

Docket Item # 3  
BAR CASE #2012-0268

BAR Meeting  
September 5, 2012

**ISSUE:** Alterations

**APPLICANT:** Jemal's Cayre Murphys LLC by Kathleen O'Hearn

**LOCATION:** 110-112 South Washington Street & 618 King Street

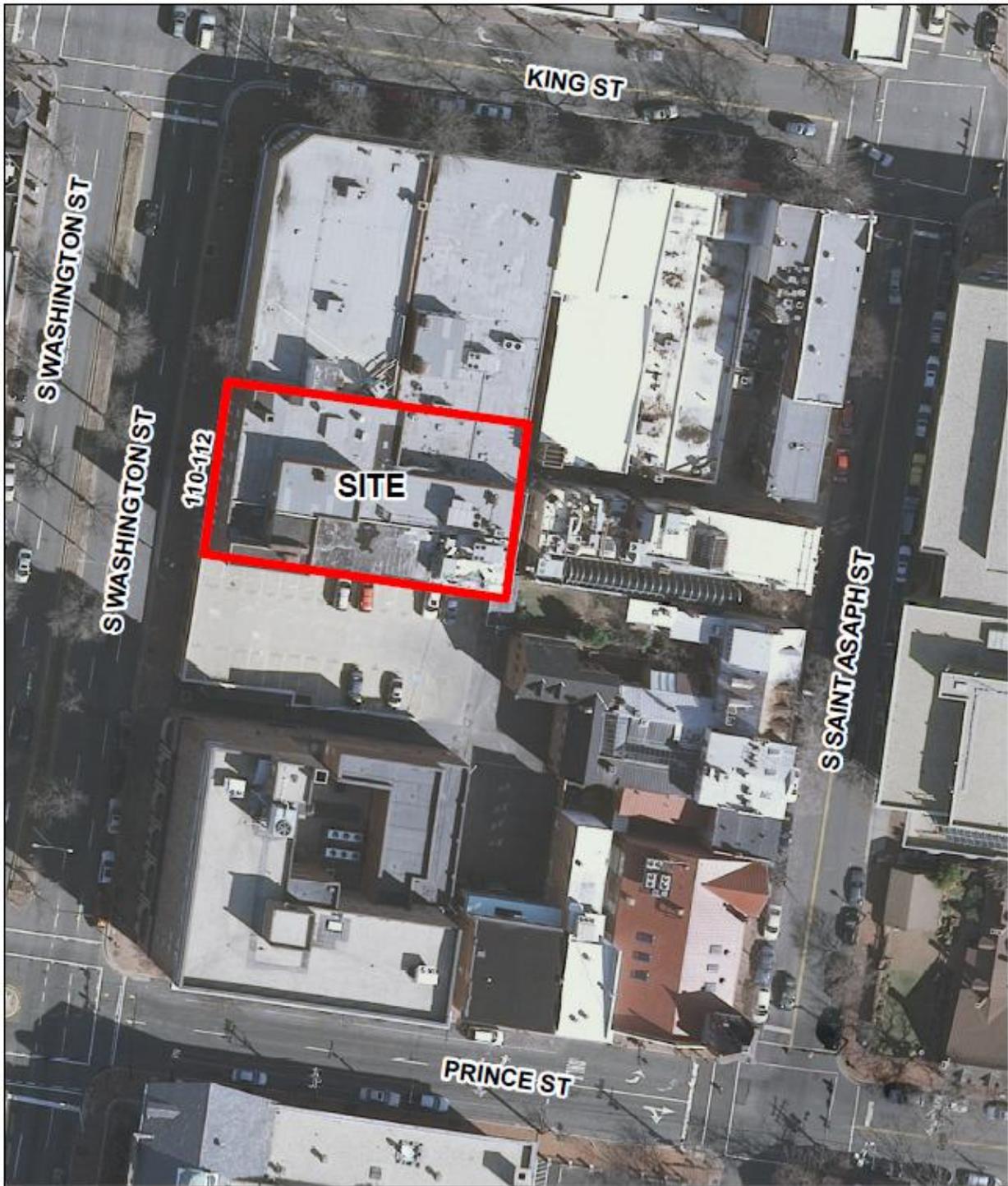
**ZONE:** CD / Commercial

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**STAFF RECOMMENDATION:** Staff recommends approval of the application with the condition that the aluminum-clad wood windows meet all specifications outlined in the Window Policy.

**\*\*EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of final approval if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

**\*\*BUILDING PERMIT NOTE:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including siding or roofing over 100 square feet, windows and signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.



**CASE BAR2012-0268**



## **I. ISSUE**

The applicant is requesting approval of a Certificate of Appropriateness at 110-112 South Washington Street to enlarge all six third floor window openings by lowering the existing window sills one foot each. A total of approximately 21 square feet of existing brick will be removed from the west façade of the building, so no permit to demolish is required. The applicant proposes new 6/6 aluminum-clad wood, simulated divided light double-hung windows in the enlarged openings.

## **II. HISTORY**

110-112 South Washington Street is a three story brick retail and office building that was constructed in **1947**.

The Board approved signs for the current tenant of the building, Citibank, in September (BAR Case #2006-0182, 9/6/06). Alterations were approved to the storefront the Board in 2002 (BAR Case #2002-0108, 6/5/02) and re-approved in 2005 (BAR Case #2005-0060, 5/4/05).

## **III. ANALYSIS**

The proposed project complies with Zoning Ordinance regulations.

The applicant proposes to lower the window sills in order to increase the natural daylight and improve visibility for future tenants sitting at desks on the third floor. Staff believes this minor alteration—lowering six window sills by one foot—is a minimal change to this mid-20<sup>th</sup> century commercial building that will be negligibly discernible from the George Washington Memorial Parkway. The expanded windows on the third floor would match the height of the second floor windows, though the traditional window hierarchy of diminishing importance from the base to the top floor will remain with large first floor storefront windows, second story windows with elaborate stone surrounds, and third floor windows crowned only by a simple jack arch. In addition, there is a recessed brick panel between the second and third stories that will now be centered between the floors, which improves these proportions.

Regarding the proposed replacement windows, Staff supports the use of aluminum-clad wood windows on the third floor of a commercial building in this particular location and recommends that the replacement windows be in keeping with the Board's adopted Window Policy.

## **STAFF**

Catherine Miliaras, Historic Preservation Planner, Planning & Zoning  
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

## **IV. CITY DEPARTMENT COMMENTS**

Legend: C - code requirement R - recommendation S - suggestion F- finding

### **Code Administration**

F-1 The review by Code Administration is a preliminary review only. Once the applicant has filed for a building permit, code requirements will be based upon the building permit plans. If there are any questions, the applicant may contact Ken Granata, Plan Review Services Division Chief, at ken.granata@alexandriava.gov or 703.746.4193.

- C-1 A building and trade permits are required for this project. Five sets of *construction documents* that fully detail the construction as well as framing schematics shall accompany the permit application(s). If a Virginia licensed design professional prepares drawings, the plans shall bear the signature and seal of the Virginia licensed design professional in accordance with the Code of Virginia Section 54.1-410B.
- F-1 The review by Code Administration is a preliminary review only. Once the applicant has filed for a building permit, code requirements will be based upon the building permit plans. If there are any questions, the applicant may contact Ken Granata, Acting Plan Review Supervisor at [ken.granata@alexandriava.gov](mailto:ken.granata@alexandriava.gov) or 703-746-4193.
- C-1 A building permit is required for this project. Five sets of *construction documents* that fully detail the construction. If a design professional prepares drawings for the project the plans must bear the seal of the design professional in accordance with the Code of Virginia Section 54.1-410B.
- C-2 Alteration to a building/structure shall comply with the Uniform Statewide Building Code (USBC).
- C-3 The applicant shall provide window manufacturer specification, size of openings for each window as well as lintel size if the openings in the existing structure need to be enlarged.

Transportation & Environmental Services

**RECOMMENDATIONS**

- R1. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R2. All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (T&ES)

**CITY CODE REQUIREMENTS**

- C-1 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-3 Any work within or performed from the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)

**V. ATTACHMENTS**

*1 – Supporting Materials*

*2 – Application for BAR2012-00268 at 110 South Washington Street*



1 EXISTING ELEVATION  
SCALE: 1/8" = 1'-0"

1 PROPOSED ELEVATION  
SCALE: 1/8" = 1'-0"

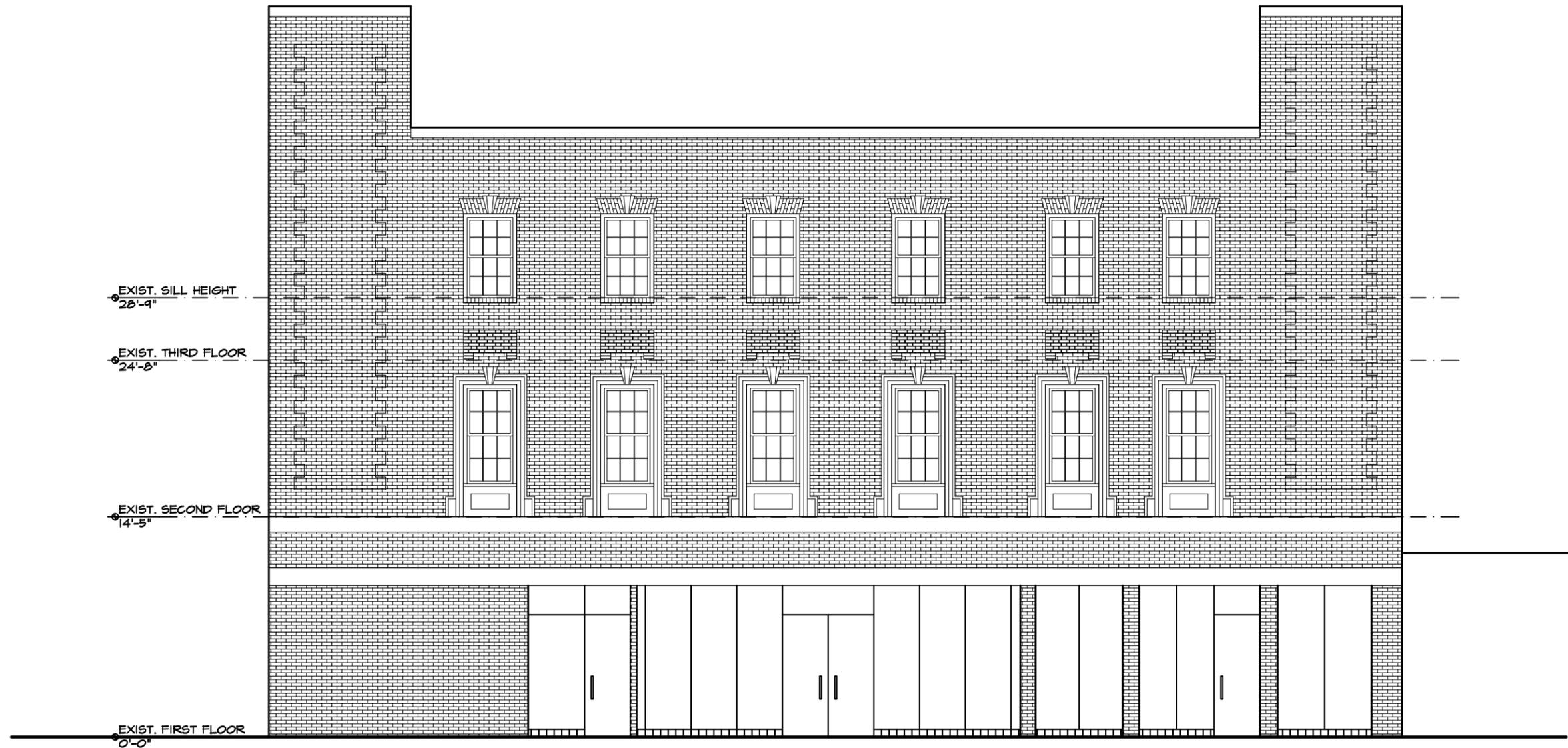
# STOREFRONT WINDOW MODIFICATION

108 SOUTH WASHINGTON STREET, ALEXANDRIA, VA

BAR SUBMISSION 08-06-12



MRC ARCHITECTS  
mrcarchitects@gmail.com



1 EXISTING ELEVATION  
SCALE: 1/8" = 1'-0"

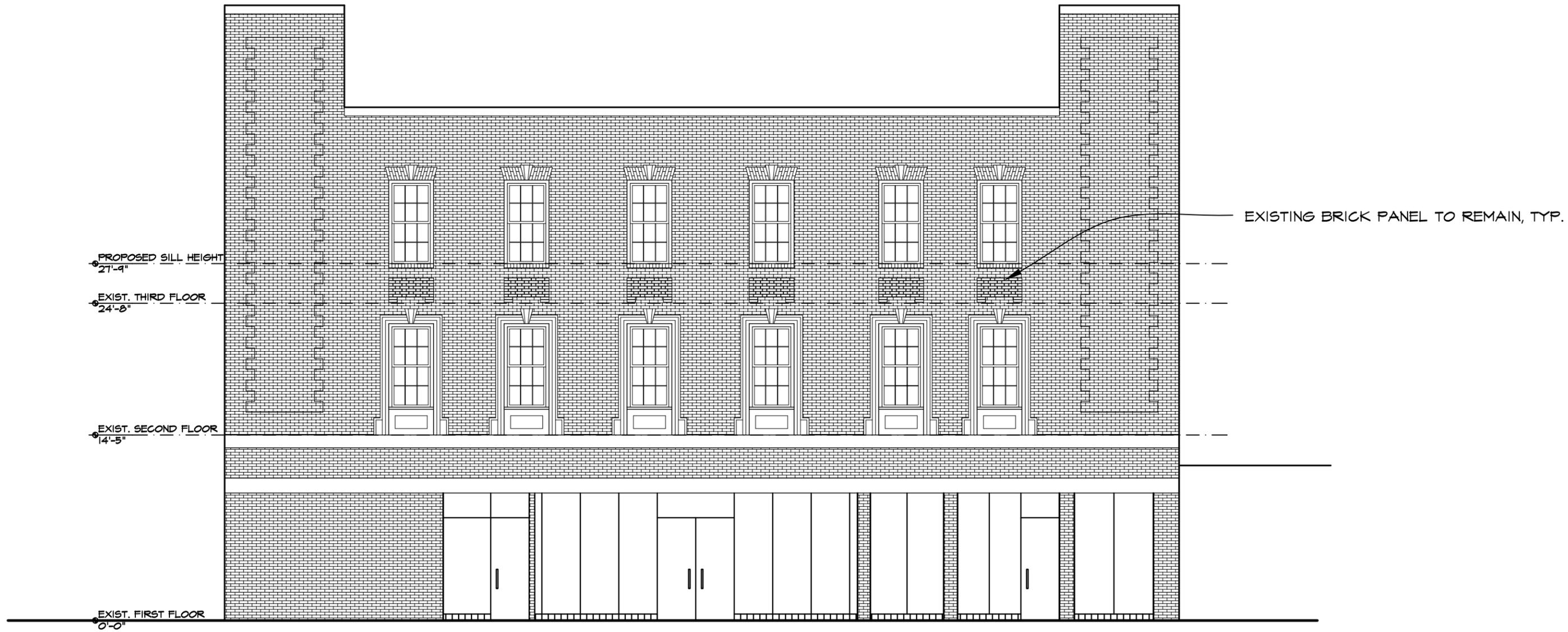
# STOREFRONT WINDOW MODIFICATION

108 SOUTH WASHINGTON STREET, ALEXANDRIA, VA

BAR SUBMISSION 08-06-12



MRC ARCHITECTS  
mrcarchitects@gmail.com



1 PROPOSED ELEVATION  
SCALE: 1/8" = 1'-0"

NOTES:

1. LOWER SILL AT (6) THIRD FLOOR WINDOWS 1'-0", TO MATCH EXISTING HEIGHT OF SECOND FLOOR WINDOWS
2. EXISTING BRICK PANEL TO REMAIN WILL BE CENTERED BETWEEN SECOND FLOOR WINDOWS & PROPOSED THIRD FLOOR WINDOWS
3. DEMOLITION SQUARE FOOTAGE WILL BE 21 SF (6 x 1'-0"H. x 3'-6"W.)

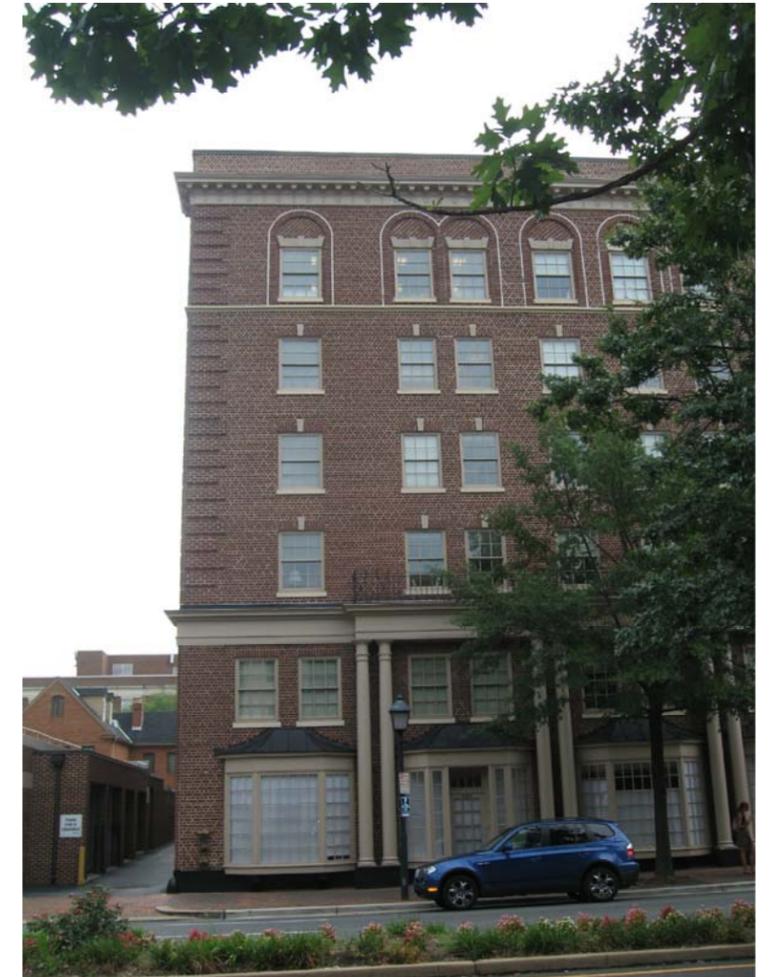
STOREFRONT WINDOW MODIFICATION



1 115 SOUTH WASHINGTON STREET  
SCALE: 1/8" = 1'-0"



2 105 NORTH WASHINGTON STREET  
SCALE: 1/8" = 1'-0"



3 122 SOUTH WASHINGTON STREET  
SCALE: 1/8" = 1'-0"



4 101 NORTH WASHINGTON STREET  
SCALE: 1/8" = 1'-0"



5 119 NORTH WASHINGTON STREET  
SCALE: 1/8" = 1'-0"

STOREFRONT WINDOW MODIFICATION

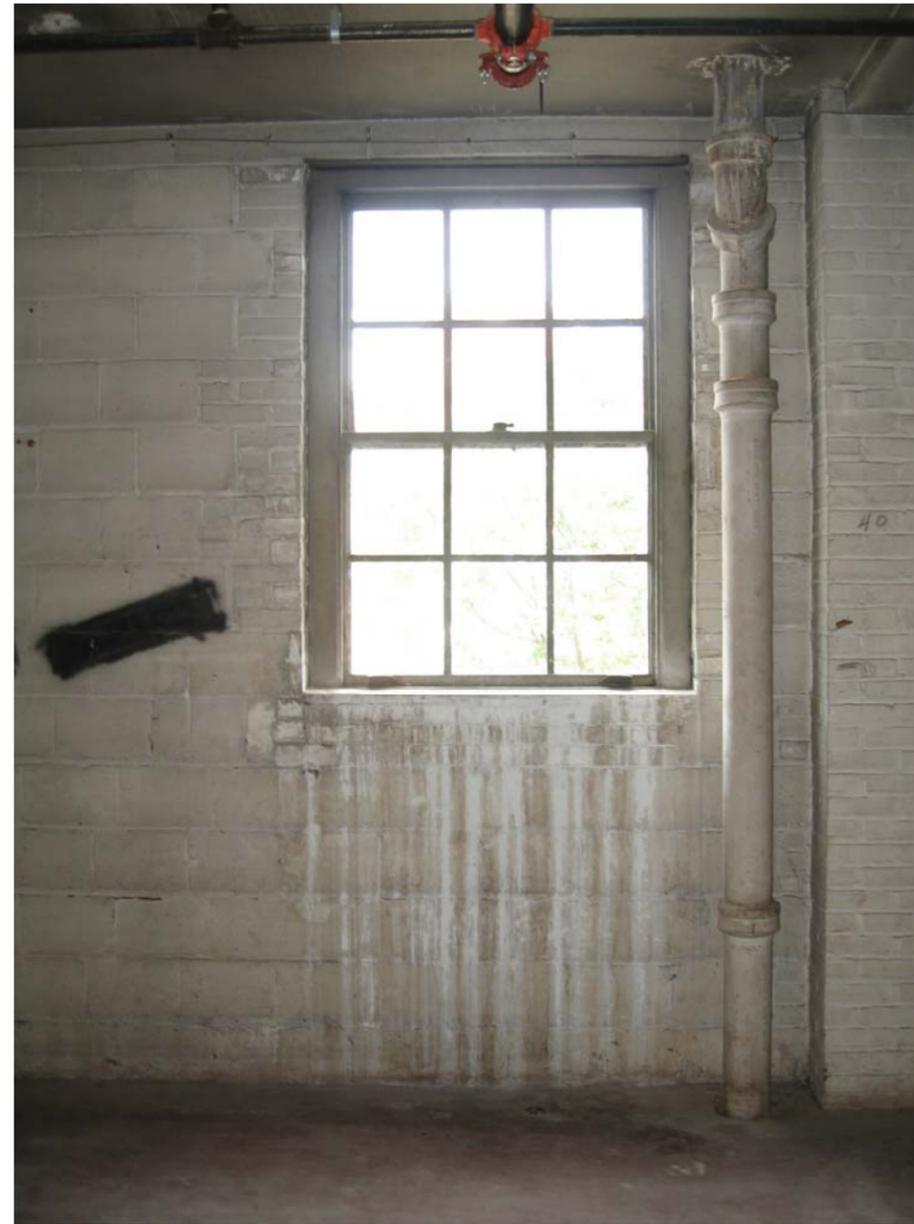
108 SOUTH WASHINGTON STREET, ALEXANDRIA, VA

BAR SUBMISSION 08-06-12

PRECEDENT



1 THIRD FLOOR WINDOW EXTERIOR  
SCALE: 1/8" = 1'-0"



2 THIRD FLOOR WINDOW INTERIOR  
SCALE: 1/8" = 1'-0"

## STOREFRONT WINDOW MODIFICATION

108 SOUTH WASHINGTON STREET, ALEXANDRIA, VA

BAR SUBMISSION 08-06-12

## WINDOW DETAIL



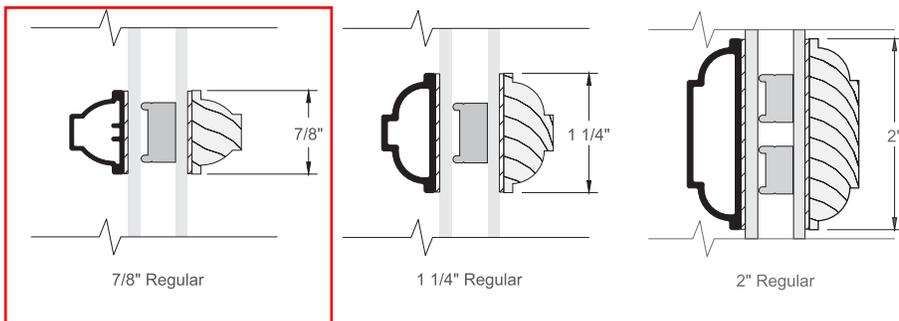
HUNG

## GRILLE TYPES

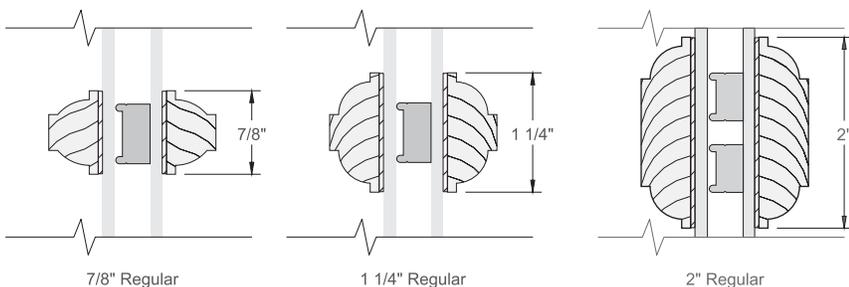
Typical Grille Profiles



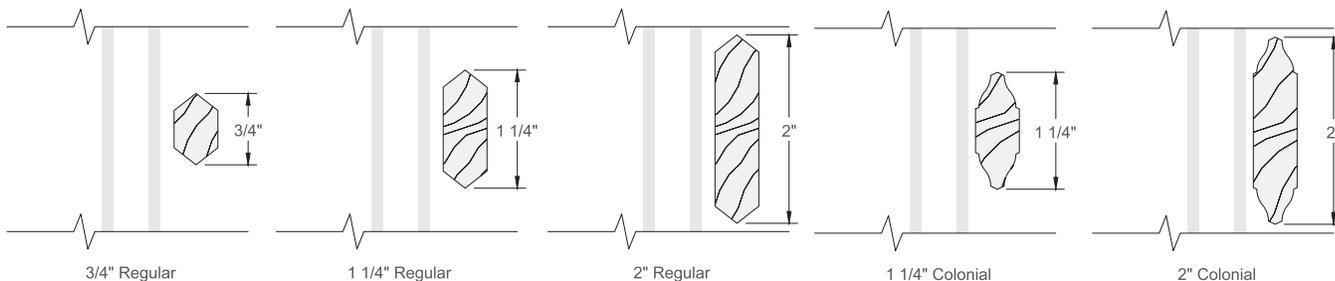
### INTEGRAL LIGHT TECHNOLOGY® GRILLES WITH CLAD EXTERIOR 1



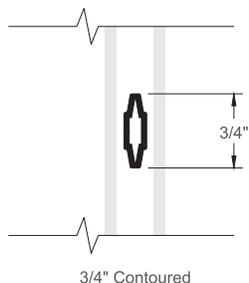
### INTEGRAL LIGHT TECHNOLOGY GRILLES WITH WOOD EXTERIOR 2



### REMOVABLE INTERIOR PINE GRILLES



### 3/4" GRILLES-BETWEEN-THE-GLASS



(1) Available in Pine, Mahogany, Alder or Douglas Fir to match complete unit.

(2) Available in Pine or Mahogany to match complete unit.



HUNG

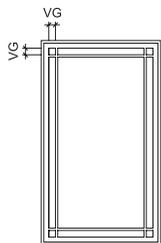
## GRILLE TYPES

### Typical Grille Patterns

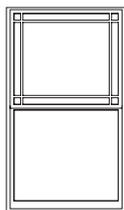


## INTEGRAL LIGHT TECHNOLOGY® GRILLES AND REMOVABLE GRILLE PATTERNS

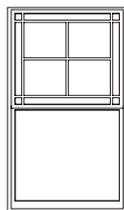
### Prairie Lite Patterns



9-Lite  
(Fixed Units)



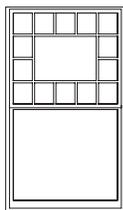
9-Lite



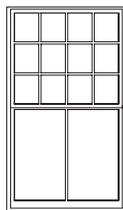
12-Lite

Standard corner lite dimension for Prairie patterns = 2-1/2" VG.  
Available in transoms ≥ 1'3" height and width.  
Available in all standard and special sizes.

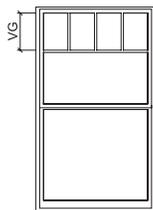
### Other Available Patterns



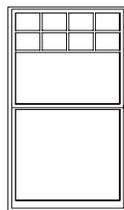
Victorian



New England



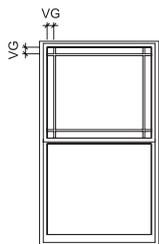
Top Row



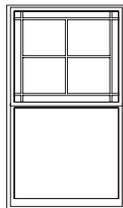
Traditional

VG = Visible Glass  
Lite dimensions noted can vary.  
For size and pattern availability contact your local Pella sales representative.

## GRILLES-BETWEEN-THE-GLASS PATTERNS



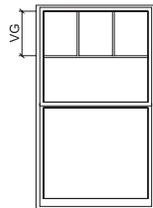
9-Lite  
Prairie



12-Lite  
Prairie



Cross



Top Row

**Prairie** - Standard corner lite dimension for Prairie patterns = 2-1/2" VG.  
Available in transoms ≥ 1'3" height and width.

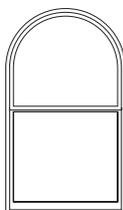
**Cross** - Minimum DH frame height 35".  
Horizontal bar will be at 1/2" of the VG height of the top sash.

**Top Row** - Minimum DH frame height 35".  
Horizontal bar will be at 1/2" of the VG height of the top sash.

For traditional patterns, see size tables.

## CUSTOM SHAPES

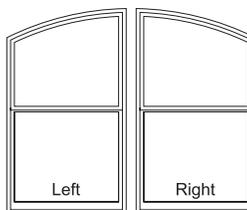
Pella Architect Series single-hung windows are available in custom shapes shown below, and additional shapes per drawing. For specifications, size limitations, and details on these units, contact your local Pella sales representative.



Springline



Arch Head



Partial Arch Head

BAR Case # \_\_\_\_\_

ADDRESS OF PROJECT: 110-108 S. Washington St.TAX MAP AND PARCEL: 074.02-09-26 ZONING: \_\_\_\_\_

APPLICATION FOR: (Please check all that apply)

 CERTIFICATE OF APPROPRIATENESS PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH (Required if more than 25 square feet of a structure is to be demolished/impacted) (only 21 sf. affected) WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance) WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT (Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)Applicant:  Property Owner  Business (Please provide business name & contact person)Name: Norman JemalAddress: 702 H Street<sup>NW</sup> Suite 400City: Washington State: DC Zip: 20001Phone: 202-638-6300 E-mail: njemal@douglasdev.comAuthorized Agent (if applicable):  Attorney  Architect  \_\_\_\_\_Name: Kathleen O'Hearn Phone: 301-320-2067E-mail: Kohearn@peoplepc.com

Legal Property Owner:

Name: Jemals Cayre Murphys, LLCAddress: ATTN: Douglas Development 702 H. Street, NW Suite 400City: Washington State: DC Zip: 20001Phone: 202-638-6300 E-mail: njemal@douglasdev.com

- Yes  No Is there an historic preservation easement on this property?  
 Yes  No If yes, has the easement holder agreed to the proposed alterations?  
 Yes  No Is there a homeowner's association for this property?  
 Yes  No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

**NATURE OF PROPOSED WORK:** *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
  - awning
  - doors
  - lighting
  - other \_\_\_\_\_
  - fence, gate or garden wall
  - windows
  - pergola/trellis
  - HVAC equipment
  - siding
  - painting unpainted masonry
  - shutters
  - shed
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

**DESCRIPTION OF PROPOSED WORK:** *Please describe the proposed work in detail (Additional pages may be attached).*

Lower the third floor window sill 1'-0"

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Replace windows with Aluminum-clad windows.

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**SUBMITTAL REQUIREMENTS:**

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

**Demolition/Encapsulation :** *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- <sup>N/A</sup> Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

**Additions & New Construction:** Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 12 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- <sup>N/A</sup> Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- <sup>N/A</sup> Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_
- Square feet of existing signs to remain: \_\_\_\_\_
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** Check N/A if an item in this section does not apply to your project.

- <sup>N/A</sup> Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

**ALL APPLICATIONS:** *Please read and check that you have read and understand the following items:*

- I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 12 sets of revised materials.

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The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**

Signature: 

Printed Name: Kathleen O'Hearn

Date: 8/6/12

**OWNERSHIP AND DISCLOSURE STATEMENT**

Use additional sheets if necessary

**1. Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Jemals Cayre Murphys	ATTN: Douglas Development 702 H Street NW	100%
2.	Suite 400 Washington DC 20001	
3.		

**2. Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at 108-110 South Washington (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

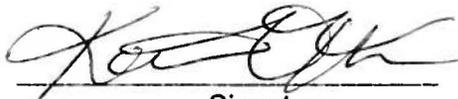
Name	Address	Percent of Ownership
1. Jemals Cayre Murphys	ATTN: Douglas Development 702 H Street NW.	100%
2.	Suite 400 Washington DC 20001	
3.		

**3. Business or Financial Relationships.** Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. None		
2.		
3.		

**NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.**

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

8/6/12                      Kathleen O'Hearn                        
 Date                                  Printed Name                                  Signature