

Docket Item # 5 & 6
BAR CASE # 2012-0232 &
2012-0261

BAR Meeting
September 5, 2012

ISSUE: Partial Demolition/Capsulation and Alterations

APPLICANT: Carol McDonough

LOCATION: 214 North Alfred Street

ZONE: RB / Residential

STAFF RECOMMENDATION:

Staff recommends approval of the application with the condition that the existing roof framing materials be reused in the new roof and that the sash of the existing window to be converted into a door be properly stored or reused on site.

****EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

****BUILDING PERMIT NOTE:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.



**CASE BAR2012-0232 &
CASE BAR2012-0261**



***Note:** The two reports for 214 North Alfred Street, BAR #2012-0232 (Permit to Demolish/Capsulate) and BAR #2012-0261 (Certificate of Appropriateness) have been combined for clarity and brevity. This item requires a roll call vote.

I. ISSUE

The applicant is requesting approval of a Permit to Demolish/Capsulate to partially demolish and capsulate portions of the east (side) elevation for a small addition and several alterations. Many aspects of the project are not visible from a public way, though they have been included in the submission materials to provide the Board with a holistic understanding of the overall project. The proposal includes the following:

Permit to Demolish/Capsulate

- Demolish existing roof of center portion of house, approximately 16 feet by 14.33 feet, to allow for a higher roof
- Demolish portion of second story rear west elevation to enlarge a window opening to accommodate a door
- Demolish roof of rear vestibule at first story of west elevation.

Alterations Visible from Public Way

- Install new exterior wood stair to extend from second story west elevation of main block.

Addition and Alterations Not Visible from Public Way

- Install new higher roof at center portion to match height of roof height and slope of rear portion and install new siding and windows for expanded wall
- Install new exterior door at second story of west elevation

II. HISTORY

This three-bay, two-story, side-gable roof townhouse was constructed in three phases, according to the applicant's research. The front section was constructed in **1830**, the center section/first rear ell was constructed by 1877, according to the G.M. Hopkins Map, and the third rear section was in place by 1891, according to Sanborn Fire Insurance Maps.

In 2011, BAR Staff administratively approved removal of aluminum siding and restoration of the original wood siding, trim and windows (BAR 2011-0267).

Although not within the BAR's scope of review, the homeowner is working with the Virginia Department of Historic Resources (VDHR) to obtain rehabilitation tax credits for the significant interior and exterior restoration work that has been completed thus far on the property and, based on a recent letter of support from the preservation architect at VDHR, anticipates approval of credits for the current proposal.

III. ANALYSIS

The proposal is in conformance with Zoning Ordinance requirements.

As the alterations to the center block—raising the wall to gain headroom in this portion of the house and adding new siding and windows—will not be visible from a public way.

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B):

- (1) Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?
- (2) Is the building or structure of such interest that it could be made into a historic house?
- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
- (4) Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?
- (5) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?
- (6) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?

In the opinion of Staff, the criteria to demolish and capsulate are not met and the Permit to Demolish should be granted. While it appears that the existing center block roof is the original form, Staff notes that it is already effectively encapsulated by the late 19th-century rear ell. Due to the limited visibility of the proposed demolition, and recognizing that rear service ells are typically the most altered elements of a building over time, Staff does not object to the proposed demolition of this roof. In order to gain minimal headroom in this portion of the building, the north wall will be raised approximately 30” to match the adjacent wall height. As the roof will, effectively, be rotated on the plate at the top of the existing south wall in order to align with the roof on the remainder of the ell, the existing rafter length is adequate to support the new roof deck. Therefore, Staff recommends that the existing rafters be reused in the new roof framing to the maximum extent possible. The existing second floor windows will be retained and new wood windows will be installed above, to subtly distinguish this alteration from the adjacent wall.

The rear vestibule roof proposed to be demolished to accommodate the new exterior stair does not appear to be an original or early feature, though the sash of the window being converted to an egress door contains cylinder glass. Staff, therefore, recommends that this window sash be properly stored or reused on site.

Staff finds the cumulative amount of demolition and capsulation to be limited to secondary locations that do not involve unusual or uncommon design, texture or material and the roof form is something that could be reproduced easily.

Alterations

The only proposed alteration visible from a public way is the exterior stair, which will be visible obliquely through the horse alley on the north elevation. The use of wood for the stairs and

balustrade, and the simple design, are appropriate for this utilitarian feature and consistent with the *Design Guidelines* which advise that they “be located on the rear elevation” and “should be made of material appropriate to the period of the structure.”

Staff recommends approval of the application with the minor conditions noted above.

STAFF

Catherine Miliaras, Historic Preservation Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Code Administration

- F-1 The review by Code Administration is a preliminary review only. Once the applicant has filed for a building permit, code requirements will be based upon the building permit plans. If there are any questions, the applicant may contact Ken Granata, Acting Plan Review Supervisor at ken.granata@alexandriava.gov or 703-746-4193.
- F-2 Provide additional detailed drawings at the time of submission for a building permit for the 2nd floor doors currently being installed. The Master Bedroom #1 door appears to be going onto an existing roof. Are guards going to be provided to prevent the use of this door at this time? Additionally, provide details for the door swing, threshold and location of fire escape. Guards, doors and clear width of fire escape shall also be maintained as required by USBC.
- C-1 Building and trades permits are required for this project. Five sets of *construction documents* that fully detail the construction shall be provided. A framing plan shall also accompany the building permit application. If a design professional prepares drawings for the project the plans must bear the seal of the design professional in accordance with the Code of Virginia Section 54.1-410B.
- C-2 Any proposed future alterations to the existing structure must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-3 All exterior walls shall comply with Table R302.1 of the 2009 USBC(2009 IRC as amended).
- C-4 The applicant shall provide window manufacturer specification, size of openings for each window as well as lintel size for both doors and windows if the openings in the existing structure need to be enlarged.

Transportation and Environmental Services (T&ES):

RECOMMENDATIONS

- R1. The building permit must be approved and issued prior to the issuance of any permit for demolition. (T&ES)

- R2. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R3. All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (T&ES)

CODE REQUIREMENTS

- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)

V. ATTACHMENTS

1 – Supporting Materials

2 – Application for BAR2012-00232 & BAR2012-00261 at 214 N Alfred St

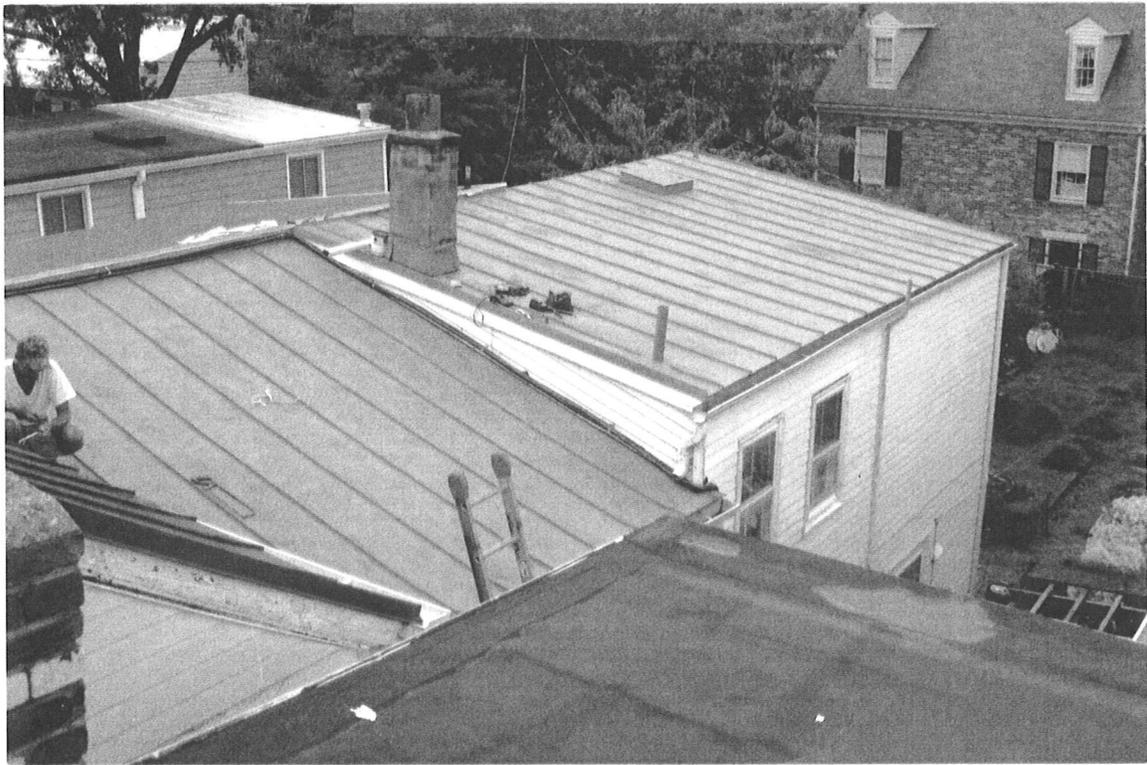


Existing Photos – Exterior Front 214 North Alfred Street

SCALE: N.T.S.

Alexandria, VA 22314

DATE: 8/6/12

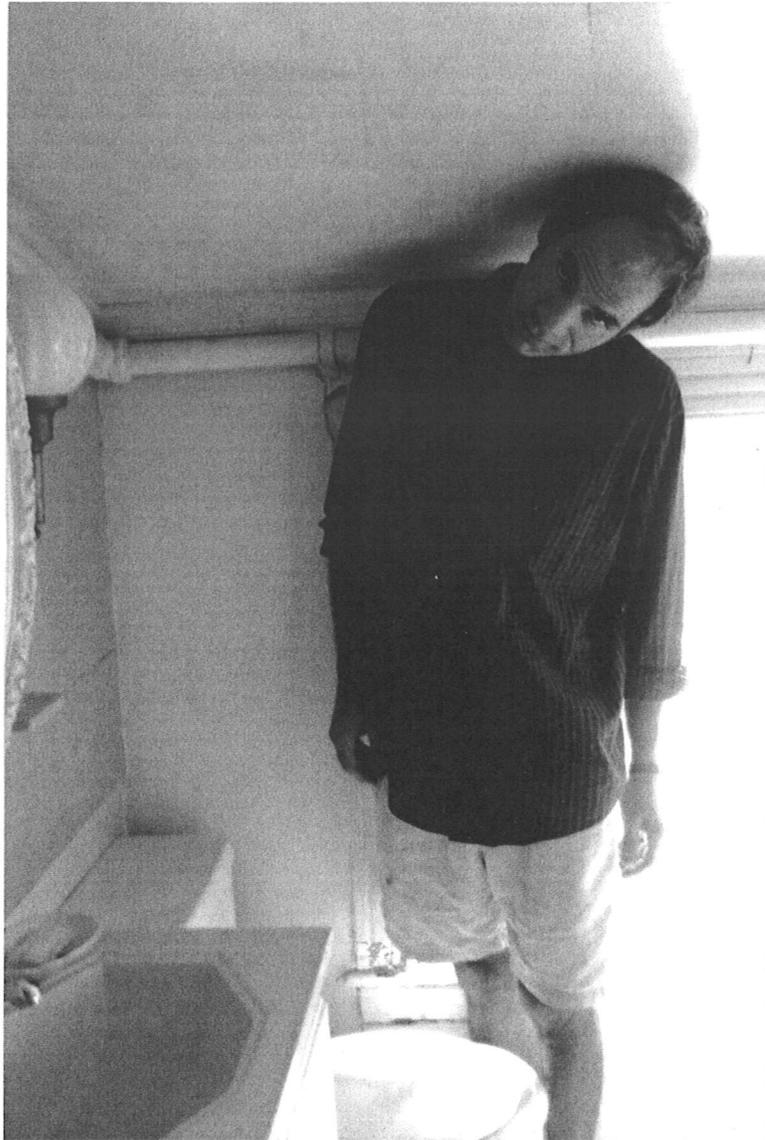


Existing Photos – Exterior

SCALE: N.T.S.

DATE: 8/6/12

214 North Alfred Street
Alexandria, VA 22314



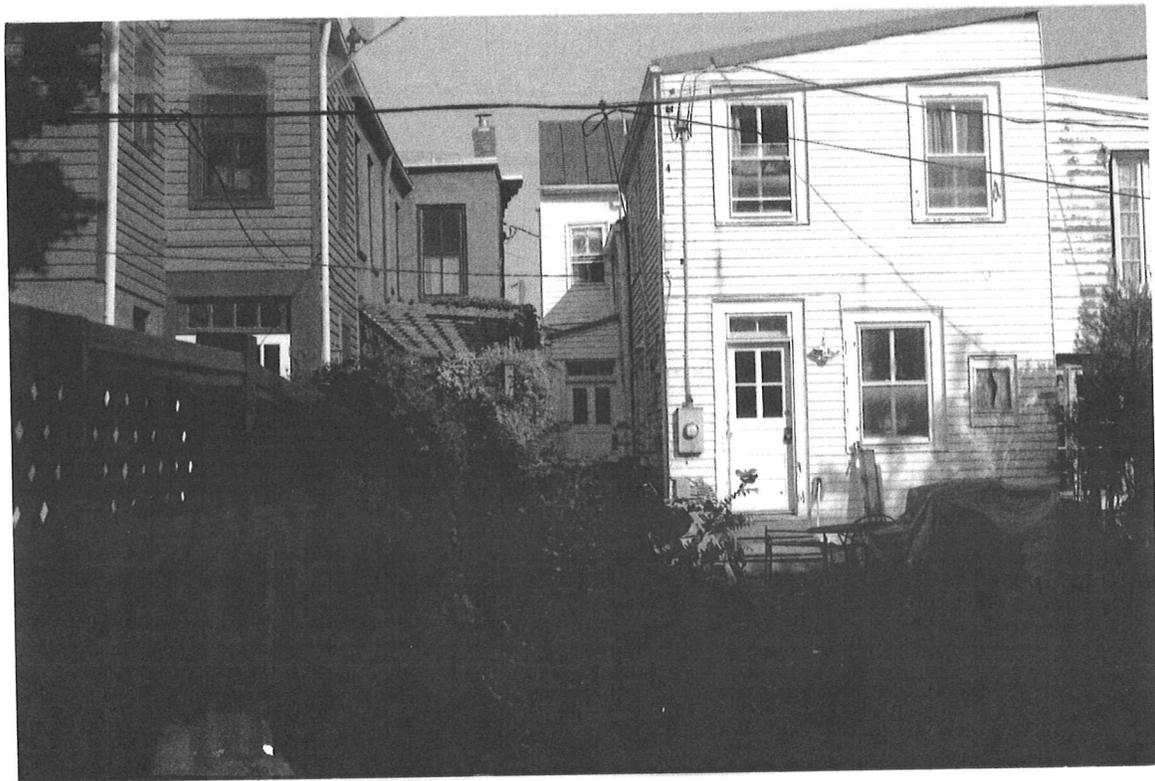
Existing Photos – Interior

SCALE: N.T.S.

DATE: 8/6/12

214 North Alfred Street

Alexandria, VA 22314



Existing Photos – Exterior Rear

SCALE: N.T.S.

DATE: 8/6/12

214 North Alfred Street

Alexandria, VA 22314



DEPARTMENT OF PLANNING AND ZONING

FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS FOR SINGLE AND TWO-FAMILY RESIDENTIAL OUTSIDE HISTORIC DISTRICTS

A. Property Information

A1. Street Address 214 NORTH ALFRED ST. Zone RB

A2. 2,468 x .75 = 1,845
 Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area *		Allowable Exclusions	
Basement	902	Basement**	902
First Floor	902	Stairways**	32
Second Floor	880	Mechanical**	81
Third Floor		Porch/ Garage**	
Porches/ Other		Attic less than 5'**	258
Total Gross *	2,684	Total Exclusions	1,273

B1. Existing Gross Floor Area *
2,684 Sq. Ft.
 B2. Allowable Floor Exclusions**
1,273 Sq. Ft.
 B3. Existing Floor Area minus Exclusions 1,411 Sq. Ft.
 (subtract B2 from B1)

C. Proposed Gross Floor Area (does not include existing area)

Proposed Gross Area*		Allowable Exclusions	
Basement		Basement**	
First Floor	10.5	Stairways**	6
Second Floor		Mechanical**	
Third Floor		Porch/ Garage**	
Porches/ Other		Attic less than 5'**	
Total Gross *	10.5	Total Exclusions	6

C1. Proposed Gross Floor Area *
10.5 Sq. Ft.
 C2. Allowable Floor Exclusions**
6 Sq. Ft.
 C3. Proposed Floor Area minus Exclusions 4.5 Sq. Ft.
 (subtract C2 from C1)

D. Existing + Proposed Floor Area

D1. Total Floor Area (add B3 and C3) 1,415.5 Sq. Ft.
 D2. Total Floor Area Allowed by Zone (A2) 1,845 Sq. Ft.

*Gross floor area for residential single and two-family dwellings in the R-20, R-12, R-8, R-5, R-2-5, RB and RA zones (not including properties located within a Historic District) is the sum of all areas under roof on a lot, measured from exterior walls.

**Refer to the zoning ordinance (Section 2-145(A)) and consult with zoning staff for information regarding allowable exclusions.

If taking exclusions other than basements, floor plans with excluded areas illustrated must be submitted for review. Sections may also be required for some exclusions.

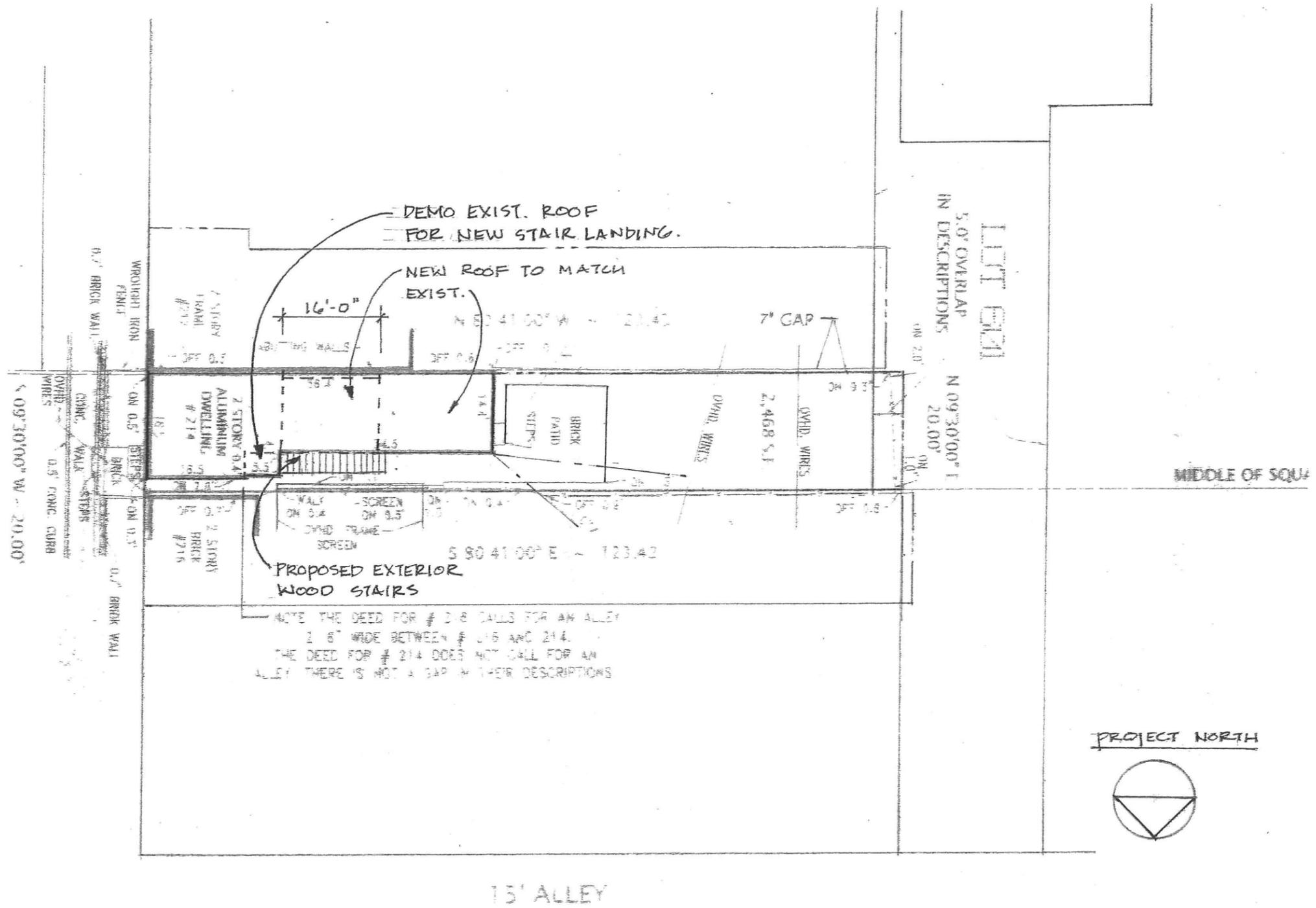
F. Open Space Calculations Required in RA & RB zones

Existing Open Space	1,340
Required Open Space	800
Proposed Open Space	

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: Diana Greve

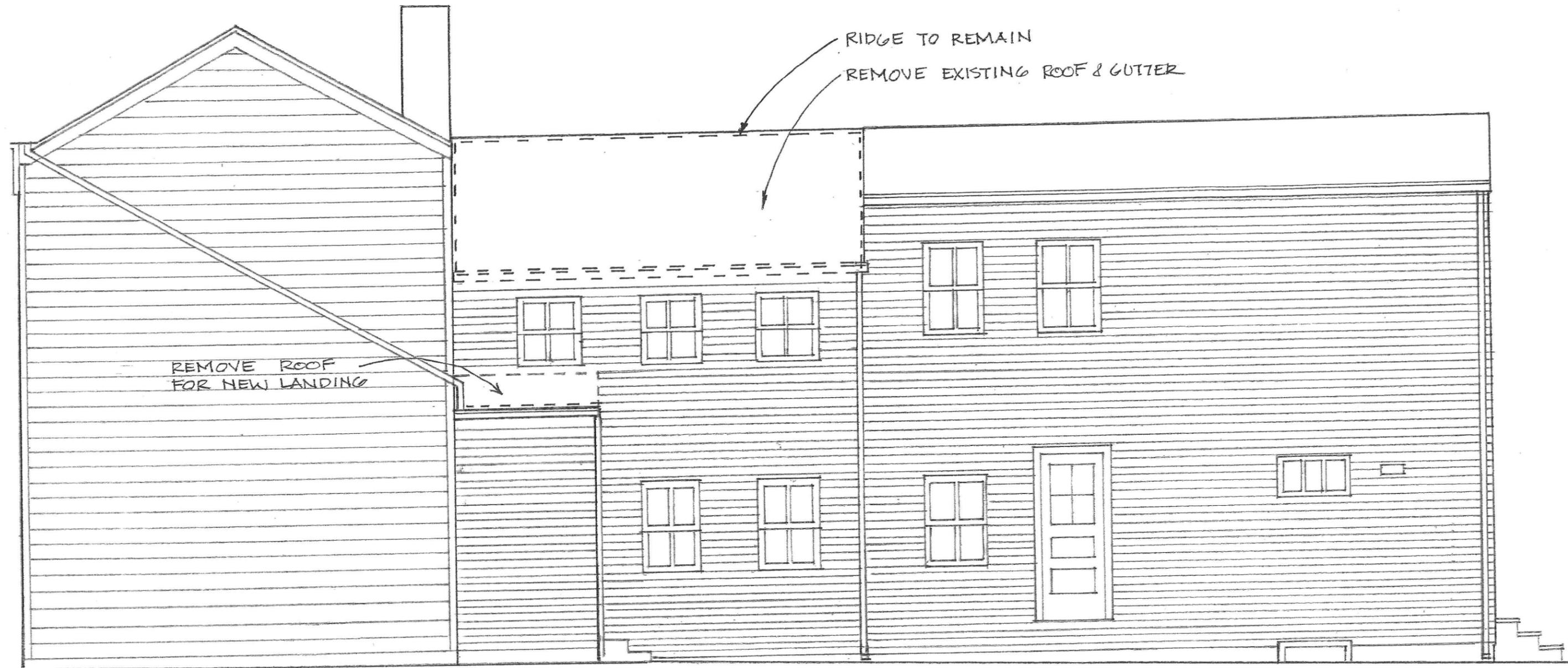
Date: 8/6/12



Site Plan

SCALE: 1:20
 DATE: 8/6/12

214 North Alfred Street
 Alexandria, VA 22314



Existing and Demolition North Elevation

SCALE: 1/4" = 1'-0"

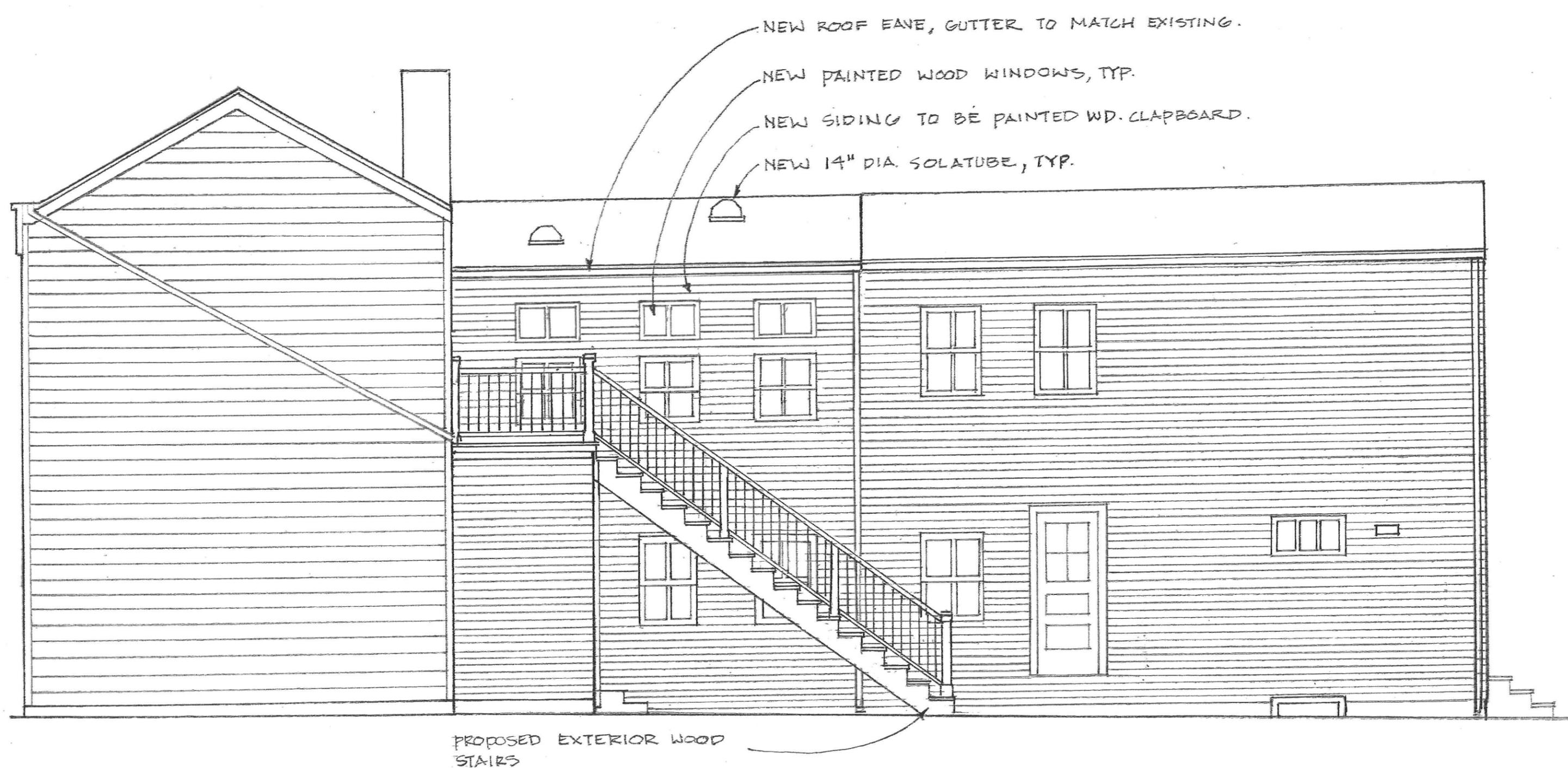
DATE: 8/6/12

214 North Alfred Street
Alexandria, VA 22314



Existing and Demolition West Elevation
 SCALE: 1/4" = 1'-0"
 DATE: 8/6/12

214 North Alfred Street
 Alexandria, VA 22314



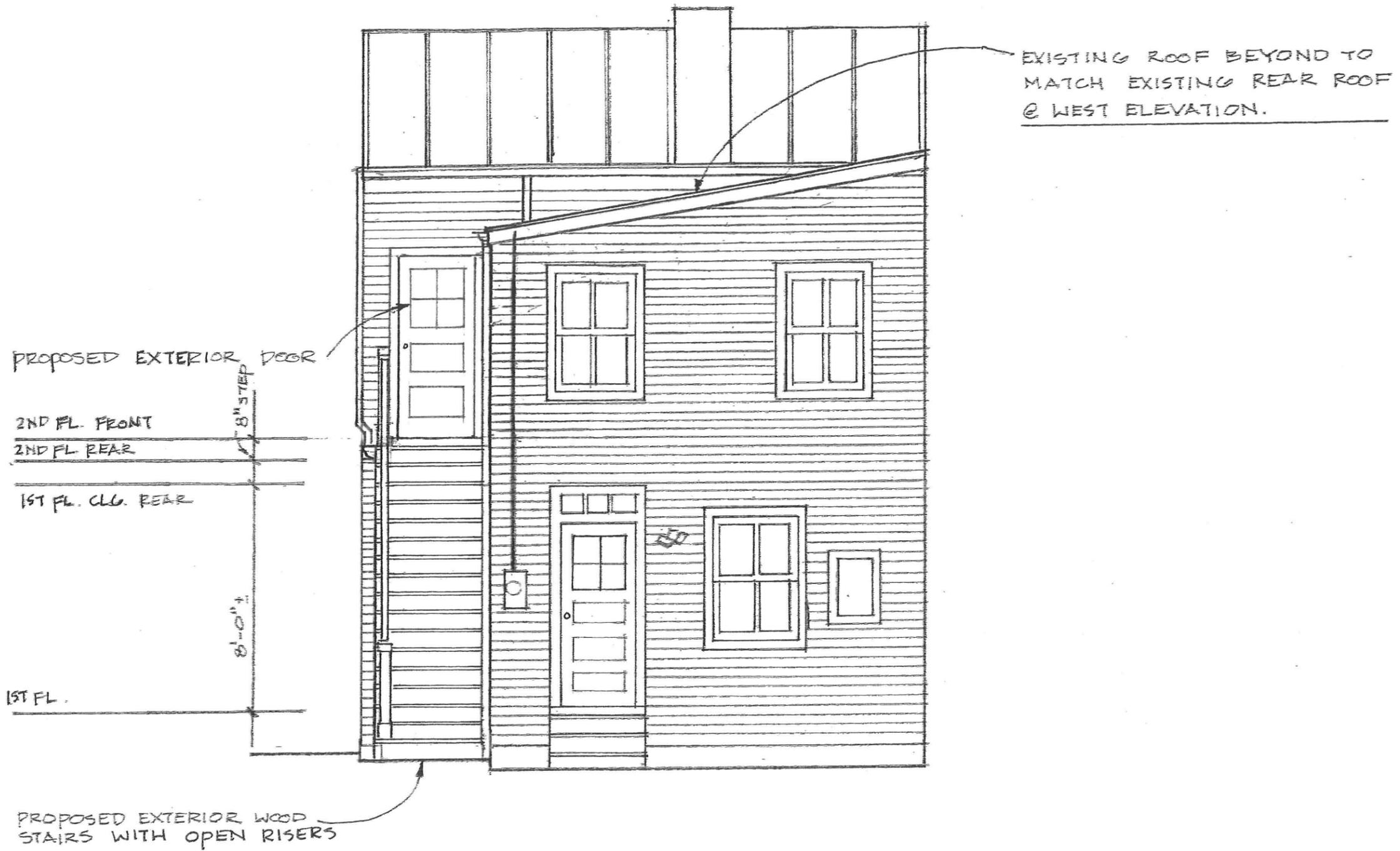
Proposed North Elevation

SCALE: 1/4" = 1'-0"

DATE: 8/6/12

214 North Alfred Street

Alexandria, VA 22314



Proposed West Elevation

SCALE: 1/4" = 1'-0"

DATE: 8/6/12

214 North Alfred Street
Alexandria, VA 22314

BAR Case # _____

ADDRESS OF PROJECT: 214 North Alfred Street, Alexandria, VA 22314TAX MAP AND PARCEL: See attached ZONING: RBAPPLICATION FOR: *(Please check all that apply)*

- CERTIFICATE OF APPROPRIATENESS
- PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)
- WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)
- WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: Property Owner Business *(Please provide business name & contact person)*Name: Carol McDonoughAddress: 214 North Alfred StreetCity: Alexandria State: VA Zip: 22314Phone: (703) 517-1052 E-mail: cmcdonough@shipleys.comAuthorized Agent *(if applicable)*: Attorney Architect _____Name: _____ Phone: (703) 517-1052

E-mail: _____

Legal Property Owner:

Name: Carol McDonoughAddress: 214 North Alfred StreetCity: Alexandria State: VA Zip: 22314Phone: (703) 517-1052 E-mail: cmcdonough@shipleys.com

- Yes No Is there an historic preservation easement on this property?
- Yes No If yes, has the easement holder agreed to the proposed alterations?
- Yes No Is there a homeowner's association for this property?
- Yes No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
 - awning fence, gate or garden wall HVAC equipment shutters
 - doors windows siding shed
 - lighting pergola/trellis painting unpainted masonry
 - other _____
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

See attached

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A Survey plat showing the extent of the proposed demolition/encapsulation.
- Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

1. This proposal is for a roof alteration to a shed roof in the center section of this Italianate-style house. The house was built in 3 sections--the first, front section was built in 1830; the second, center section was in place by 1877 (Hopkins Map); and the third, rear section was in place by 1891 (Sanborn Fire Insurance Map). The center and rear roof ridges are the same height. We propose to raise the center roof eave, which is on the north side, to match the existing eave line of the rear section. All new materials to build this alteration or to repair any damaged elements will be historically accurate. Windows on the second floor of the north elevation, center section, will remain the same, and small windows will be installed above the existing windows and will be in alignment with second floor windows in the rear section of the house. There will be a space between the windows to distinguish the old from the new. Aluminum and asphalt siding on the exterior north wall of the center section will be removed and original siding will be refurbished and replaced as necessary using compatible materials. The center roof alteration is necessary because the second floor ceiling slopes from 7'-8" at the south wall to 5'-2" at the north wall. With this slope, a height of 6'-0" is almost 3'-0" out from the wall, taking almost half of the room space. With the existing toilet under the lowest point of the ceiling, a person taller than 5'-2" cannot use the toilet standing up. Another consideration is to gain ceiling height in order to install a new doorway to the front master bedroom, which is an 8" step up from the floor level of the center section of the house, to create an ensuite bathroom in the current hall closet. The existing roof height does not allow enough clearance for such a door. There will also be an external door installed on the second floor of the west elevation of the front section of the house where there is currently a window that will lead to a staircase/fire escape. The staircase/fire escape will be built along the north wall. Stairs will have open risers and will be framed with rot resistant lumber and railing will be constructed of cypress. The small roof over the lower vestibule will be reframed to allow for creation of a landing above. During the alteration, no walls that delineate the building's original space and structure will be removed or disturbed during the process.

The applicant is pursuing state tax credits to rehabilitate this historic structure and is also seeking approval from the Virginia Department of Historic Resources.

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 12 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.*

- N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- N/A Linear feet of building: Front: _____ Secondary front (if corner lot): _____
- Square feet of existing signs to remain: _____
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

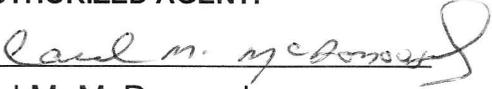
- N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 12 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: 
Printed Name: Carol M. McDonough
Date: 08/06/2012

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Carol McDonough	214 North Alfred St.	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 214 North Alfred Street (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Carol McDonough	214 North Alfred St.	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

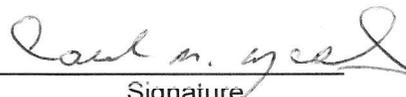
Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Carol M. McDonough	NA	NA
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

08/06/2012

Carol M. McDonough



Date

Printed Name

Signature