouts and schematics of the mechanical, electrical, and plumbing systems.
- C-3 New construction must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-4 Any proposed future alterations to the existing structure must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-5 Before a building permit can be issued on any proposed future alterations, a certification is required from the owner or owner's agent that the building has been inspected by a licensed asbestos inspector for the presence of asbestos.

- C-6 A Certificate of occupancy shall be obtained prior to any occupancy of the building or portion thereof in accordance with the Virginia residential Code Section 113.8.
- C-7 All exterior walls shall comply with Table R302.1 of the 2009 USBC (2009 IRC as amended).
- C-8 Stairs must comply with the Virginia Residential Code Section R311.7. A maximum riser height of 8-1/4 inches and minimum depth tread of 9 inches. Handrails shall be installed on at least one side for a continuous run of treads or flight with four or more risers. Handrail height shall be a minimum of 34 inches and a maximum of 38 inches from the sloped plane of the adjoining tread noses.
- C-9 At a minimum at least one emergency escape and rescue openings above grade shall be provided for each bedroom. In order for a window to be classified as an emergency escape window the following conditions must be present at the time of inspection: a) sill height less than 44", b) minimum net clear opening of 5.7 sq. ft., c) minimum opening height 24" d) minimum clear opening 20" and must be operational without the use of a key, tool or special device.
- C-10 The applicant shall provide all new window/door manufacturer specification, size of openings for each window/door, lintel size and flashing details for each window/door. If a window/door is being replaced with a larger opening the opening size as well as the new lintel shall also be included in the construction document set.
- C-11 Electrical wiring methods and other electrical requirements must comply with the Virginia Residential Construction Code and/or NFPA 70, 2008.
- C-12 A wall location plat prepared by a land surveyor is required to be submitted to this office prior to requesting any framing inspection.

V. ATTACHMENTS

1 – Supporting Materials

2 – Application BAR2012-00152 & BAR2012-00153 at 412 S Fairfax St

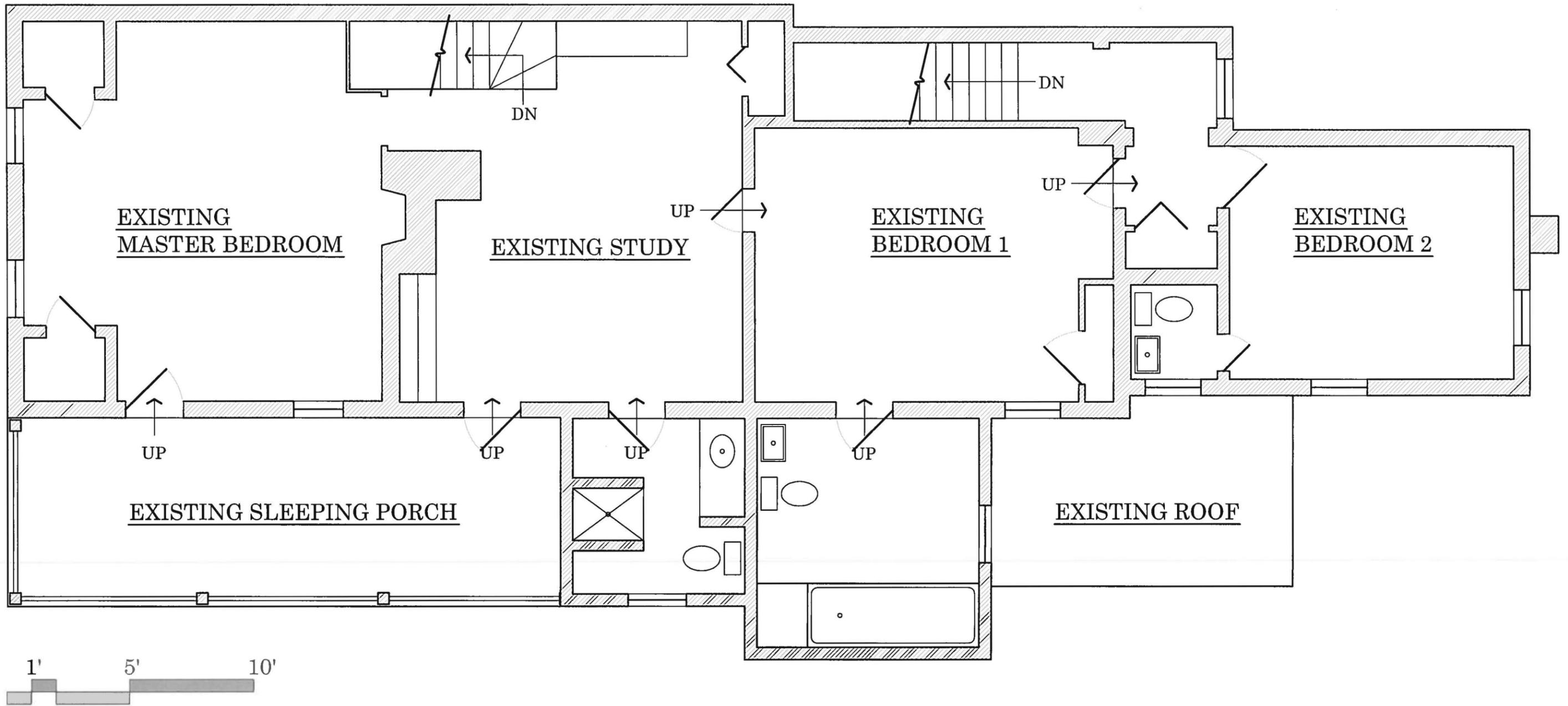


EXISTING FIRST FLOOR PLAN

412 S FAIRFAX STREET

SCALE: 1/4"=1'-0"
DATE: 4.30.12

LEWIS & ASSOCIATES LTD., ARCHITECT

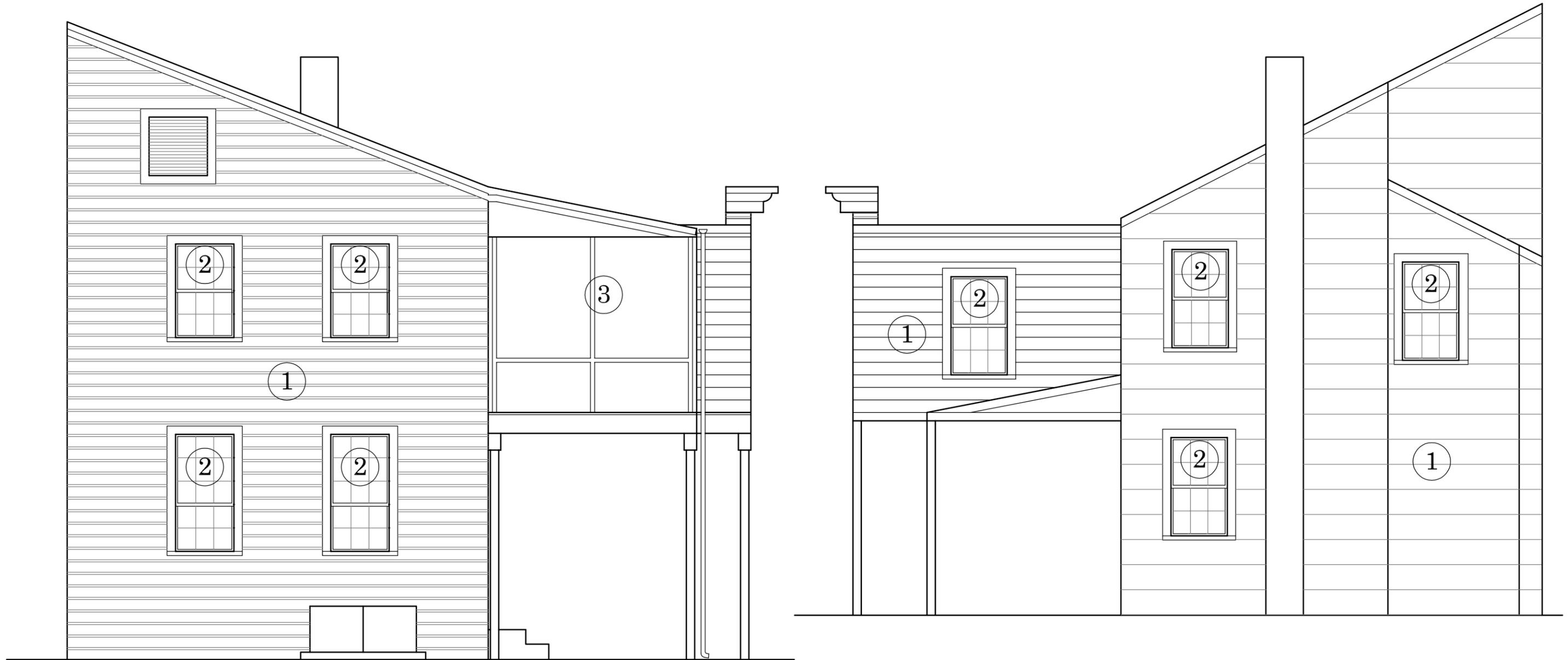


EXISTING SECOND FLOOR PLAN

412 S FAIRFAX STREET

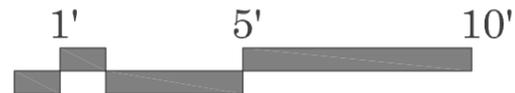
SCALE: 1/4"=1'-0"
DATE: 4.30.12

LEWIS & ASSOCIATES LTD., ARCHITECT



○ WEST ELEVATION

○ EAST ELEVATION



LEGEND

- 1. EXISTING PAINTED WOOD SIDING
- 2. EXISTING PAINTED WOOD WINDOWS
- 3. EXISTING PAINTED WOOD SLEEPING PORCH
- 4. EXISTING PAINTED STANDING SEAM ROOF
- 5. EXISTING PAINTED WOOD DOOR

EXISTING ELEVATIONS

412 S FAIRFAX STREET

SCALE: 1/4"=1'-0"
 DATE: 4.30.12
 REVISED: 5.18.12

LEWIS & ASSOCIATES LTD., ARCHITECT



LEGEND

- 1. EXISTING PAINTED WOOD SIDING
- 2. EXISTING PAINTED WOOD WINDOWS
- 3. EXISTING PAINTED WOOD SLEEPING PORCH
- 4. EXISTING PAINTED STANDING SEAM ROOF
- 5. EXISTING PAINTED WOOD DOOR

EXISTING SOUTH ELEVATION

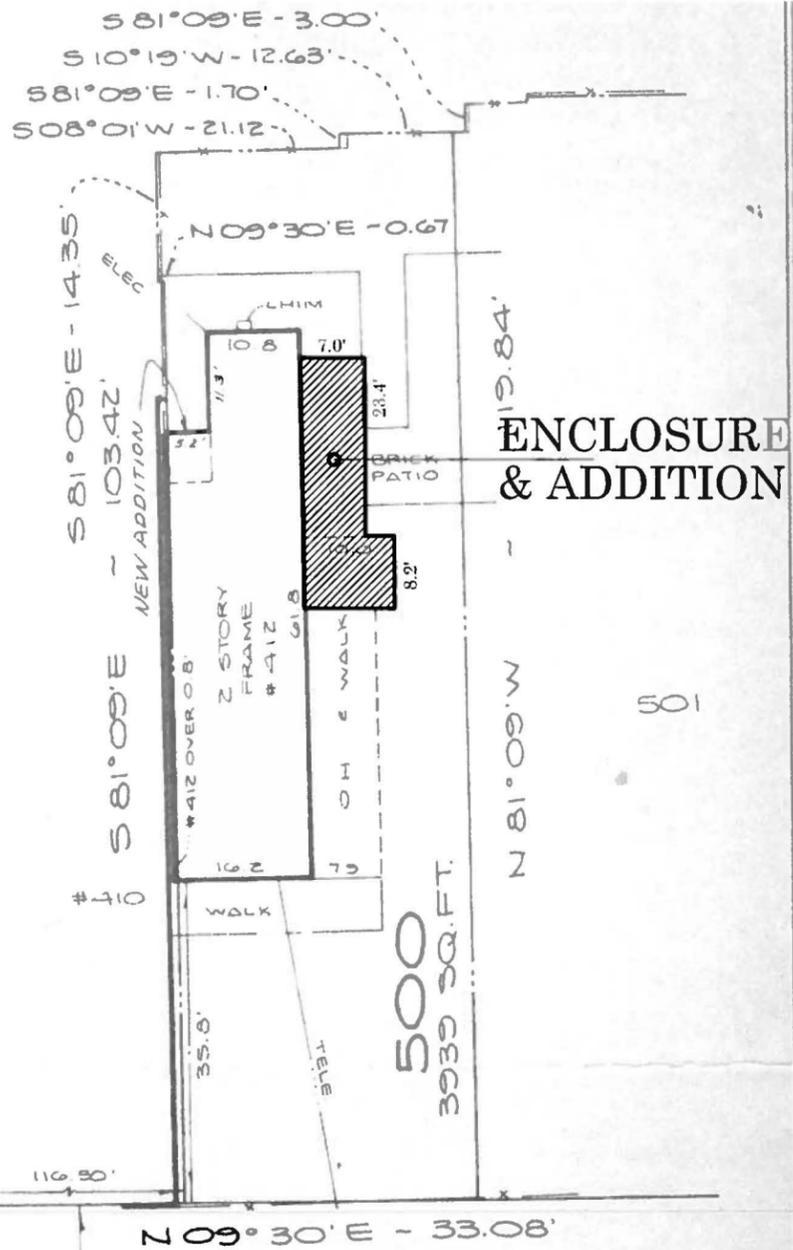
412 S FAIRFAX STREET

SCALE: 1/4"=1'-0"
 DATE: 4.30.12
 REVISED: 5.18.12

LEWIS & ASSOCIATES LTD., ARCHITECT

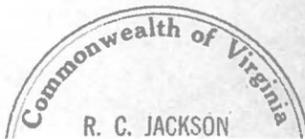
WOLFE STREET

66' R/W



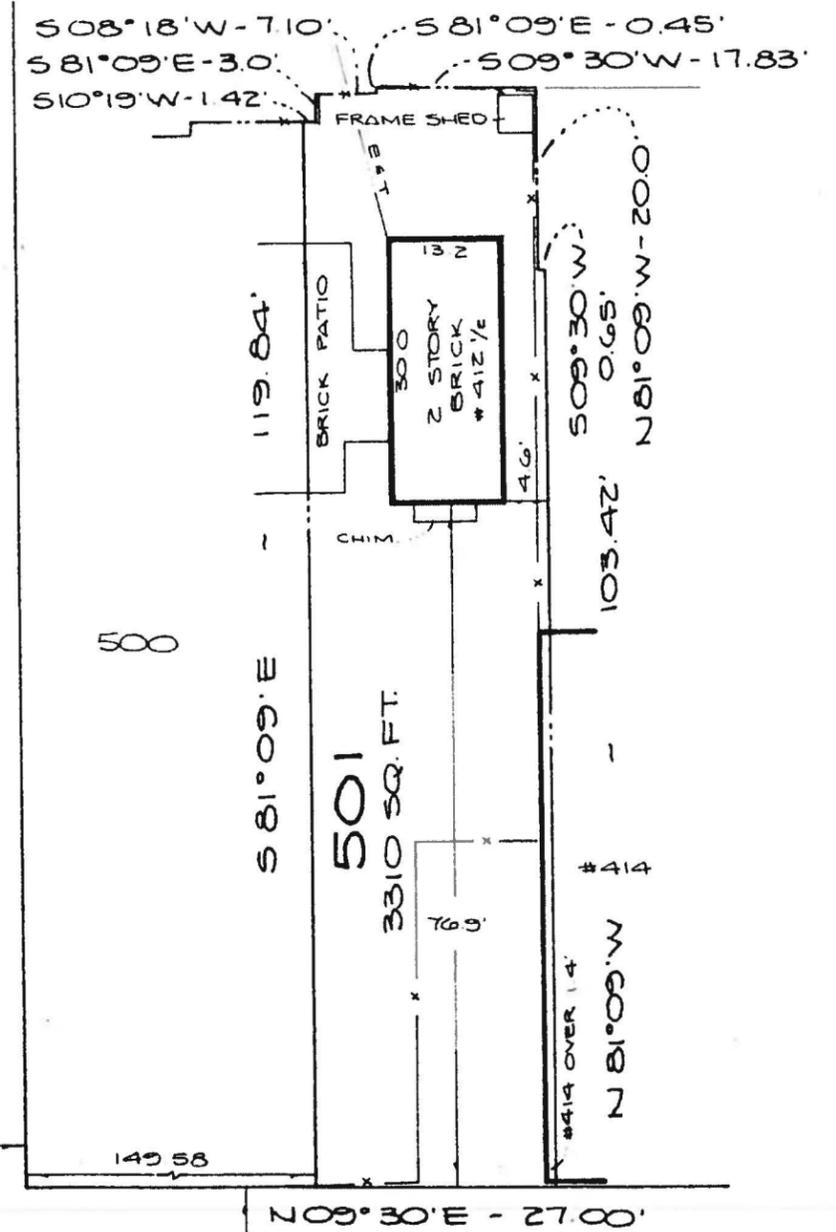
ENCLOSURE & ADDITION

500
3939 SQ. FT.



WOLFE STREET

66' R/W



501
3310 SQ. FT.

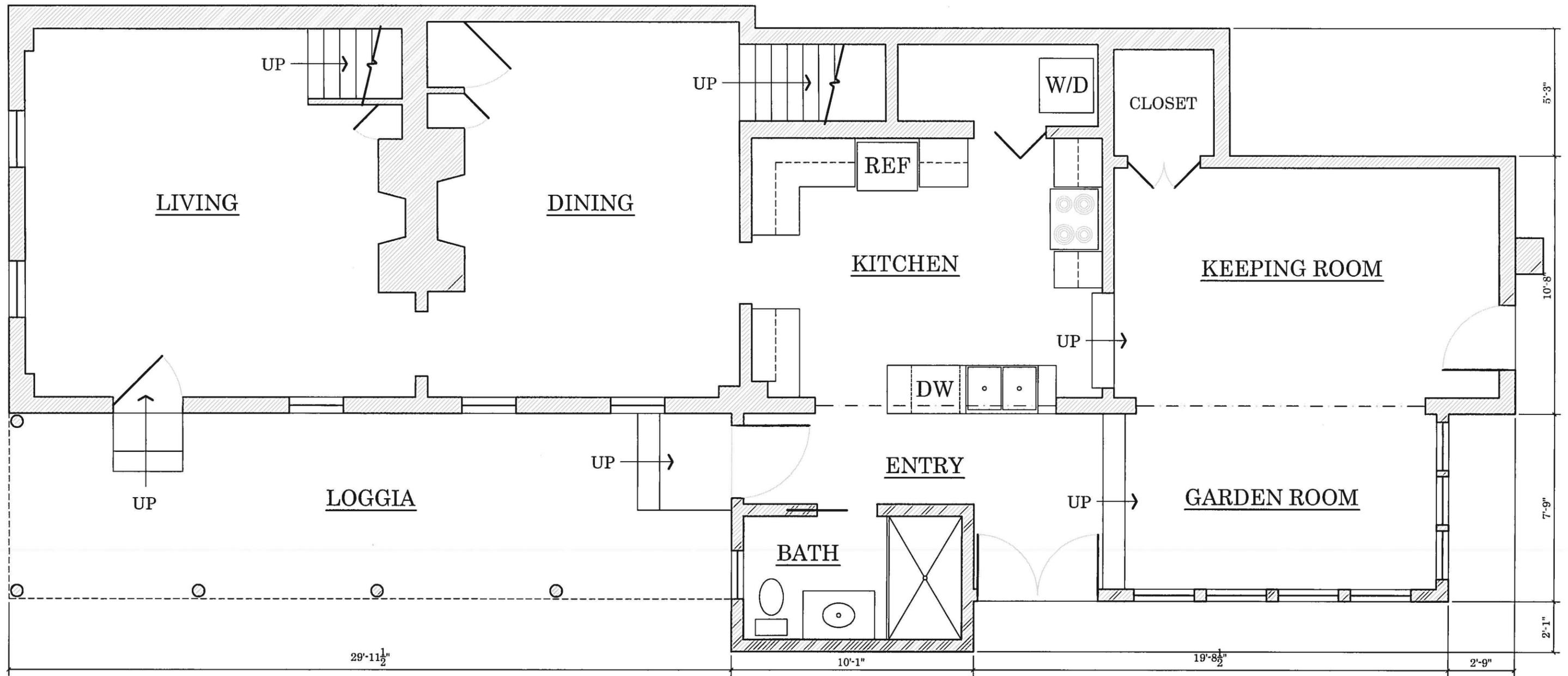
PLAT OF SURVEY PREPARED BY
ALEXANDRIA SURVEYS, DATED MAY 25, 1973.
ENCLOSURE AND ADDITION ADDED BY
LEWIS & ASSOCIATES 2012.

EXISTING PLAT

412 S FAIRFAX STREET

SCALE: 1"=20'
DATE: 4.30.12

LEWIS & ASSOCIATES LTD., ARCHITECT

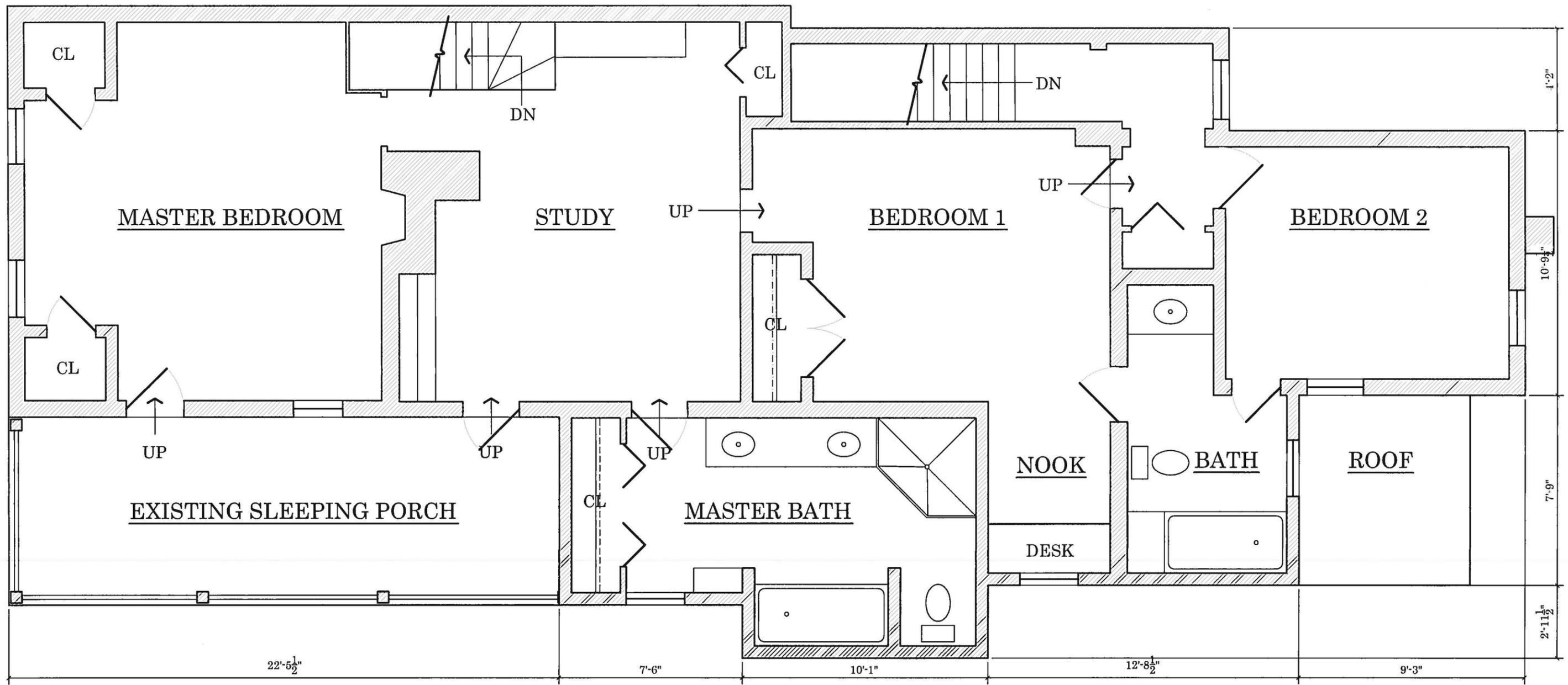


PROPOSED FIRST FLOOR PLAN

412 S FAIRFAX STREET

SCALE: 1/4"=1'-0"
DATE: 5.2.12

LEWIS & ASSOCIATES LTD., ARCHITECT



PROPOSED SECOND FLOOR PLAN

412 S FAIRFAX STREET

SCALE: 1/4"=1'-0"
DATE: 4.30.12

LEWIS & ASSOCIATES LTD., ARCHITECT



○ WEST ELEVATION

○ EAST ELEVATION

LEGEND

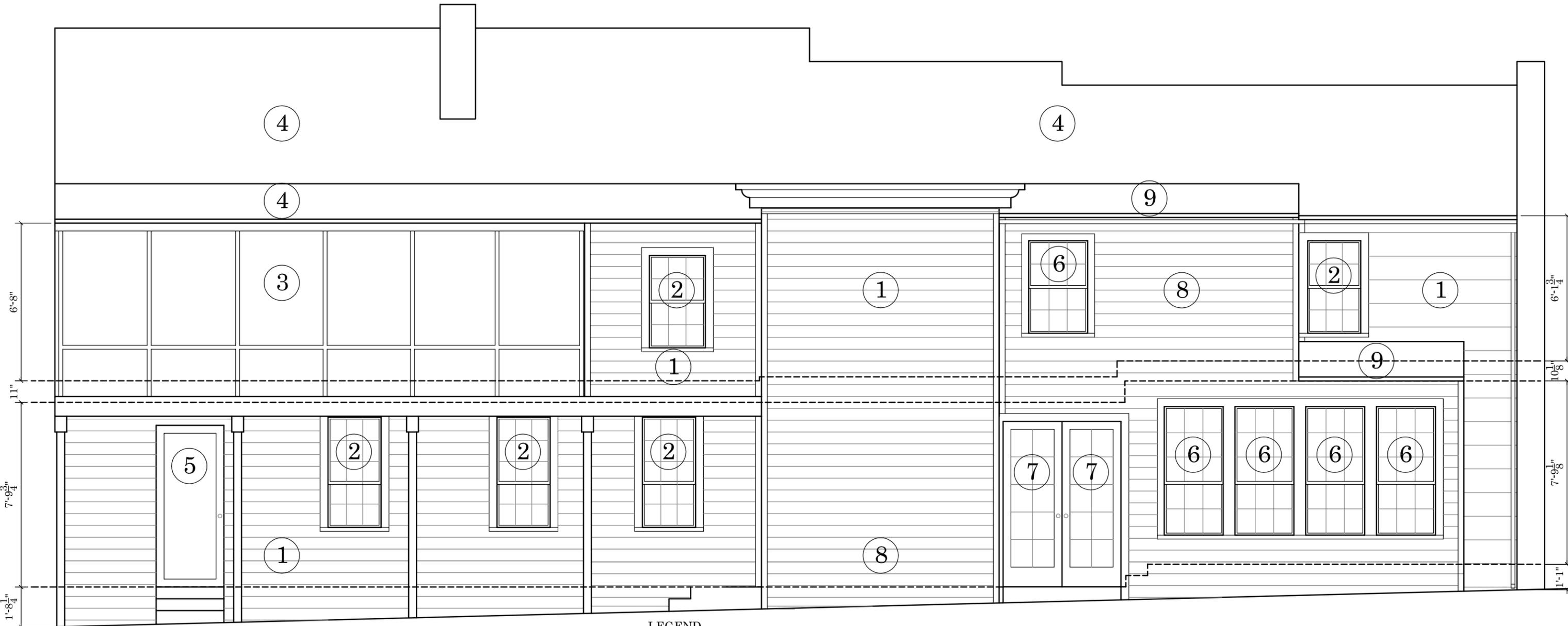
1. EXISTING PAINTED WOOD SIDING
2. EXISTING PAINTED WOOD WINDOWS
3. EXISTING PAINTED WOOD SLEEPING PORCH
4. EXISTING PAINTED STANDING SEAM ROOF
5. EXISTING PAINTED WOOD DOOR
6. NEW PAINTED WOOD WINDOW W/ FIXED & EXPOSED MUNTINS
7. PAINTED GLAZED WOOD DOORS W/ FIXED & EXPOSED MUNTINS
8. NEW PAINTED WOOD SIDING TO MATCH EXISTING
9. NEW PAINTED STANDING SEAM ROOF
10. NEW WOOD PANEL DOOR W/ GLASS LIGHT
11. PAINTED WOOD CASEMENT WINDOW

PROPOSED EAST & WEST ELEVATION

412 S FAIRFAX STREET

SCALE: 1/4"=1'-0"
 DATE: 5.2.12
 REVISED: 5.18.12

LEWIS & ASSOCIATES LTD., ARCHITECT



- LEGEND**
- 1. EXISTING PAINTED WOOD SIDING
 - 2. EXISTING PAINTED WOOD WINDOWS
 - 3. EXISTING PAINTED WOOD SLEEPING PORCH
 - 4. EXISTING PAINTED STANDING SEAM ROOF
 - 5. EXISTING PAINTED WOOD DOOR
 - 6. NEW PAINTED WOOD WINDOW W/ FIXED & EXPOSED MUNTINS
 - 7. PAINTED GLAZED WOOD DOORS W/ FIXED & EXPOSED MUNTINS
 - 8. NEW PAINTED WOOD SIDING TO MATCH EXISTING
 - 9. NEW PAINTED STANDING SEAM ROOF
 - 10. NEW WOOD PANEL DOOR W/ GLASS LIGHT
 - 11. PAINTED WOOD CASEMENT WINDOW

PROPOSED SOUTH ELEVATION

412 S FAIRFAX STREET

SCALE: 1/4"=1'-0"
 DATE: 5.2.12
 REVISED: 5.18.12

LEWIS & ASSOCIATES LTD., ARCHITECT



○ ADJACENT BUILDING-SOUTH



○ ADJACENT BUILDING-NORTH



○ 412 S FAIRFAX STREET LOOKING WEST

EXISTING PHOTOS

SCALE: NONE
DATE: 4.30.12

412 S FAIRFAX ST

LEWIS & ASSOCIATES LTD., ARCHITECT



DEPARTMENT OF PLANNING AND ZONING FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

A. Property Information

A1. Street Address 412 South Fairfax Street Zone RM

A2. $\frac{3939}{\text{Total Lot Area}} \times 1.5 = 5908.5$
Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area*		Allowable Exclusions	
Basement		Basement**	
First Floor	961	Stairways**	66
Second Floor	1,104	Mechanical**	0
Third Floor		Other**	0
Porches/ Other	600	Total Exclusions	
Total Gross *	2,665		66

B1. Existing Gross Floor Area *
2,665 Sq. Ft.
 B2. Allowable Floor Exclusions**
66 Sq. Ft.
 B3. Existing Floor Area minus Exclusions
2599 Sq. Ft.
 (subtract B2 from B1)

C. Proposed Gross Floor Area (does not include existing area)

Proposed Gross Area*		Allowable Exclusions	
Basement		Basement**	
First Floor	54	Stairways**	
Second Floor	98	Mechanical**	
Third Floor		Other**	
Porches/ Other		Total Exclusions	
Total Gross *	152		

C1. Proposed Gross Floor Area *
152 Sq. Ft.
 C2. Allowable Floor Exclusions**
0 Sq. Ft.
 C3. Proposed Floor Area minus Exclusions
152 Sq. Ft.
 (subtract C2 from C1)

D. Existing + Proposed Floor Area

D1. Total Floor Area (add B3 and C3) 2751 Sq. Ft.
 D2. Total Floor Area Allowed by Zone (A2) 5908.5 Sq. Ft.

*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.

If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

F. Open Space Calculations

Existing Open Space	1561
Required Open Space	1279
Proposed Open Space	1507

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: G. Ray Cannon Date: 5/4/10

BAR Case # 2012-00152~~BAR Case # 2012-00153~~ADDRESS OF PROJECT: 412 S Fairfax StreetTAX MAP AND PARCEL: 075.03 07 45ZONING: RMAPPLICATION FOR: *(Please check all that apply)*

- CERTIFICATE OF APPROPRIATENESS
- PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)
- WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)
- WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: Property Owner Business *(Please provide business name & contact person)*Name: Alice ReidAddress: 412 S Fairfax StreetCity: Alexandria State: Va Zip: 22314Phone: (703) 836-0950 E-mail: ReidA64@aol.comAuthorized Agent *(if applicable)*: Attorney Architect _____Name: G. Ray Lewis/Lewis & AssociatesPhone: (703) 836-0950E-mail: rlewis7327@aol.com

Legal Property Owner:

Name: Alice ReidAddress: 412 S Fairfax StreetCity: Alexandria State: Va Zip: 22314Phone: (703) 836-5950 E-mail: ReidA64@aol.com

- Yes No Is there an historic preservation easement on this property?
- Yes No If yes, has the easement holder agreed to the proposed alterations?
- Yes No Is there a homeowner's association for this property?
- Yes No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.



NATURE OF PROPOSED WORK: *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
 - awning fence, gate or garden wall HVAC equipment shutters
 - doors windows siding shed
 - lighting pergola/trellis painting unpainted masonry
 - other _____
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

- 1. Enclose rear half of loggia (porch)
- 2. Small addition at first and second floor.
- 3. Encapsulation of existing wall at enclosure and addition
- 4. Replace windows noted on elevations.
- 5. Repair or replace rear standing seam roof
- 6. General repair and painting.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 12 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.*

- N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- N/A Linear feet of building: Front: _____ Secondary front (if corner lot): _____
- Square feet of existing signs to remain: _____.
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

- N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 12 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: Alice C. Reid

Printed Name: Alice Reid

Date: 05/04/2012