

Docket Item #'s 5 & 6
BAR CASE # 2009-0088
#2009-0089

BAR Meeting
May 27, 2009

ISSUE: New Construction and Waiver of HVAC Screening Requirement

APPLICANT: Alexandria Redevelopment and Housing Authority and EYA, LLC, by Joanna Frizzell

LOCATION: Phase One of James Bland Redevelopment at 808 Madison St (Project site: 918 N COLUMBUS STREET; 898 & 998 N ALFRED ST; 801, 813 & 808 MADISON ST & 100 FIRST STREET)

ZONE: Zoned CDD #16

STAFF RECOMMENDATION: Staff recommends approval of the Certificate of Appropriateness for Phase One, with the following conditions to be met to the satisfaction of the Director of Planning and Zoning:

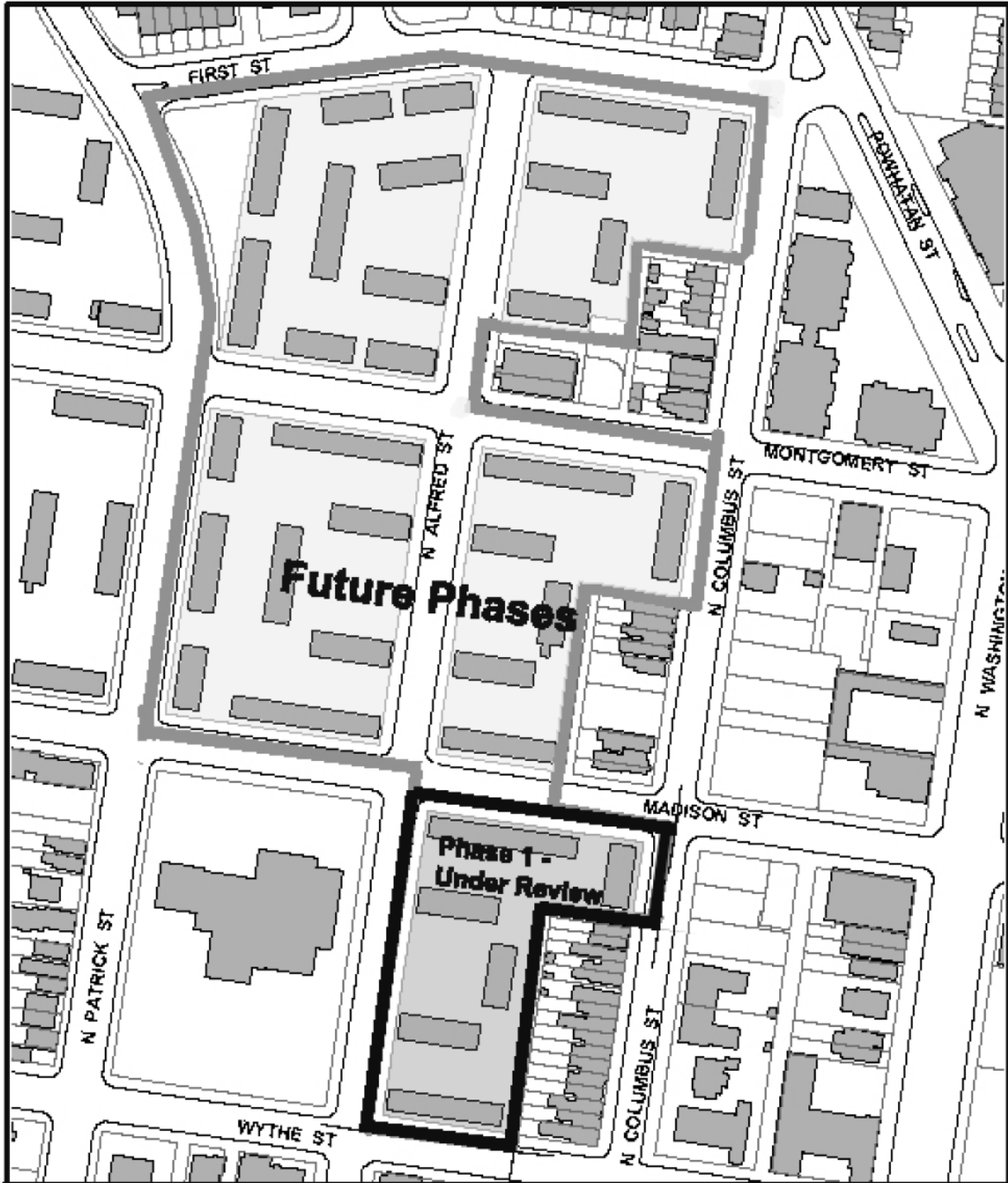
1. That the applicant revise the loft level at corner units so that it reads as a true monitor – more as a grid of windows with trim rather than a wall with punched windows.
2. That the applicant provide more glass and transparency on the loft levels wherever possible and that the applicant study relocating the interior HVAC equipment to the rear (incorporate it with the bathroom, closet and W/D area as indicated in the floor plans) to allow for a more flexible location and placement of windows adjacent to the front roof terrace.
3. That the applicant work with Staff to restudy the number and placement of windows on the side and rear elevations of the proposed ARHA units to create a more compatible exterior fenestration.
4. That all front doors be appropriately aligned with windows.
5. That all visible roof materials (including porch roofs) be standing seam metal, metal shingles, and slate or synthetic slate.
6. That the applicant restudy the vocabulary of the one-story bay element to make it more compatible with the architecture of the Parker-Gray district. The restudy should include a simplification of this element such as the removal of the cornice on the bay, the use of a flat roof instead of a shed roof, and cantilevering the bay element.
7. That the applicant delineate the individual townhouses at the roof through the addition of battens or projecting decorative metal coping and variation in roof color and material.
8. That the applicant work with Staff to refine the door, window and trim treatments so that they are stylistically compatible and do not have a mix of styles on a single

townhouse.

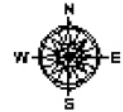
9. That the applicant remove the brick surround on the three townhouses on North Columbus Street and replace with a segmental arch around the door (to match the window segmental arch), with final configuration to be approved by Staff.
10. That the applicant increase the height of the dormer window on the mansard roof forms by lowering the sill of the dormer to create a taller dormer window opening.
11. That the applicant provide samples of the proposed subtle neutral color palette for the loft level to Staff for final approval.
12. That the applicant continue to revise the cornice design to be historically appropriate in respect to depth, profile, and details and to provide samples of all proposed cornices for final approval by Staff.
13. That the applicant eliminate the ganged mailboxes and provide mail slots through the door to be compatible with the character of the district. Should the only possible solution for mail delivery be ganged mailboxes, then the applicant should revise the location and design of the propose mailbox units to minimize their visibility and to be more compatible, with final approval by Staff.
14. That the applicant work with Staff for final approval of a more appropriate light fixture over the garage.
15. That the applicant use traditional building materials, such as wood instead of synthetic materials, at the street-level, for items such as door surrounds, front doors, railings and the like, where they are most perceived by the public.
16. Fireplace vents, flues, vent stacks and other similar protrusions shall not be permitted on any public street or private street frontage including corner units. Furnace vents shall discharge through the roof or the rear façade. HVAC vents or associated elements shall not be visible from a public street and shall be painted to match the predominant building color. Roof penetrations shall be confined to the rear of the building.
17. That the applicant construct sidewalks along the public streets that will be six foot wide unobstructed with a minimum four foot wide landscape strip. All sidewalks are to be concrete, comply with the City standards, and include “lamp black” color additive per the *Braddock Metro Neighborhood Plan*. All sidewalks shall provide a grid pattern that effectively creates a 3-foot by 3-foot grid pattern. The concrete sidewalks and grid pattern shall continue over the proposed alleys and private streets to provide a continual uninterrupted concrete sidewalk.
18. That the low fence meet the requirements of the zoning ordinance regarding being 50% open with final approval by Staff.

**EXPIRATION OF APPROVALS NOTE: In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

**BUILDING PERMIT NOTE: Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.



BAR CASE #2009-0088/0089 5/27/09



I. ISSUE:

The applicant is requesting approval of a Certificate of Appropriateness for new construction and Waiver of HVAC screening requirements for a redevelopment at the **James Bland Housing Project, Phase One at 808 Madison St (Project site: 918 N COLUMBUS STREET; 898 & 998 N ALFRED ST; 801, 813 & 808 MADISON ST & 100 FIRST STREET)**. At this component of review for a Certificate of Appropriateness for Phase One, the BAR will review detailed plans and will focus on materials, proportions, relationships between architectural elements and the detailing of specific elements such as cornices, windows and doors for a determination that the final design complies with the Board's Standards and the *Design Guidelines* in all respects.

The proposal is to construct 55 new dwelling units in a mixed-income redevelopment on the block bounded by North Alfred, North Columbus, Wythe and Madison Streets. This phase one of the five block project appears from the exterior to be 49 townhome-style units. 37 of the units are single-family townhomes and six are triplexes that appear from the outside to be two townhomes. The heights of the buildings range from a two-story façade with a recessed third story to a three-story façade with a recessed fourth story. In general, the buildings are scaled down along and adjacent to North Columbus Street in order to be sensitive to the surrounding neighborhood and existing two-story townhouses.

The architectural style of the proposed buildings attempt to emulate and complement the existing architecture found in the Parker-Gray district, bringing the architecture on the site significantly more in line with the Parker-Gray vernacular. The site plan strives to re-integrate the block into the Parker-Gray fabric, with street-facing houses and a new private street that reduces the uninterrupted bulk of the block.

Prior Review and Approvals:

On September 24, 2008, the Board voted to approve a Permit to Demolish and a Concept approval for the project. The conditions for the Concept approval were:

1. That the applicant continue to work to reduce the actual or perceived height of the townhouses that border existing buildings—specifically on Wythe Street—to improve the transition from existing buildings to new construction. This can be accomplished in many ways that may include: variation in cornice height, variation in roof height/type, addition of a porch, varied setbacks, or by removal of the recessed top story.
2. That the applicant shall revise the front, side and rear elevations of the townhouse units in order to provide fenestration, solid-to-void ratio, and placement and pattern of windows appropriate to each unit's architectural style and compatible with the existing architecture of Parker-Gray.
3. Side and rear elevations should relate to their respective front elevations in regard to architecture, materials and color.
4. That the applicant work with Staff to determine a materials palette of historically-appropriate materials and meet all the standards set forth in the *Design Guidelines*.
5. Ornamentation and detailing shall be consistent with the architectural style of the unit or building and be compatible with the vernacular architecture of Parker-Gray.

6. That the applicant reduce the perceived height of the alley buildings and refine the elevations of the alley buildings, including proposed materials selections.
7. That the applicant work with Staff to revise the elevations of the multi-family buildings on North Patrick Street.
8. That the applicant provide appropriate screening for HVAC equipment, trash, utilities and similar areas.
9. That the applicant work with Staff as the design of the park spaces evolves to ensure compatibility with the character of the district as relates to setting, landscape, the street grid and public space.
10. That the applicant work with Staff to determine appropriate selections for design details that include but are not limited to trim, doors, garage doors, windows, exterior lighting, fences, railings, gates, and other items that shall require subsequent review and approval as part of the Certificate of Appropriateness.
11. To ensure that significant information is not lost as a result of the current development project, the applicant shall hire an archaeological consultant to complete a Documentary Study. The Documentary Study shall be completed prior to the first submission of the final site plan or January 1, 2009 (whichever is earlier). If the Documentary Study indicates that the property has the potential to yield significant buried resources, the applicant shall hire an archaeological consultant to complete an Archaeological Evaluation. The Archaeological Evaluation will need to be completed in concert with demolition activities. If significant resources are discovered, the consultant shall complete a Resource Management Plan, as outlined in the *City of Alexandria Archaeological Standards*. Preservation measures presented in the Resource Management Plan, as approved by the City Archaeologist, will be implemented.
12. The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation plans, Erosion and Sediment Control, Grading, Landscaping, Utilities, Sheeting and Shoring, etc.) so that on-site contractors are aware of the requirements:
 - a. All required archaeological preservation measures shall be completed prior to ground-disturbing activities (such as coring, grading, filling, vegetation removal, undergrounding utilities, pile driving, landscaping and other excavations as defined in Section 2-151 of the Zoning Ordinance) or a Resource Management Plan must be in place to recover significant resources in concert with construction activities. To confirm, call Alexandria Archaeology at (703) 838-4399.
 - b. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
 - c. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.
13. The final site plan shall not be released until the City archaeologist confirms that all archaeological field work has been completed or that an approved Resource Management Plan is in place.
14. Certificates of Occupancy will not be issued for this property until the final archaeological report has been received and approved by the City Archaeologist.

The vote was 5-2, with Mr. Moffat and Ms. Rankin voting in opposition.

The design intention with the proposed redevelopment is to strive to model the new construction on the existing historic context of the district by including elements such as alleys through the blocks and townhouses that face the street. A new internal street is integrated into the project. The actual name selection for the new street is still pending, and will be approved by the Planning Commission.

The proposal includes three community park open space areas that are centrally located in the five block project and intended for the use of the neighborhood residents. However, Phase One will not have a park. The applicant is also showing open space in the form of several front and back yards, and on rooftop terraces.

Phase One Project Description:

In this section of the report, each of the block faces within Phase One will be described as well as each of the building types found in this phase.

Block 808, Building #22:

This row will consist of three two-bay, brick townhouse units on **North Columbus Street**, with a perceived height of two stories with a recessed third story. The roof height will be approximately 33.5 feet. Each unit will be 16 feet in width. The units will be in a Queen Anne style with two-story projecting square bays, with pedimented gable roofs.

The side elevations will have an asymmetrical window arrangement and will continue the materials and style of the front elevation. The rear elevations will have minimal detailing and a simple fenestration.

Block 808, Building #21:

This row will consist of a row of six frame townhouses on **Madison Street**. Four two-bay townhouse units will have a perceived height of two stories with a recessed third story and two will be three stories. The units will have either an Italianate or Colonial Revival stylistic expression. The roof heights will range from 31-33 feet. The units range from 14-19 feet in width.

The side elevations will have asymmetrical window arrangements and will continue the materials and style of the front elevation. The rear elevations will have minimal detailing and a simple fenestration, with the option of a projecting bay element at the second story.

Block 808, Building #20:

This row will consist of seven frame townhouse units fronting on **Madison Street**, with heights ranging from three stories to a perceived three stories with a fourth story recessed on the center three units. The roof heights will range from 32-43 feet. The widths range from 16-19 feet. The units will have either an Italianate or Folk Victorian stylistic expression.

The side elevations will have a varied symmetrical window arrangement and will continue the materials and style of the front elevation. The rear elevations will have minimal detailing and three will contain garage door entrances on the ground level, optional decks on the second level, and optional projecting bay windows on the third story.

Block 808, Building #27:

This row will consist of six frame townhouse units on **North Alfred Street** with a perceived height of three stories, with a fourth story recessed. The roof heights will be approximately 42 feet. The units will be 16-19 feet in width. The units will have either an Italianate or Colonial Revival stylistic expression.

The side elevations will have an asymmetrical window arrangement and will continue the materials and style of the front elevation. The rear elevations will have minimal detailing and will all contain garage door entrances on the ground level, optional decks on the second level, and optional projecting bay windows on the third story.

Block 808, Building #26:

This row will consist of eight townhouse units fronting on **North Alfred Street**, with heights ranging from three stories to a perceived three stories with a fourth story recessed. The roof heights will range from 33-43 feet. The widths will range from 16-19 feet. The units will have either an Italianate, Folk Victorian or Colonial Revival stylistic expression. Included in this row will be three brick Washington-style townhouses with one-story front porches. This row also includes one unit with a one-story front porch with balustrade at the second story.

The side elevations will have asymmetrical window arrangements and will continue the materials and style of the front elevation. The rear elevations will have minimal detailing and all but two will contain garage door entrances on the ground level, optional decks on the second level, and optional projecting bay windows on the third story. The rear elevations will all be frame even though the three Washington-style townhouses will have brick on the front elevation.

Block 808, Building #25:

This row will consist of a side elevation of the corner building fronting North Alfred Street, three townhouse of three stories with a recessed fourth story, and two townhouses of three stories on **Wythe Street**. The roof heights will range from 33-45.5 feet. The units will range in widths from 16-19 feet. The architectural style references include Italianate, Folk Victorian and Greek Revival.

The side elevations will have asymmetrical window arrangements and will continue the materials and style of the front elevation. The rear elevations will have minimal detailing and three will contain garage door entrances on the ground level, optional decks on the second level, and optional projecting bay windows on the third story.

Alley Dwelling Buildings 23 & 24:

These rows will consist of two rows of brick townhouses—each with six townhouses—located on a private street (with public access easement) parallel North Alfred and North Columbus streets. The townhouses will have a perceived height of three stories with a recessed fourth story.

These alley dwelling units have a modern expression. Each unit features a pronounced window bay element at the second and third stories. The rows have three-bay facades, all with side entrances. The roof heights will be approximately 43 feet. The units will be approximately 16 feet in width.

The side elevations will have an asymmetrical window arrangement and will continue the materials and style of the front elevation. The rear elevations will have minimal detailing and will contain garage door entrances on the ground level, optional decks on the second level, and optional projecting bay windows on the third story.

Description of Unit Types:

Unit A, #1:

Front elevation: Perceived two-story from street, third story recessed
Flat roof, with heavy cornice line at top of two-story component
Cornice wraps to side to differentiate two-story from third story recessed
Third-story recessed, with monitor type appearance on side elevation, and three glass doors
Height to top of roof: 31.5 feet
Height to top of cornice line: 25.5 feet
Two bay rhythm
Two-over-two windows
Two-paneled door with transom and door frame
Hardieplank siding
Exposed painted concrete/CMU foundation
Italianate influence

Rear elevation with bay element at second story
Side with asymmetrical window placements
Visible recessed third story with four square windows

Unit A, #2:

Front elevation: Perceived two-story from street, third story recessed
Flat roof, with heavy cornice at top of two-story component
Cornice with brackets and modillions
Height to top of roof: 32.5 feet
Height to top of cornice line: 25.5 feet
Two bay rhythm
Six-over-six windows
Six paneled door and pronounced door frame
Hardieplank siding
Exposed painted concrete/CMU foundation
Greek Revival influence

Rear elevation with bay element at second story
Visible recessed third story with four square windows

Unit B, #1:

Perceived two-story from the street, third story recessed
Third story recessed with three doors
Height to top of roof: 32.5 feet
Height to top of cornice: 22 feet
Heavy brick corbelled cornice
Two bay rhythm, brick, projecting two-story bay component with pediment and corbelled brick cornice
One-over-one windows with brick segmental arches
Two panel door with transom and brick surround
Brick exterior with rowlock band at foundation
Queen Anne influence

Side elevations with single windows with segmental arches and brick rowlock band above the second story
Rear elevation with symmetrical paired windows and single-light door

Unit C, #1:

Perceived three stories along street with a recessed fourth story
Fourth story recessed with three doors
Height to top of roof: 42.5 feet
Height to top of cornice: 31 feet
Three bay rhythm, projecting one-story bay on first floor with paired windows
Bay with metal shed roof and brackets, panels under paired windows
Standing seam metal pent roof with cornice
Two-over-two windows
Two panel door with transom
Hardieplank siding
Exposed painted concrete/CMU foundation
Folk Victorian influence

Unit C, #2:

Perceived three stories along street with a recessed fourth story
Fourth story recessed with paired doors
Height to top of roof: 42.5 feet
Height to top of cornice: 31 feet
Three bay rhythm
Standing seam metal pent roof with decorative triangular vent
Two-over-two windows
Two panel door with transom and bracketed portico
Hardieplank siding
Exposed painted concrete/CMU foundation
Folk Victorian influence

Unit C, # 3:

Perceived three stories along street with a recessed fourth story
Fourth story recessed with paired doors or three doors

Height to top of roof: 42.5 feet
Height to top of fascia: 35.5 feet
Three bay rhythm
Flat roof with cornice
Two-over-two windows
Two panel door with transom and bracketed portico
Hardieplank siding
Exposed painted concrete/CMU foundation
Italianate influence

Unit C, #4:

Perceived three stories along street with a recessed fourth story
Fourth story recessed with paired doors
Height to top of roof: 45.5 feet
Height to top of cornice: 34 feet
Three bay rhythm, one-story front porch with balustrade at second story
One-over-one windows
Standing seam metal pent roof
Hardieplank siding
Exposed painted concrete/CMU foundation
Folk Victorian influence

Unit C, #5 (Alley Dwelling):

Perceived three stories from street with a recessed fourth story
Fourth story recessed with paired doors
Height to top of roof: 43 feet
Height to top of cornice: 36 feet
Three bay rhythm, two-story projecting bay with paired windows made of HardiePanel and aluminum battens with dark gray coloring
One-over-one windows and casement windows with cast stone header
Metal rail at cornice level for terrace
White/light-gray brick with double brick header coursing water table
Two-panel door with cast stone lintel
Door and part of cornice are red
Modern/contemporary

Unit C, #6 (Alley Dwelling):

Perceived three stories from street with a recessed fourth story
Fourth story recessed with paired doors
Height to top of roof: 43 feet
Height to top of cornice: 36 feet
Three bay rhythm, two-story projecting bay with three windows made of HardiePanel and aluminum battens with dark gray coloring
One-over-one windows
Metal rail at cornice level for terrace
White/light-gray brick with double brick header coursing water table

Two-panel door with cast stone lintel
Door and part of cornice are red
Modern/contemporary

Unit C, #7 (Alley Dwelling):

Perceived three stories from street with a recessed fourth story
Fourth story recessed with paired doors
Height to top of roof: 43 feet
Height to top of cornice: 36 feet
Three bay rhythm, two-story projecting bay with three windows made of HardiePanel and aluminum battens with dark gray coloring
One-over-one windows
Metal rail at cornice level for terrace
White/light-gray brick with double brick header coursing water table
Two-panel door with cast stone lintel
Door and part of cornice are red
Modern/contemporary

Side elevations with asymmetrical single windows and double-brick header coursing above first story

Unit C (Alley Dwelling) Rear Elevations:

Garage at first story, option cantilevered deck at second story and optional projecting bay window at third story. Simple fenestration and minimal detailing.

Unit D, #1:

Perceived three stories from street with a recessed fourth story
Fourth story recessed with two sets of french doors
Height to top of roof: 42.5 feet
Height to top of cornice: 32 feet
Three bay rhythm
Standing seam metal pent roof with decorative triangular vent and cornice
One-over-one windows
Two panel door with transom and bracketed portico
Hardieplank siding
Folk Victorian influence

Side elevations with symmetrical windows and minimal detailing

Unit D, #2:

Perceived three stories from street with a recessed fourth story
Fourth story recessed with three doors
Height to top of roof: 42.5 feet
Height to top of cornice: 31.5 feet
Three bay rhythm, projecting one-story bay on first floor with paired windows
Bay with metal shed roof and brackets, panels under paired windows

Standing seam metal pent roof with cornice
One-over-one windows
Two panel door with transom
Hardieplank siding
Folk Victorian influence

Side elevations with symmetrical windows and minimal detailing

Unit D, #3:

Perceived three-story along the street, fourth story recessed
Fourth story recessed with three doors or two sets of french doors
Height range to top of roof: 45 feet
Height range to top of fascia: 30.5 feet
Three bay rhythm with one-story front porch with columns and flat roof
Synthetic slate roof shingles
Six-over-one windows with brick soldier course and decorative squares at windows
Three panel door with transom
Brick exterior
Colonial Revival, Washington-style townhouse

Unit D, #4:

Perceived three stories from street with a recessed fourth story
Fourth story recessed with two sets of paired doors or paired doors with two windows
Height to top of roof: 42.5 feet
Height to top of cornice: 35.5 feet
Three bay rhythm
Flat roof with cornice
One-over-one windows
Two panel door with transom and bracketed portico
Hardieplank siding
Exposed painted concrete/CMU foundation
Italianate influences

Unit D, Rear Elevations:

Garage at first story, option cantilevered deck at second story and optional projecting bay window at third story. Simple fenestration and minimal detailing.

Unit D (Alley Dwelling):

Perceived three stories from street with a recessed fourth story
Fourth story recessed with paired doors
Height to top of roof: 43 feet
Height to top of cornice: 36 feet
Three bay rhythm, two-story projecting bay with three windows made of HardiePanel and aluminum battens with dark gray coloring
One-over-one windows
White/light-gray brick with double brick header coursing water table

Two-panel door with cast stone lintel
Door and part of cornice are red
Modern/contemporary

Unit E, #1:

Three stories
Height to top of roof: 32.5 feet
Flat roof with cornice
Two-over-two windows, some paired
Three bay rhythm
Two panel door with transom and frame
Hardieplank siding
Exposed painted concrete/CMU foundation
Italianate influence

Side elevations with symmetrical windows and minimal detailing

Unit E, #2:

Three stories
Height to top of roof: 32.5 feet
Flat roof with cornice
Six-over-six windows
Three bay rhythm
Two panel door with transom and frame
Hardieplank siding
Exposed painted concrete/CMU foundation
Greek Revival Influence

Side elevations with symmetrical windows and minimal detailing

Unit E, #4:

Three-story (two stories plus mansard roof with dormers)
Height range to top of roof: 31 feet
Height range to top of cornice: 22 feet
Pedimented dormers at roof
Two panel door
Two-over-two windows
Two bay rhythm with one-story front porch
Synthetic slate shingles
Colonial Revival influence

Side elevations with symmetrical windows with mansard and dormers and minimal detailing

All Building Types:

All fourth floor recessed components on all building types will have HardiPanel exteriors painted in a soft neutral palette.

Fences/Garden Walls:

The applicant is proposing wood picket fences and garden gates in some areas of Phase I. For the units facing Madison Street and North Columbus Street, 6' tall wood fences (5' board fence topped by 1' of horizontal lattice work) will be located in the rear yards. Solid wood gates are also proposed in rear areas, at entrances to pedestrian alleys. 3'6" tall wood screening fences will also be located in some side and rear areas of Phase One.

Materials:

The following building materials have been proposed for use by the applicant on the new construction:

Siding: HardiePlank Smooth Lap Fiber Cement
Windows: MW Jefferson SDL, Painted, Wood Frame & Sash
CPVC Brickmould & Sill
Precast stone sills and headers
Entry Doors: Solid Wood, Painted
Trim: CPVC, Molded Polyurethane ("Fypon"), Painted
Roofing: Pre-finished Aluminum and synthetic slate where visible
Rear Yard Fence: Cedar w/ opaque stain
Porch Rails: CPVC, Painted
Rear Decks, Rails: MoistureShield Composite, Cape Cod Grey
Garage Doors: Steel Flush Panel, Painted

In respect to colors, the applicant is showing a variety of color proposals on the units.

II. HISTORY:

Parker-Gray and Designations:

Parker-Gray has been recognized as a local historic district since 1984, and architectural changes within the neighborhood are overseen by the Parker-Gray Board of Architecture Review (BAR). The boundaries for the locally designated district include all of James Bland Homes. The district boundary lines for Parker-Gray have not changed since adopted by City Council in 1984.

In June of 2008, the Parker-Gray nomination was discussed by the Virginia Department of Historic Resources (VDHR) State Review Board and Historic Resources Board who voted to support the nomination to the Virginia Landmarks Register and directed the state staff to forward the nomination to the National Park Service. The nomination is currently being reviewed by VDHR for final revisions, prior to forwarding to the National Register department of the National Park Service.

The Parker-Gray Board of Architectural Review approved a Permit to Demolish and a Concept approval for the entire project on September 24, 2008. The Development Special Use Permit (DSP2008-0013) was approved by the Planning Commission on October 7, 2008 and by City Council on October 18, 2008.

Since the September 24, 2008 hearing, the Board held work sessions in January, February, and April to meet with the applicant to provide input and guidance to resolve issues discussed at the September meeting. In addition to the work sessions, the applicant met with Staff to seek design solutions and receive input in order to meet the Board's conditions and comments that arose during the review process.

III. ANALYSIS:

The applicant has continued to meet with Staff to address the Board's conditions since the Concept approval was made in September. Three additional work sessions since the Concept approval allowed the Board to provide input and guidance to the applicant to refine and revise the design, detailing, and materials of the project, prior to the current submittal.

As conditions of the Board's approval of the concept for the redevelopment of James Bland, the applicant was directed to work on the following issues in preparation for the application for a Certificate of Appropriateness for Phase 1:

1. That the applicant continue to work to reduce the actual or perceived height of the townhouses that border existing buildings—specifically on Wythe Street—to improve the transition from existing buildings to new construction. This can be accomplished in many ways that may include: variation in cornice height, variation in roof height/type, addition of a porch, varied setbacks, or by removal of the recessed top story.
2. That the applicant shall revise the front, side and rear elevations of the townhouse units in order to provide fenestration, solid-to-void ratio, and placement and pattern of windows appropriate to each unit's architectural style and compatible with the existing architecture of Parker-Gray.
3. Side and rear elevations should relate to their respective front elevations in regard to architecture, materials and color.
4. That the applicant work with Staff to determine a materials palette of historically-appropriate materials and meet all the standards set forth in the *Design Guidelines*.
5. Ornamentation and detailing shall be consistent with the architectural style of the unit or building and be compatible with the vernacular architecture of Parker-Gray.
6. That the applicant reduce the perceived height of the alley buildings and refine the elevations of the alley buildings, including proposed materials selections.
7. That the applicant work with Staff to revise the elevations of the multi-family buildings on North Patrick Street.
8. That the applicant provide appropriate screening for HVAC equipment, trash, utilities and similar areas.
9. That the applicant work with Staff as the design of the park spaces evolves to ensure compatibility with the character of the district as relates to setting, landscape, the street grid and public space.
10. That the applicant work with Staff to determine appropriate selections for design details that include but are not limited to trim, doors, garage doors, windows, exterior lighting, fences, railings, gates, and other items that shall require subsequent review and approval as part of the Certificate of Appropriateness.

In terms of heights, actual and perceived, for both the townhouses and the alley dwellings, in Staff's opinion the applicant has demonstrated that the recessed third and fourth floor components are expressed in a manner that are compatible with the adjacent historic structures and the historic district as a whole, and have been located so as to minimize the possibility of overwhelming existing historic structures. Therefore, staff finds that these issues have been resolved.

Architectural Styles and Detailing:

The architecture of Parker-Gray is comprised of box-like forms, in attached townhouses, of wood-frame construction, nearly flat shed roofs, and simple, vernacular designs. Modest versions of architectural styles dating to the late-19th and early-20th centuries are found throughout Parker-Gray. The architectural styles in this district include Greek Revival, Italianate, Second Empire, and Queen Anne, sometimes combined to form blended styles. Restrained versions of Colonial Revival styles in masonry are located within the neighborhood, and include examples of Washington-style townhouses with one-story front porches.

The restrained use of design details and ornamentation provides variety and texture to these modest vernacular forms. A sense of variety and texture, balanced by repeating forms, both within blocks and between blocks, defines the character of this district and reflect the evolution of the neighborhood over time. Staff notes that texture and variety can be challenging to create in new construction on the scale of a majority of a city block.

As the exterior design expression, style, and detailing developed for the new construction, the applicant has continued to revise and refine elements of styles chosen that reflect and relate to the character found within the Parker-Gray neighborhood. While the Old and Historic Alexandria District has many examples of high-style, three-story buildings, the Parker-Gray District is generally a distinct contrast to that type of architecture. Although the historic architecture of Parker-Gray features vernacular interpretations of many popular late 19th- and early 20th-century styles, the architectural vocabulary of Parker-Gray is defined by a sense of scale, proportion, rhythm and massing.

While the application of stylistic details may be appropriately applied to new construction, compatibility is maintained by the continued use of the historic architectural vocabulary. Staff supports the general architectural expression proposed by the applicant. Staff finds the use of vernacular forms and elements of representative architectural styles (Queen Anne, Greek Revival, Italianate and Colonial Revival) to be appropriate and contribute to a sense of variety. Staff finds that the most successful forms of architectural expression distill elements of historic styles to complement the architectural heritage. The *Design Guidelines* advise that "while new residential buildings in the historic districts should not create an appearance with no historical basis, direct copying of buildings is discouraged." Staff finds that the proposed architectural styles generally satisfy this guideline through the use of appropriate application of historic styles. Staff recommends that the applicant continue to refine the selection of trim, window and door pairings that they are most stylistically compatible and to prevent an inappropriate mixing of styles.

The design details have developed since the concept, in response to comments that features such as cornices and surrounds be pronounced but simplified. Staff recommends that the applicant submit detailed information and samples indicating the proposed cornices and surrounds, as applicable for staff review and refinement before submission of the building permit set. While the general architectural expression of these decorative elements is appropriate, Staff wants to ensure that they will have appropriate profiles, depth and details. In some instances it may be necessary to strengthen the expression of the cornice by adding another wide board at the bottom of the cornice, and therefore decreasing the expanse of siding between the tops of windows and cornices.

Treatment of Loft Level at Corners:

From the outset, the Board and Staff have expressed concern regarding the treatment of the loft level, particularly where the unit is located at a corner. In this Phase, there has been concern regarding the unit located at the corner of North Columbus and Madison streets. At the April work session, the Board indicated that the only way that this condition would be acceptable would be if the townhouse appeared as a two-story townhouse with a clearly articulated clerestory/monitor addition at the loft level. The direction to the applicant was that this element should read as mostly windows with little solid wall space. While the revised design is an improvement, Staff finds that further revision is necessary so that it will read clearly as a grid full of windows with frames rather than a wall with punched windows.

One-story Bay Element:

At the April work session, the Board and Staff noted that the two-story bay elements should be further revised and to consider a one-story bay alternative. Staff finds that the current proposal, while a response to previous comments, should be further considered. Staff recommends a restudy of the projecting bay vocabulary. As part of the bay restudy, the applicant should consider simplifying or removing the cornice, eliminating the shed roof form and using a flat roof instead, and possibly cantilevering the bay.

Mansard Roof Form:

Throughout the review process since the concept approval, the applicant, Board and Staff have discussed and studied the mansard roof form. The current submission represents a great improvement over the initial mansard form. One additional comment remains and that is a recommendation to bring down the sill of the dormers closer to the cornice, more in keeping with traditional mansard and dormer proportions. This recommendation includes maintaining the top of the dormer and the pediment as proposed, resulting in a taller, more appropriately sized and proportioned window for the mansard dormer with the lower sill.

Side and Rear Elevations:

At the concept stage, a concern of the Board and Staff was the treatments of the side and rear elevations. The direction to the applicant was “Side and rear elevations should relate to their respective front elevations in regard to architecture, materials and color.” In Staff’s opinion, this issue has been resolved, noting that the *Design Guidelines* state that “side and rear walls which face open areas should be designed with as much attention to detail as the primary façade.” Staff finds that attention to materials, fenestration, and architectural details have been improved on the side and rear elevations, however, there are a few instances that must be reconsidered as the

plans are refined and finalized. Such details include door and window arrangement, particularly on the side and rear elevations where more windows are necessary, and alignment of doors and windows. Additionally, it should be noted that while most of the proposed brick townhouses are brick on all sides as recommended by Staff, the Washington-style townhouses are proposed with brick on the front but siding on the rear.

Alley Dwellings:

In respect to the alley dwellings, these have continued to be revised and refined, while retaining a more industrial/warehouse aesthetic. Staff finds that a more contemporary design is appropriate and encouraged for the alley dwellings. The issue of the perceived heights of the alley dwellings has also been largely resolved in the opinion of Staff. In the current submission, the applicant has returned the alley dwellings to a design more similar to what was presented at the concept approval. The revisions made since the last work session have improved the design of the alley dwellings which provide units with asymmetrical windows toward the center of the stick, flanked units that are more symmetrical, with shallow bay elements on the second and third floor.

Materials:

As a large project within the Parker-Gray Historic District, the Board and Staff emphasized to the applicant that high quality materials, details, and finishes would be expected for this project. Staff encourages the continued use of historically-appropriate materials. Although new materials, such as Hardieplank siding and trim, are approved by the Board on a case-by-case basis, the continued use of historically appropriate materials contributes to the compatibility of new construction with the existing historic fabric. For example, regarding roof materials for new construction, the *Design Guidelines* note that “roofing materials should reflect the traditional use of wood, metal and slate in the historic districts.”

The applicant has chosen a materials palette that includes some historically authentic materials such as brick and standing seam metal, as well as new materials such as Hardieplank siding, synthetic slate, and Fypon. In respect to this project, Staff finds that the use of the materials are appropriate for new construction, are visually compatible, and have been approved by the Board on other cases of new construction. However, Staff recommends that where materials are at the street level, or readily seen, touched and perceived by the public, that they be of traditional materials. For example, Fypon is acceptable at the cornice but should not be used on a door surround. Further, the comment has been made to use different reveals and exposures for the Hardieplank siding to create more visual interest, variety and texture. Staff recommends that the applicant submit additional information regarding varying exposure dimensions and proposed locations. Similarly, the depth and layering of trim and panels should continue to be examined, particularly on bay elements, as these features are further developed.

In general, the proposed lighting fixtures are acceptable and appropriate. Staff recognizes the need to select options for light fixtures that can be applied throughout the development. Staff supports the lighting fixture proposed for the top story loft levels which will provide light the upper level decks, while minimizing light spill over and nighttime visibility of the third and fourth story decks. Staff recommends that a less institutional and more appropriate light fixture be selected for the garage area rather than the more conventional spotlight that is proposed.

Site Plan

Landscape features are integral to the character of Parker-Gray. While there is little formal landscaping in this area, open green spaces and canopies of mature trees are found both within blocks and along block edges. Blocks with front yards recessed from the sidewalks and streets are also found within the neighborhood, providing green and open space to residents. At the concept phase review, Staff expressed concern regarding the loss of green space and appropriate replacement plans. The project proposes the establishment of two park spaces, one located at the southwest corner of Montgomery and Alfred streets and the other on First Street behind the northernmost multi-family building. While parks and open space are generally not reviewed by the Board, Staff finds that the size of the redevelopment of five city blocks warrants consideration of this issue as it relates to the general setting, landscape and open space patterns, street grid, and streetscape. Staff remains concerned about the reduction of open space to 23%, less than the historic patterns of open space in Parker-Gray, and the loss of mature shade trees along block edges and within blocks.

The concept plan showed the introduction of private streets and alleys. While alleys are typically found within Parker-Gray, the widths of the proposed private streets and alleys are wider and more prominent than what is normally found in the district. While Staff supports the use of alleys to provide connectivity and porosity within the blocks, the hierarchy of primary streets, subservient secondary streets, and service alleys should be respected. The applicant has proposed the use of concrete pavers in two shades of brown at the entrance to the alley that provides access to the rear garages. The use of pavers at this location marks this alley area as distinct from the private street that will be constructed in place of the existing through-block alley. The Board has commented that perhaps pavers or stamped concrete should be used in the private street. Although the private street is currently an alley, it will be modified to function as a public street due to the addition of a sidewalk, street trees, parking spaces and principal facades of new alley dwellings. As a result, Staff finds that the proposed asphalt paving is acceptable in this location as it allows this area to read as a public area to be regularly utilized.

The streetscape for the project will be framed by townhouses that are generally built to the property line but provide interest with small variations in the setback and the addition of some front porches and bays. The streetscape itself will consist of six foot wide sidewalks along all frontages, with four foot wide landscaped strips that will support planting of street trees. For sidewalk material, the Parker-Gray district has a mix of historic brick sidewalks with granite or slate curbs and concrete sidewalks in more recent installations. The Charles Houston Recreation Center to the west that was recently redeveloped installed concrete sidewalks on three blockfaces and a brick sidewalk along Wythe Street in front of the main recreation center entrance. In this case, where there is no remnant of any historic brick sidewalks, Staff finds that it is acceptable to construct concrete sidewalks. However, to maintain the intimacy and detail that is appropriate to the historic district, Staff recommends that the new six foot sidewalks be scored to create a 3 foot by 3 foot paver pattern as exists in various locations throughout the historic district, and that the sidewalk pattern continue over the entrances to the private streets.

The proposed trash receptacles and benches are generally appropriate and consistent with similar elements throughout the historic districts.

Staff is concerned that the proposed ganged mailbox cluster units, which will be visible from public streets, appear too institutional and are not compatible with the generally accepted materials and forms of the historic district. Staff recommends that the applicant eliminate the use of ganged mailboxes and instead implement mail slots at each townhouse unit to be compatible with the character of the historic district. If ganged mailbox units are the only possible solution, Staff recommends that they be designed to be historically compatible and that they be appropriately located.

Waiver of HVAC Rooftop Screening Requirement

The application materials include several sight lines indicating the lack of visibility of the proposed rooftop condenser units. Further, the applicant has made clear that, in accordance with building code requirements, that no unit will be located within ten feet of a roof's edge. Staff finds that the units will generally not be visible and recommends approval of the Waiver for HVAC screening, further noting that in certain circumstances rooftop screening possibly draws more attention to the condenser's location on the roof.

IV. STAFF RECOMMENDATION: Staff recommends approval of the Certificate of Appropriateness of Phase One, with the following conditions:

1. That the applicant revise the loft level at corner units so that it reads as a true monitor – more as a grid of windows with trim rather than a wall with punched windows.
2. That the applicant provide more glass and transparency on the loft levels wherever possible and that the applicant study relocating the interior HVAC equipment to the rear (incorporate it with the bathroom, closet and W/D area as indicated in the floor plans) to allow for a more flexible location and placement of windows adjacent to the front roof terrace.
3. That the applicant work with Staff to restudy the number and placement of windows on the side and rear elevations of the proposed ARHA units to create a more compatible exterior fenestration.
4. That all front doors be appropriately aligned with windows.
5. That all visible roof materials (including porch roofs) be standing seam metal, metal shingles, and slate or synthetic slate.
6. That the applicant restudy the vocabulary of the one-story bay element to make it more compatible with the architecture of the Parker-Gray district. The restudy should include a simplification of this element such as the removal of the cornice on the bay, the use of a flat roof instead of a shed roof, and cantilevering the bay element.
7. That the applicant delineate the individual townhouses at the roof through the addition of battens or projecting decorative metal coping and variation in roof color and material.
8. That the applicant work with Staff to refine the door, window and trim treatments so that they are stylistically compatible and do not have a mix of styles on a single townhouse.
9. That the applicant remove the brick surround on the three townhouses on North Columbus Street and replace with a segmental arch around the door (to match the window segmental arch), with final configuration to be approved by Staff.
10. That the applicant increase the height of the dormer window on the mansard roof forms by lowering the sill of the dormer to create a taller dormer window opening.
11. That the applicant provide samples of the proposed subtle neutral color palette for the loft

- level to Staff for final approval.
12. That the applicant continue to revise the cornice design to be historically appropriate in respect to depth, profile, and details and to provide samples of all proposed cornices for final approval by Staff.
 13. That the applicant eliminate the ganged mailboxes and provide mail slots through the door to be compatible with the character of the district. Should the only possible solution for mail delivery be ganged mailboxes, then the applicant should revise the location and design of the propose mailbox units to minimize their visibility and to be more compatible, with final approval by Staff.
 14. That the applicant work with Staff for final approval of a more appropriate light fixture over the garage.
 15. That the applicant use traditional building materials, such as wood instead of synthetic materials, at the street-level, for items such as door surrounds, front doors, railings and the like, where they are most perceived by the public.
 16. Fireplace vents, flues, vent stacks and other similar protrusions shall not be permitted on any public street or private street frontage including corner units. Furnace vents shall discharge through the roof or the rear façade. HVAC vents or associated elements shall not be visible from a public street and shall be painted to match the predominant building color. Roof penetrations shall be confined to the rear of the building.
 17. That the applicant construct sidewalks along the public streets that will be six foot wide unobstructed with a minimum four foot wide landscape strip. All sidewalks are to be concrete, comply with the City standards, and include “lamp black” color additive per the *Braddock Metro Neighborhood Plan*. All sidewalks shall provide a grid pattern that effectively creates a 3-foot by 3-foot grid pattern. The concrete sidewalks and grid pattern shall continue over the proposed alleys and private streets to provide a continual uninterrupted concrete sidewalk.
 18. That the low fence meet the requirements of the zoning ordinance regarding being 50% open with final approval by Staff.

V. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Code Administration:

F-1 The applicant must comply with the Code Administration conditions and comments set forth under DSP2007-00013.

Historic Alexandria:

No comments received.

Alexandria Archaeology:

Archaeology Comments

1. Archaeological work shall be completed in compliance with the Programmatic Agreement between the City of Alexandria, GPB Associates LLC, the Alexandria Redevelopment and Housing Authority, and the Virginia State Historic Preservation Office Regarding the Redevelopment of the James Bland Public Housing, City of Alexandria.

2. Alexandria Archaeology is in the process of reviewing the draft Documentary Study report and will provide full comments. The archaeological testing strategy presented in the report is not adequate. Contact Alexandria Archaeology to discuss revisions to this strategy.

3. The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Demolition; Basement/Foundation plans; Erosion and Sediment Control; Grading; Utilities, etc.) so that on-site contractors are aware of the requirements:

a. All required archaeological preservation measures shall be completed prior to ground-disturbing activities (such as coring, grading, filling, vegetation removal, undergrounding utilities, pile driving, landscaping and other excavations as defined in Section 2-151 of the Zoning Ordinance) or a Resource Management Plan must be in place to recover significant resources in concert with construction activities. To confirm, call Alexandria Archaeology at (703) 838-4399.

b. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.

c. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

4. The final site plan shall not be released until the City archaeologist confirms that all archaeological field work has been completed or that an approved Resource Management Plan is in place.

Open Space

1. Continue to work with City staff to incorporate historic character into the design and to investigate the potential for historical interpretation on the site, including the creation and placement of interpretive markers. The themes and potential locations for placement of interpretive markers shall be part of the next submission of the final plan. The consultant shall provide text and graphics for signage subject to approval by the Office of Historic Alexandria/Alexandria Archaeology, the Department of Recreation, Parks and Cultural Activities, and the Planning Department.

Code

C-1 All required archaeological preservation measures shall be completed in compliance with Section 11-411 of the Zoning Ordinance.

Transportation and Environmental Services:

RECOMMENDATIONS

R1. The Final Site Plan must be approved and released and a copy of that plan must be attached to the demolition permit application. No demolition permit will be issued in advance of the building permit unless the Final Site Plan includes a demolition plan which clearly represents the demolished condition. (T&ES)

VI. IMAGES

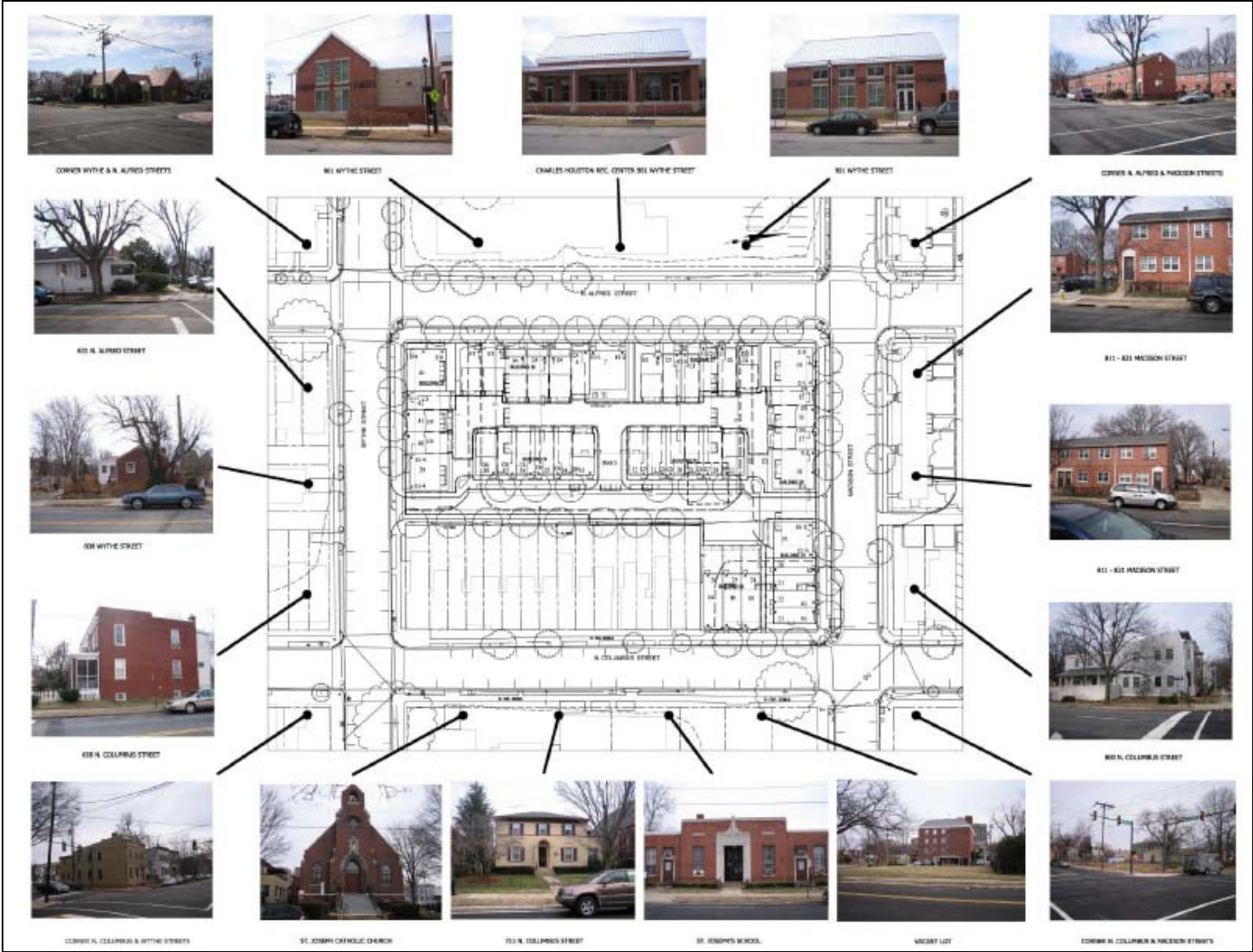


Figure 1. Contextual Site Plan.

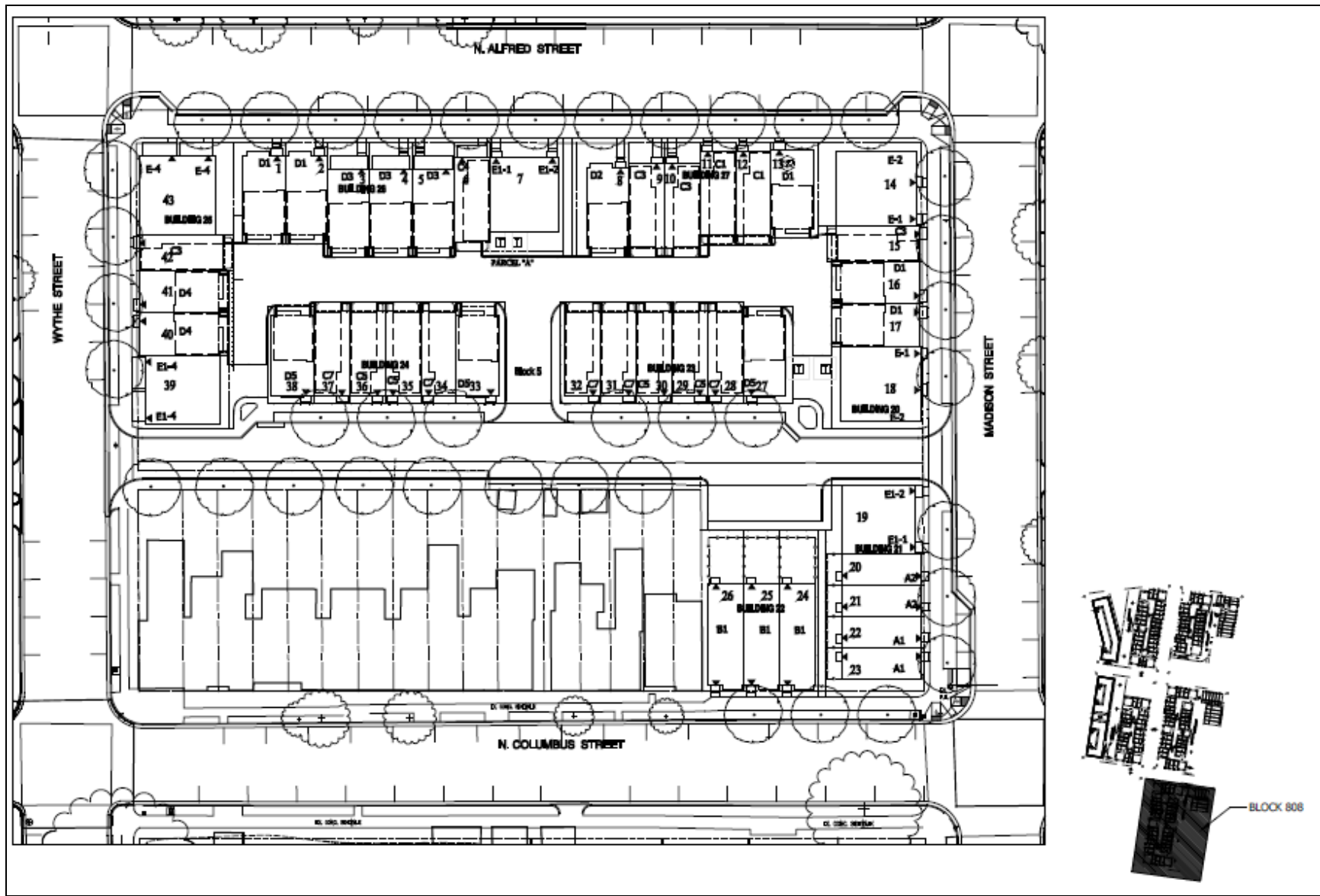


Figure 2. Site Plan.

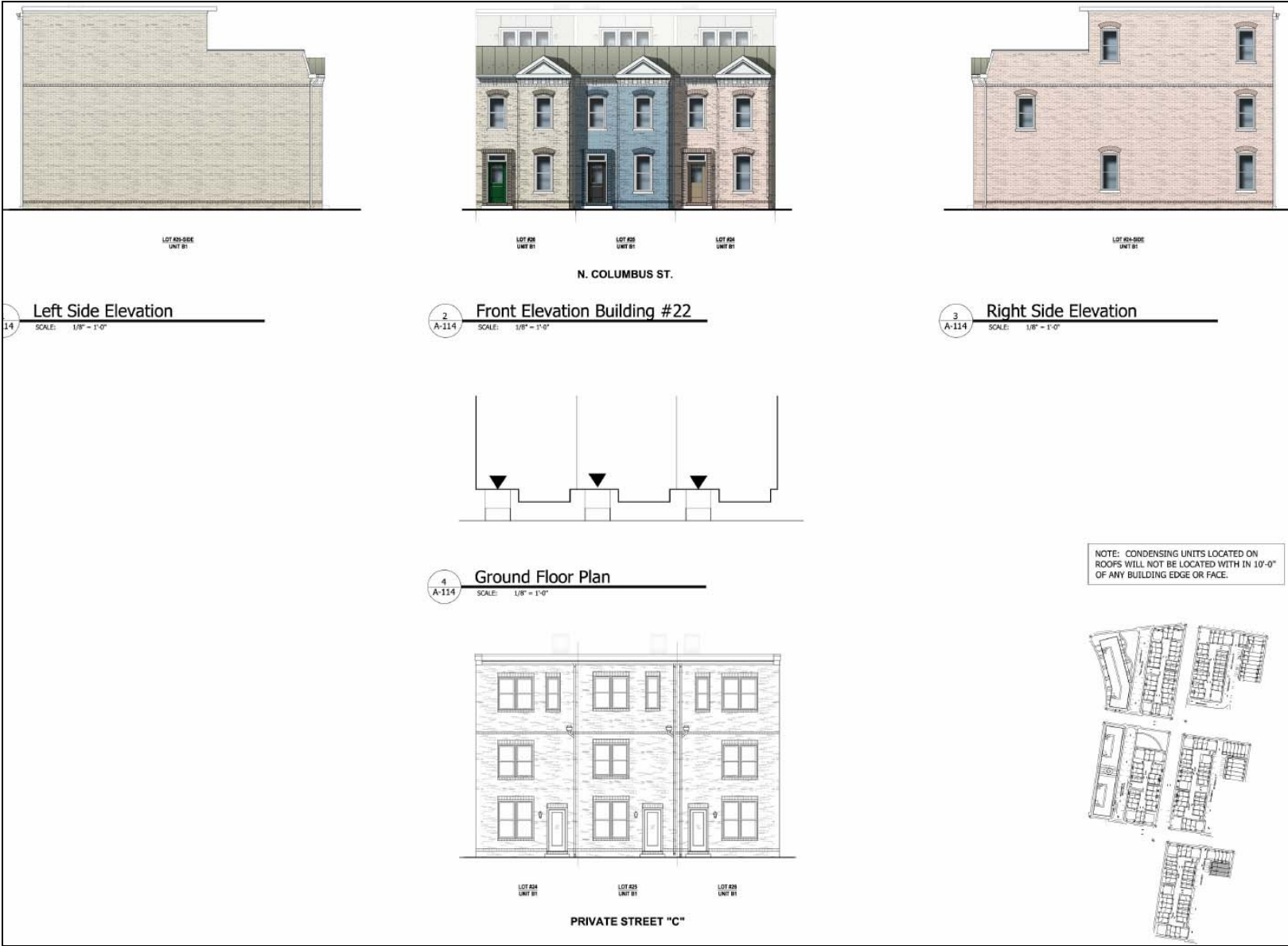


Figure 3. North Columbus Street townhouse elevations.



Figure 4. Madison Street townhouse elevations.



Figure 5. Madison Street townhouse elevations.



Figure 6. North Alfred Street townhouse elevations.



Figure 7. North Alfred Street townhouse elevations.



Figure 8. Wythe Street townhouse elevations.



Figure 9. Alley dwelling elevations, northern strip.

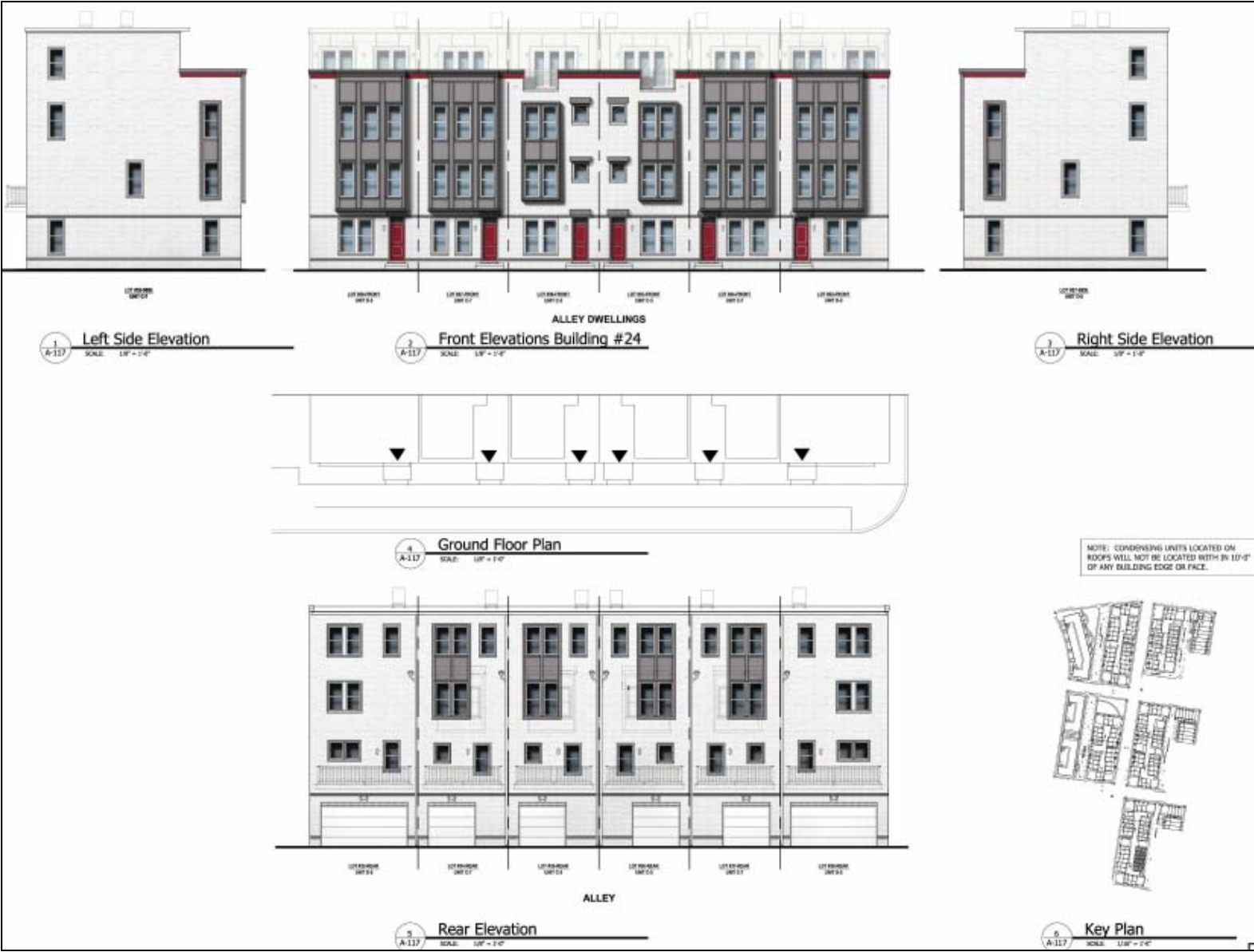


Figure 10. Alley dwelling elevations, southern strip.



Figure 11. Elevation details of alley dwellings.



Figure 12. Perspective looking southwest at the corner of North Columbus and Madison streets.



Figure 13. Perspective looking northeast at the corner of North Alfred and Wythe streets.



3
A-602
VIEW-I (NORTH COLUMBUS ST.)



1
A-602
VIEW-III (NORTH COLUMBUS ST.)



VIEW-II (NORTH COLUMBUS ST.)



Figure 14. Perspectives showing massing and visibility.



Figure 15. Proposed front entry light fixtures.



Figure 16. Proposed front entry light fixture and proposed roof terrace light fixture.

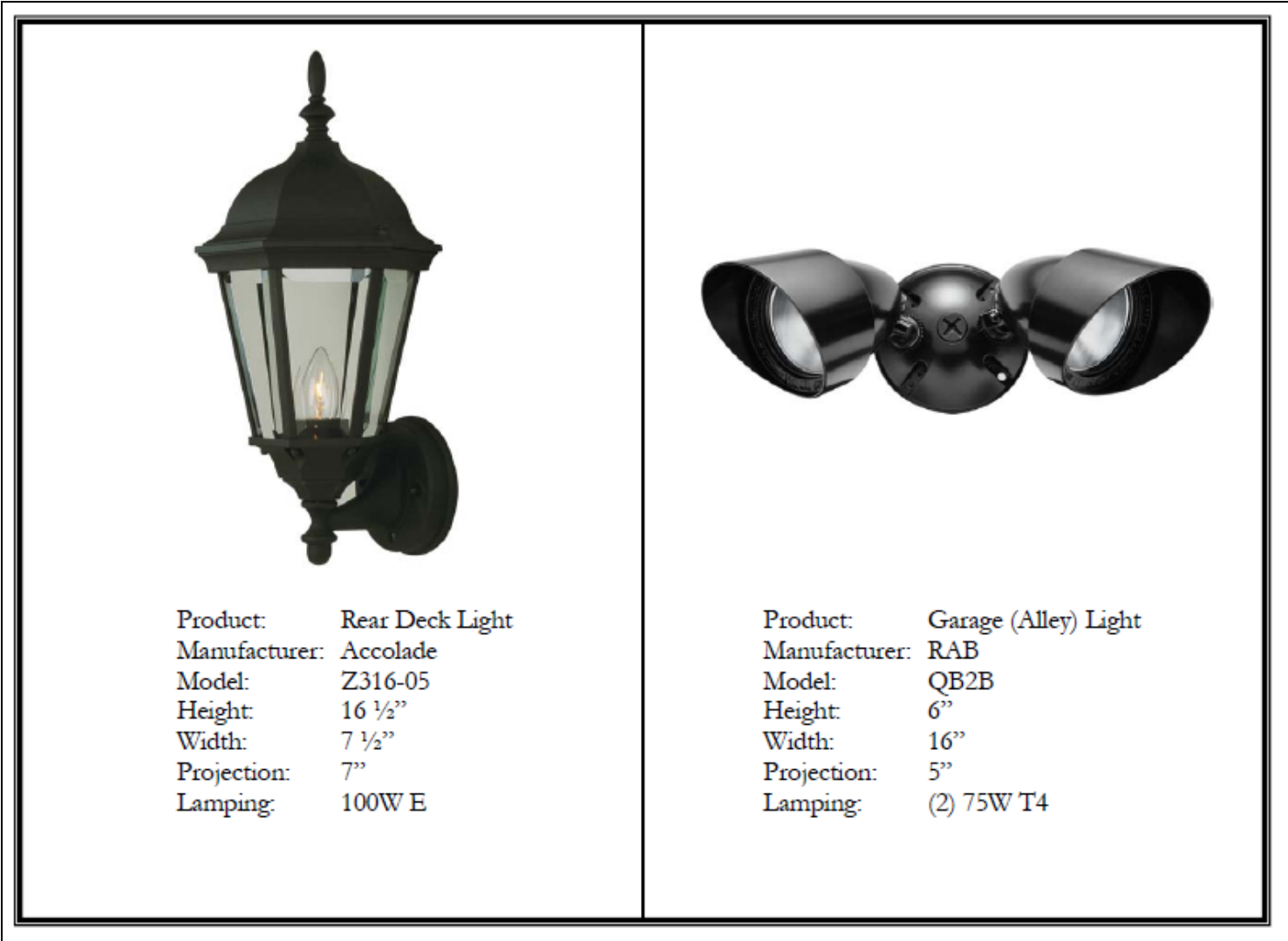


Figure 17. Proposed rear deck light fixture and garage door light fixture.


 <p>Smoke Gray Blend</p> <p>Federal Gray Blend</p> <p>Midnight Gray Blend</p> <p>Black Blend</p> <p>Product: Synthetic Slate Roofing Manufacturer: Ecostar (Carlisle) Model: Majestic Slate Traditional Width: 10" / 12"</p>	<p>OTHER MATERIALS (ALREADY SUBMITTED):</p> <p>Siding: Hardie Plank Smooth Lap Fiber Cement</p> <p>Windows: MW Jefferson SDL, Painted Wood Frame & Sash CPVC Brickmould & Sill</p> <p>Entry Doors: Solid Wood, Painted</p> <p>Trim: CPVC, Molded Polyurethane ("Fypon"), Painted</p> <p>Metal Roofing: Pre-finished Aluminum</p> <p>Rear Yard Fence: Cedar w/ opaque stain</p> <p>Porch Rails: CPVC, Painted</p> <p>Rear Decks, Rails: MoistureShield Composite, Cape Cod Grey</p> <p>Garage Doors: Steel Flush Panel, Painted</p>
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Figure 18. Proposed specifications for materials.

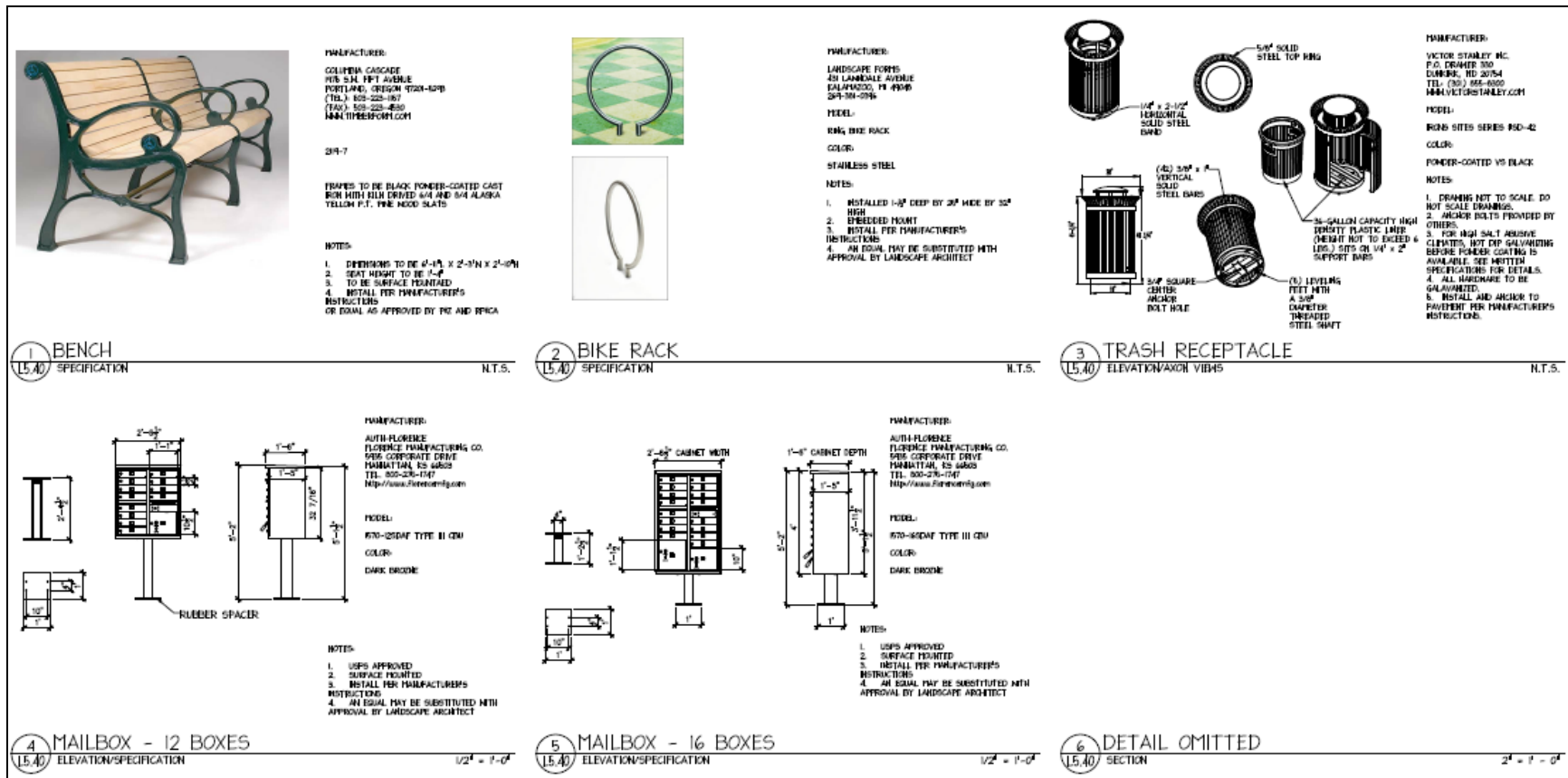


Figure 19. Proposed site plan elements: benches, bike racks, trash cans, and ganged mailbox units.

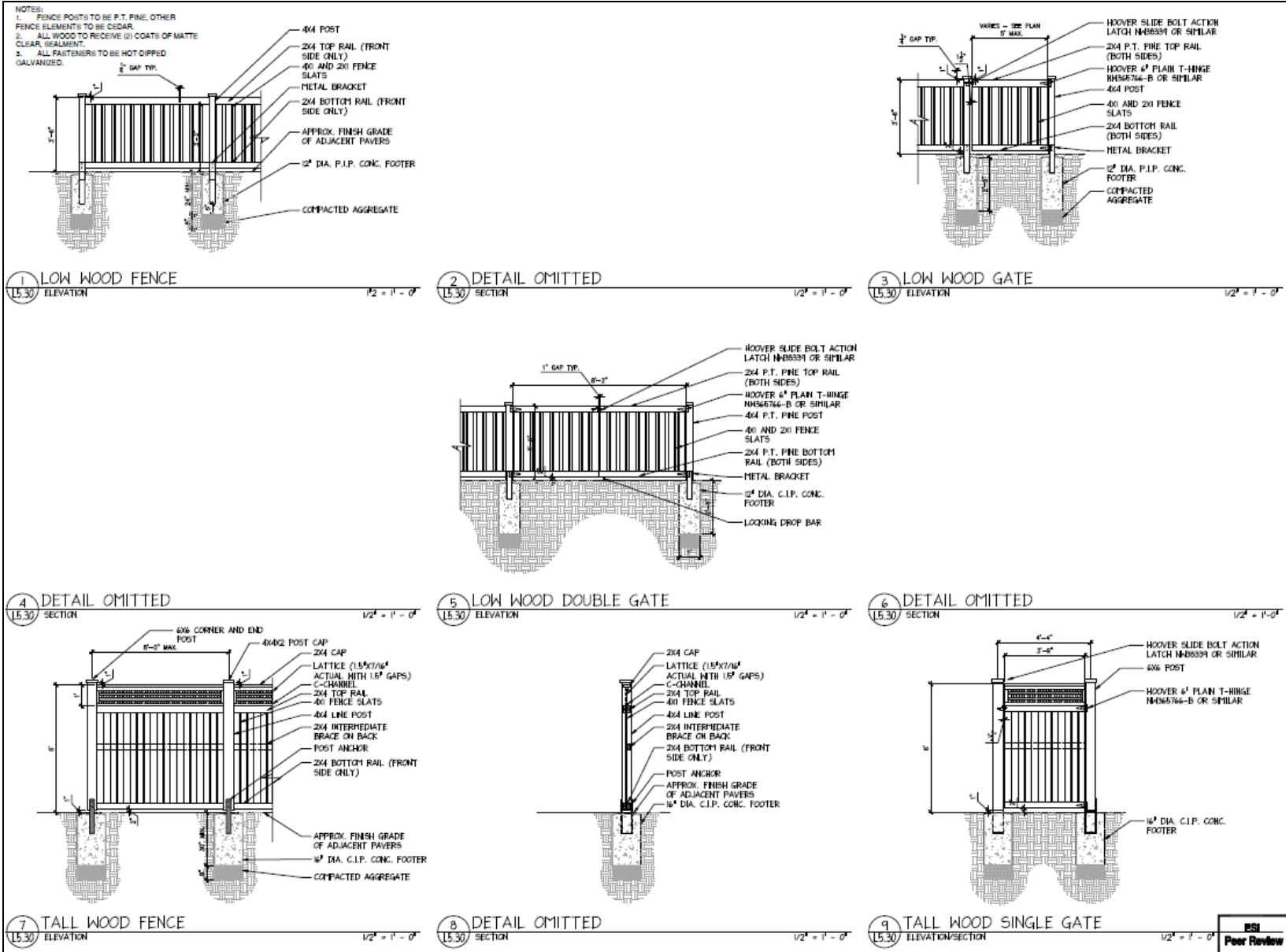


Figure 20. Wood fence (low and tall) and gate details.

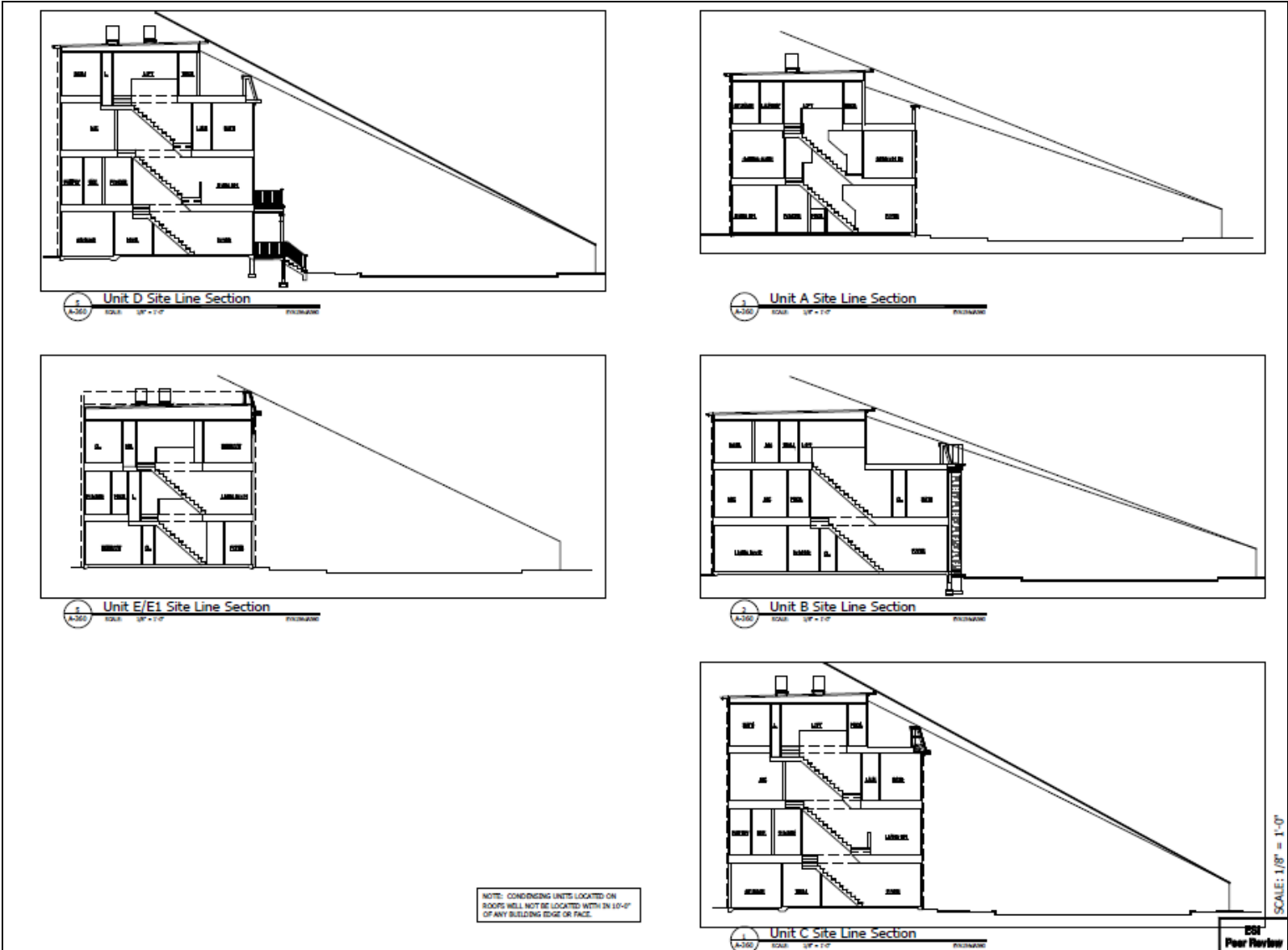


Figure 21. Site lines of various units depicting visibility of rooftop HVAC units.

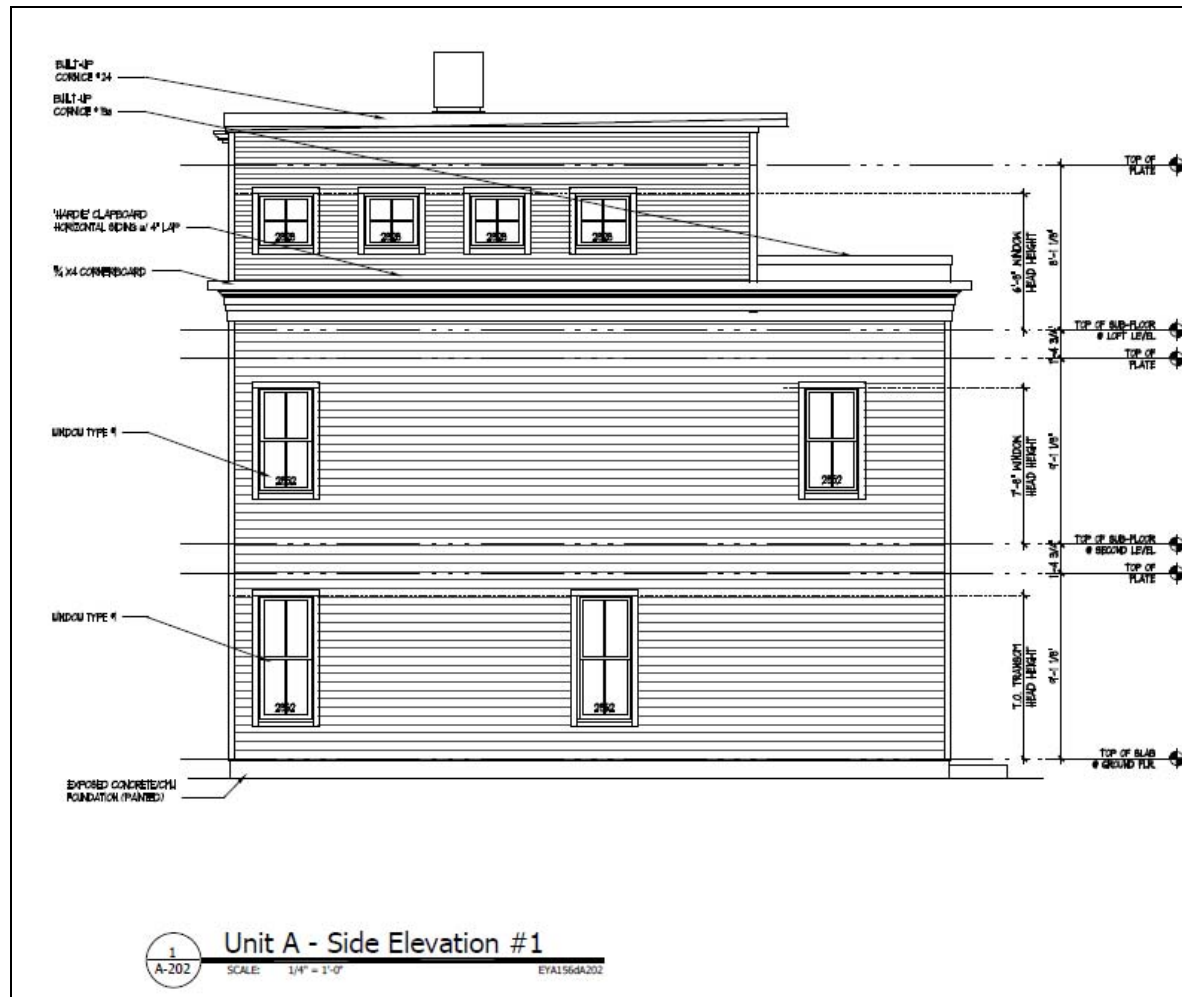


Figure 22. Side elevation showing visible loft element.

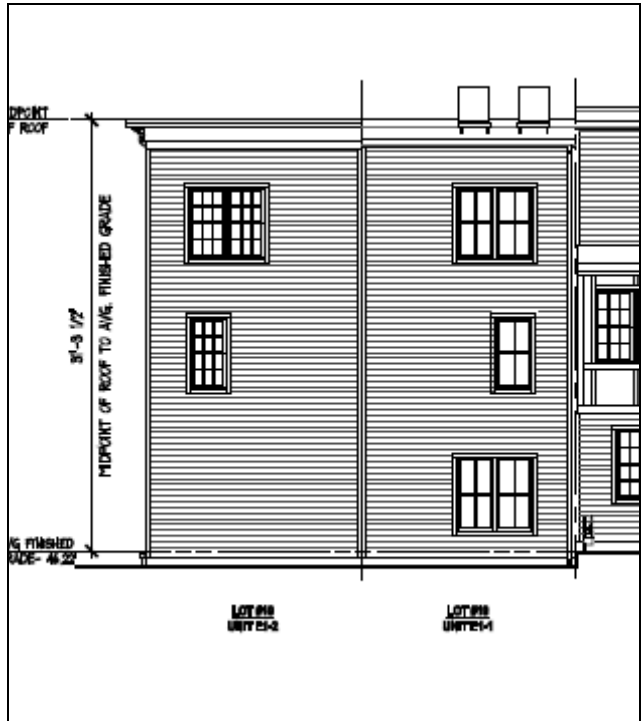


Figure 23. Example of units where rear fenestration should be refined (Sheet A-100).

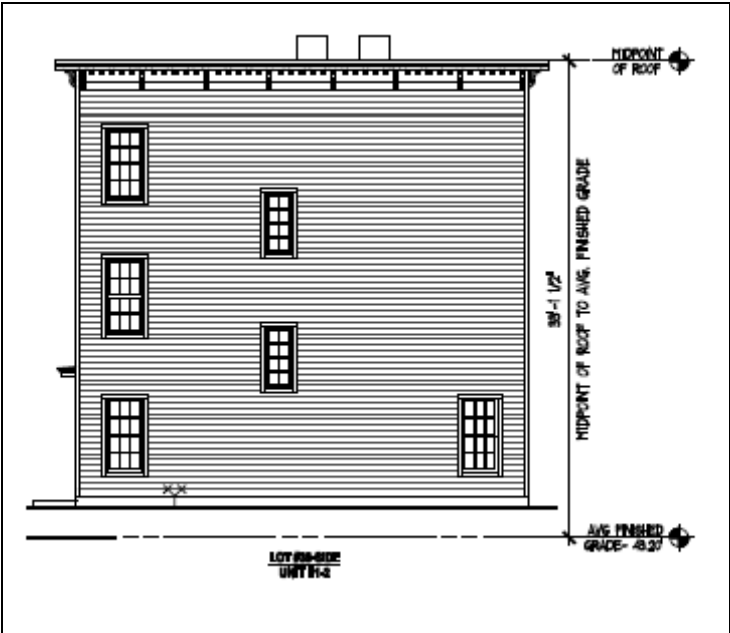


Figure 24. Example of units where rear fenestration should be refined (Sheet A-105).