



**APPLICATION
BOARD OF ZONING APPEALS**

SPECIAL EXCEPTION FOR ADDITIONS

Section of zoning ordinance from which request for special exception is made:

12-102 (A) No non-complying structure may be physically enlarged or expanded unless such enlargement or expansion complies with the regulations for the zone in which it is located.

PART A

1. **Applicant:** Owner Contract Purchaser Agent

Name: Stephen W. Kulinski A.I.A.

Address: 104 N. West Street
Alexandria, VA 22314

Daytime Phone: (703) 836-7243

Email Address: steve@kulinskigroup.com

2. **Property Location:** 723 S. Lee Street

3. **Assessment Map #** 081.03 **Block** 01 **Lot** 15 **Zone** RM

4. **Legal Property Owner Name:** Arthur V. Fox

Address: 723 S. Lee Street
Alexandria, VA 22314



OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. ARTHUR V. FOX	723 S. LEE ST.	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at _____ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. ARTHUR V. FOX	723 S. LEE ST.	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

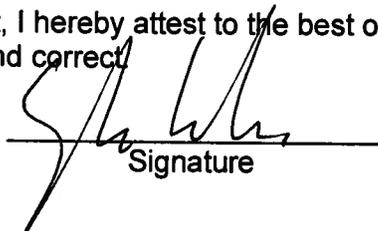
Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. ARTHUR V. FOX	NONE	NONE
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

8.1.12
Date

STEPHEN KULOSKI
Printed Name


Signature

5. Describe request briefly:

Extend non-complying structure 16'-6" to the west along the north property line. The new structure would be located within the 5'-0" required side yard for a single family dwelling.

6. If property owner or applicant is being represented by an authorized agent, such as an attorney, realtor or other person for which there is a form of compensation, does this agent or the business in which they are employed have a business license to operate in the City of Alexandria, Virginia?

- Yes — Provide proof of current City business license.
- No — Said agent shall be required to obtain a business prior to filing application.

THE UNDERSIGNED HEREBY ATTESTS that all of the information herein provided including the site plan, building elevations, prospective drawings of the projects, etc., are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Stephen W. Kulinski, A.I.A.

Print Name

(703) 836-7243

Telephone



Signature

8-1-12

Date

Pursuant to Section 13-3-2 of the City Code, the use of a document containing false information may constitute a Class 1 misdemeanor and may result in a punishment of a year in jail or \$2,500 or both. It may also constitute grounds to revoke the permit applied for with such information.

PART B (SECTION 11-1304)
APPLICANT MUST EXPLAIN THE FOLLOWING:
(Please use additional pages where necessary.)

1. Explain how the special exception for the proposed addition, if granted, meets the applicant's needs.

The modest extension to the rear of the home will make possible the addition of an elevator to provide full accessibility and integrated usability for the owner well into the future. It also provides for functional bath and kitchen spaces that are currently deficient.

2. Explain if the special exception, if granted, will harm adjoining properties or impact the neighborhood in any way.

Rejuvenating the historic home will allow it to continue to function into the future as a contributing historic resource in the neighborhood and all of Old Town. Granting the special exception will allow the southern side yard to support off-street parking and provide visual open space to the densely developed block.

3. Explain how the proposed addition will affect the light and air to any adjacent property.

The extension of the house to the west will bring it into alignment with the rear of the house to the north. A 22 feet 7 inch wide yard separates the house from the property on the south.

4. Explain how the proposed addition is compatible with other properties in the neighborhood and the character of the neighborhood as a whole.

The circa 1850 wood frame 3-bay (windows across the front) house is a significant contributing resource to the old and historic district in Alexandria.

5. How is the proposed construction similar to other buildings in the immediate area?

723 S. Lee is part of a row of 13 historic houses, many of which have added historically appropriate additions to the rear of the residences in the same manner. The original development pattern was comprised of narrow and deep lots; this property is an anomaly.

6. Explain how this plan represents the only reasonable location on the lot to build the proposed addition.

Although this lot is wider than its neighbors (thus the requirement for a side yard), it was part of an original development pattern that predated the zoning ordinance. The historic sensitivity of this 1850s house and the Board of Architectural Review call for an appropriate addition that respects and defers to the original architecture. Any addition into the southern yard would potentially upstage the historic portion of the structure. It would also interfere with existing mature plantings and brick wall designs that contribute to the character of the neighborhood. Any addition that extended beyond the rear of the house and did not intrude into the setback while respecting the southern yard would be exceptionally narrow and unusable.

7. Has the applicant shown the plans to the most affected property owners? Have any neighbors objected to the proposed special exception, or have any neighbors written letters of support? If so, please attach the letter.

All adjacent property owners have been informed, as have additional nearby property owners. We will share letters of support or concern from these neighbors as they are received.



BZA 2012-0016

B

DEPARTMENT OF PLANNING AND ZONING FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

A. Property Information

A1. Street Address 723 S. LEE STREET Zone RM
 A2. 5,334 x 1.5 = 8,001
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area*		Allowable Exclusions	
Basement	905	Basement**	905
First Floor	905	Stairways**	110
Second Floor	905	Mechanical**	
Third Floor			
GARAGE	496	Total Exclusions	1,015
Total Gross *	3,211		

B1. Existing Gross Floor Area *
3,211 Sq. Ft.
 B2. Allowable Floor Exclusions**
1,015 Sq. Ft.
 B3. Existing Floor Area minus Exclusions
2,196 Sq. Ft.
 (subtract B2 from B1)

C. Proposed Gross Floor Area (does not include existing area)

Proposed Gross Area*		Allowable Exclusions	
Basement	424	Basement**	424
First Floor	424	Stairways**	62
Second Floor	424	Mechanical**	
Third Floor		Other** ELEVATOR	62
Porches/ Other		Total Exclusions	548
Total Gross *	1,272		

C1. Proposed Gross Floor Area *
1,272 Sq. Ft.
 C2. Allowable Floor Exclusions**
548 Sq. Ft.
 C3. Proposed Floor Area minus Exclusions
724 Sq. Ft.
 (subtract C2 from C1)

D. Existing + Proposed Floor Area

D1. Total Floor Area (add B3 and C3) 2,920 Sq. Ft.
 D2. Total Floor Area Allowed by Zone (A2) 8,001 Sq. Ft.

*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.

If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

E. Open Space Calculations

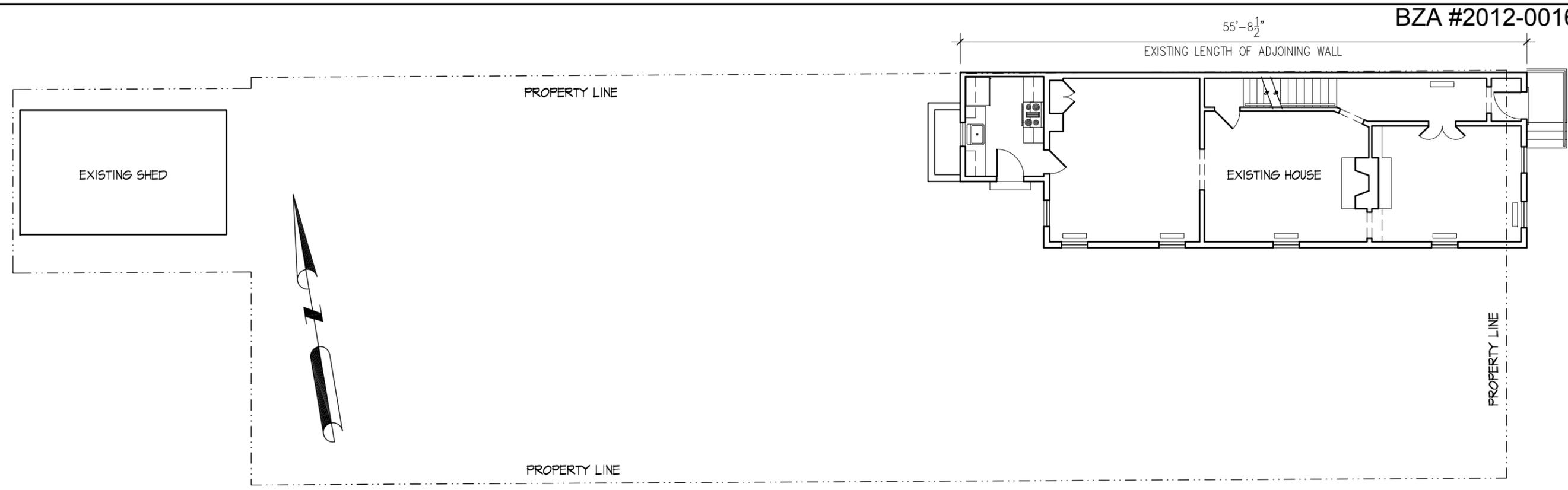
Existing Open Space	4035
Required Open Space	1,867
Proposed Open Space	3,686

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

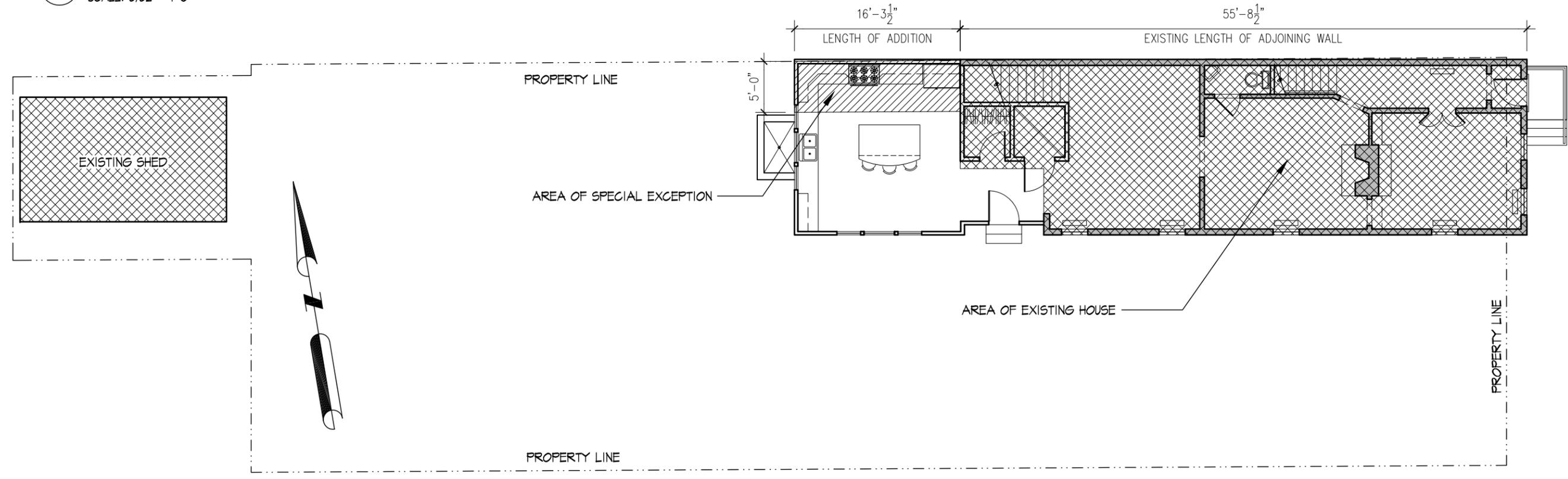
Signature: _____

Date: _____

8.1.12



1 EXISTING SITE PLAN
A1 SCALE: 3/32" = 1'-0"



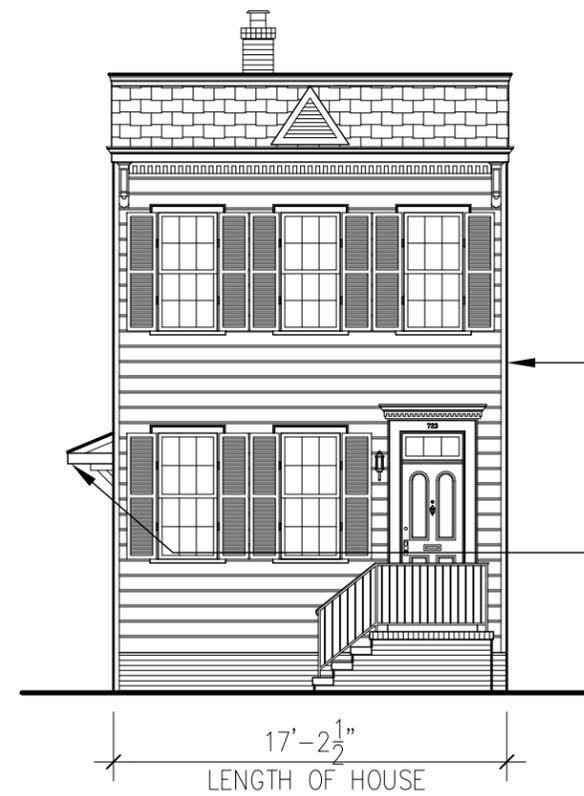
2 PROPOSED SITE PLAN
A1 SCALE: 3/32" = 1'-0"

723 SOUTH LEE STREET -- SPECIAL EXCEPTION SUBMISSION
723 SOUTH LEE STREET ALEXANDRIA, VA 22314
SITE PLANS

REVISED



1 EAST EXISTING ELEVATION
A2 SCALE: 1/8" = 1'-0"



2 EAST PROPOSED ELEVATION
A2 SCALE: 1/8" = 1'-0"

EXISTING FRONT ELEVATION
TO REMAIN AS ORIGINAL

STANDING SEAM STOOP
OVERHANG WITH
WOOD BRACKETS

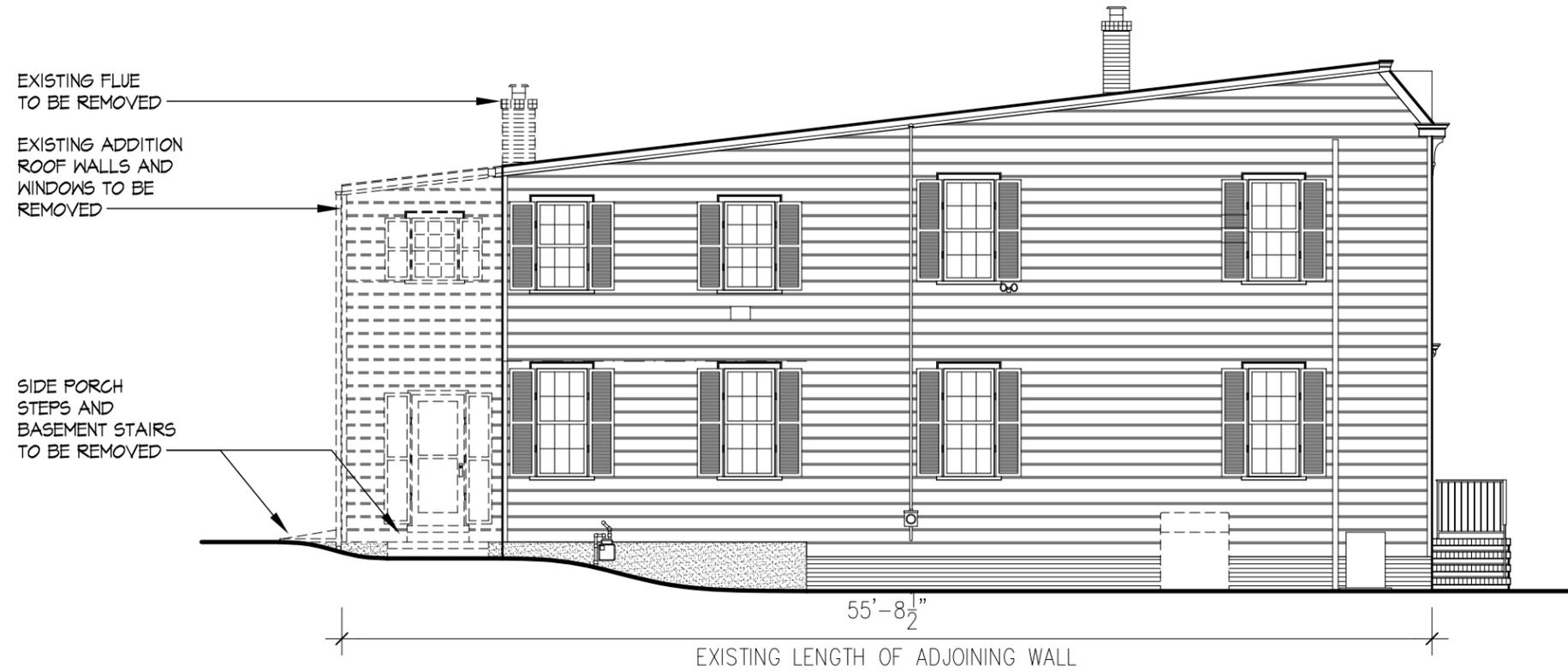
723 SOUTH LEE STREET - SPECIAL EXCEPTION SUBMISSION

723 SOUTH LEE STREET ALEXANDRIA, VA 22314

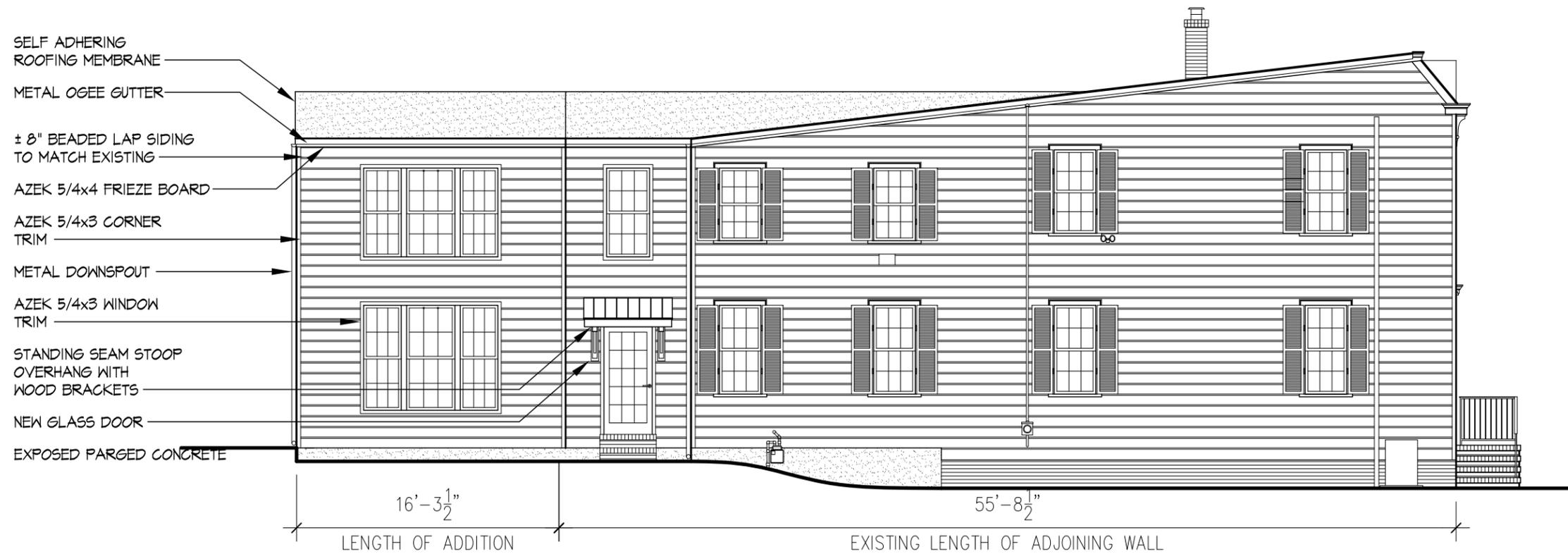
EAST DEMOLITION / PROPOSED ELEVATIONS

SHEET NUMBER

A2



1 SOUTH DEMOLITION ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH PROPOSED ELEVATION
SCALE: 1/8" = 1'-0"

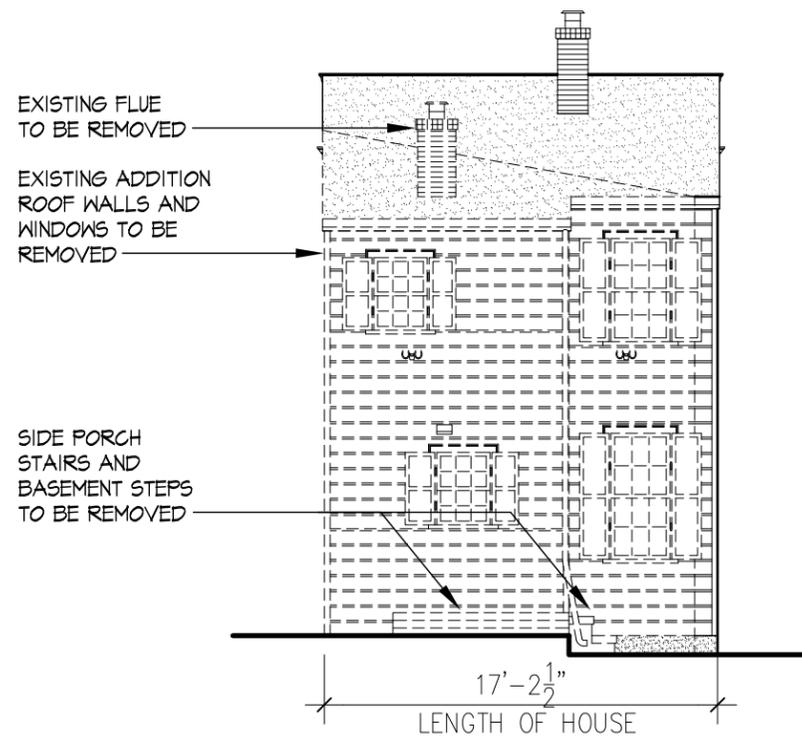
723 SOUTH LEE STREET - SPECIAL EXCEPTION SUBMISSION

723 SOUTH LEE STREET ALEXANDRIA, VA 22314

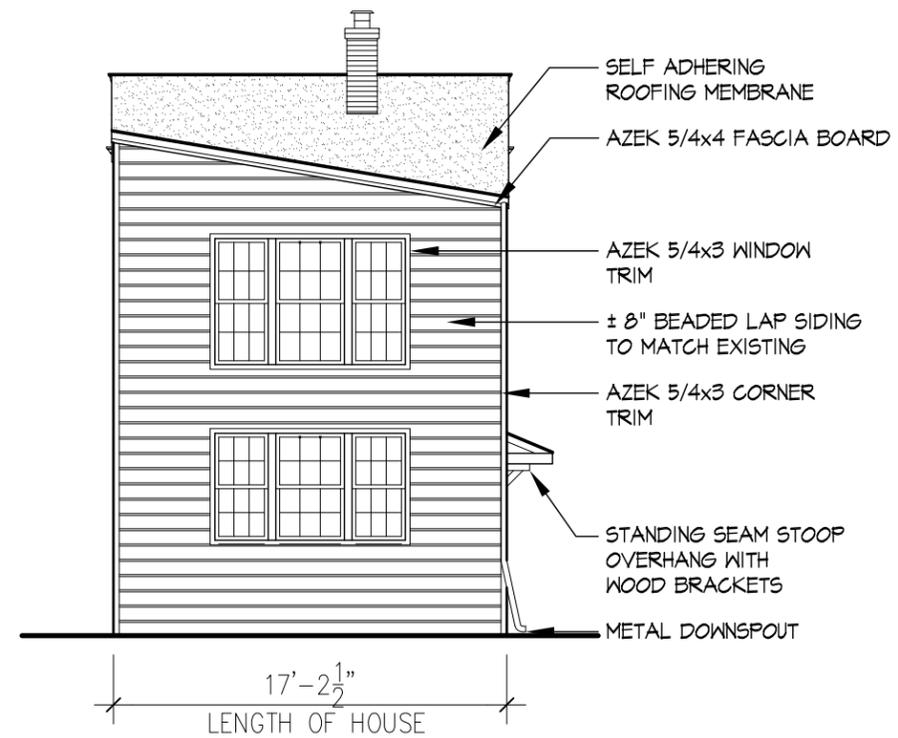
SOUTH DEMOLITION / PROPOSED ELEVATIONS

SHEET NUMBER

A3



1 WEST DEMOLITION ELEVATION
A4 SCALE: 1/8" = 1'-0"



2 WEST PROPOSED ELEVATION
A4 SCALE: 1/8" = 1'-0"

723 SOUTH LEE STREET - SPECIAL EXCEPTION SUBMISSION

723 SOUTH LEE STREET ALEXANDRIA, VA 22314

WEST DEMOLITION / PROPOSED ELEVATIONS

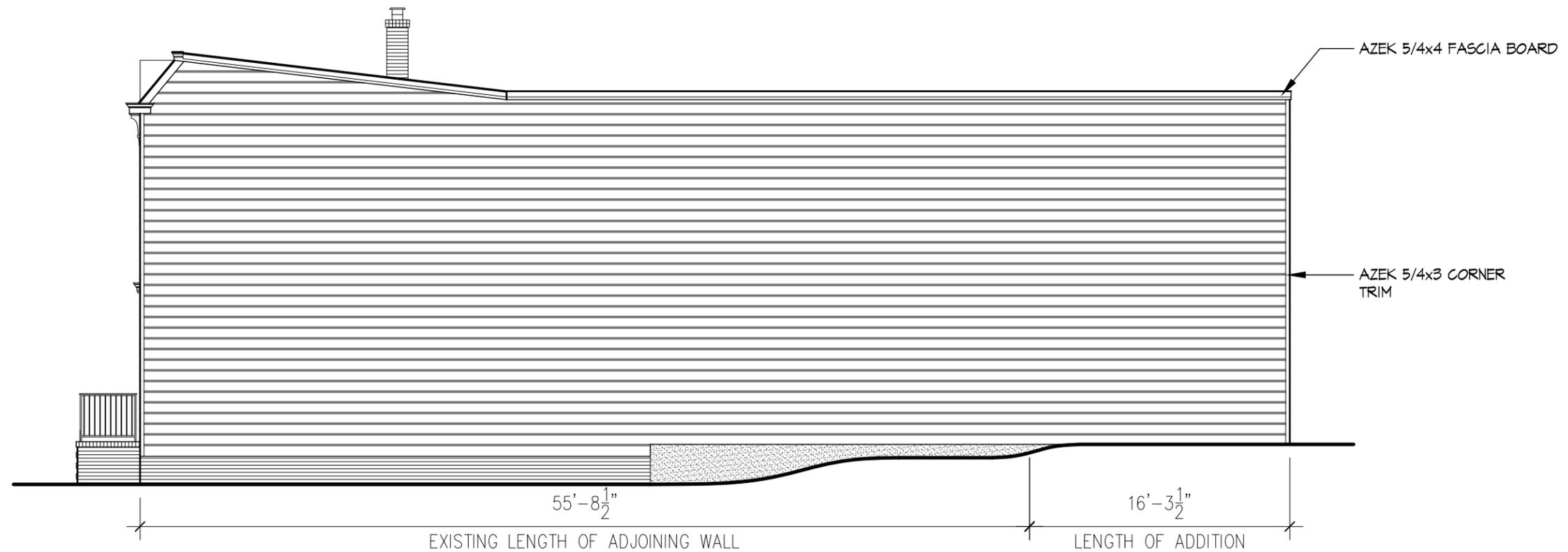
SHEET NUMBER

A4

REVISED



1 NORTH DEMOLITION ELEVATION
A5 SCALE: 1/8" = 1'-0"



2 NORTH PROPOSED ELEVATION
A5 SCALE: 1/8" = 1'-0"

723 SOUTH LEE STREET - SPECIAL EXCEPTION SUBMISSION

723 SOUTH LEE STREET ALEXANDRIA, VA 22314

NORTH DEMOLITION / PROPOSED ELEVATIONS

SHEET NUMBER

A5



723 S. LEE STREET

1 STREETSCAPE
A6 SCALE: 1/8" = 1'-0"



2 STREETSCAPE (ACROSS STREET)
A6 SCALE: 1/8" = 1'-0"

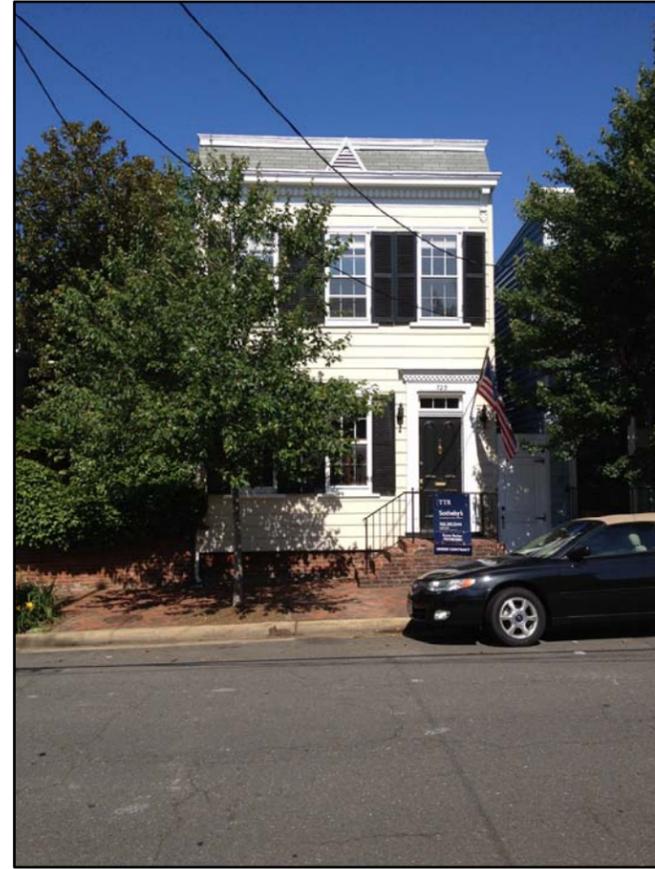
723 SOUTH LEE STREET - SPECIAL EXCEPTION SUBMITTAL

723 SOUTH LEE STREET ALEXANDRIA, VA 22314

EXISTING STREETSCAPES

SHEET NUMBER

A6



1 FRONT ELEVATION
A7 SCALE: N.T.S



2 FRONT ELEVATION DETAIL
A7 SCALE: N.T.S



3 SIDING AND CORNER TRIM DETAIL
A7 SCALE: N.T.S



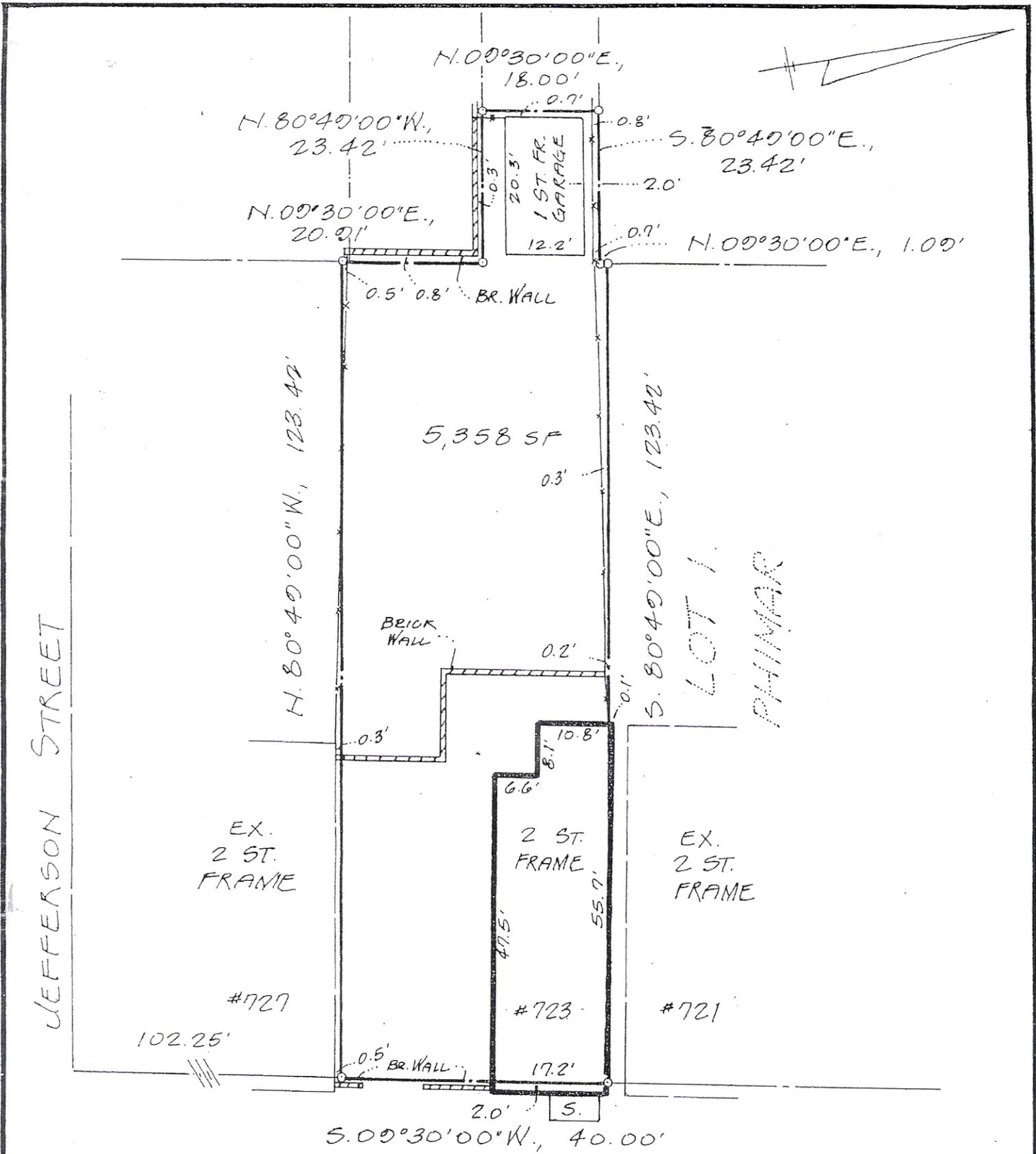
4 REAR ELEVATION
A7 SCALE: N.T.S



5 SIDE ELEVATION
A7 SCALE: N.T.S



6 SIDE ELEVATION DETAIL
A7 SCALE: N.T.S



SOUTH LEE STREET

HOUSE LOCATION SURVEY

ALEXANDRIA, VIRGINIA

No. 723-725 SOUTH LEE STREET

SCALE 1" = 20'

DATE 10 AUGUST 1983

HENRY A. THOMAS, ATTY.

EDGAR H. MARTIN

NOTE:

House location surveys do not include setting iron pipes on property corners.

No title report furnished.

SURVEYOR'S CERTIFICATE:

I hereby certify that the position of all the existing improvements on the above described property has been carefully established by a transit-tape survey and that unless otherwise shown, there are no encroachments.



KEPHART & HAN

CIVIL ENGINEERING
LAND SURVEYING
LAND PLANNING
548-5252

1928 DUKE STREET, ALEXANDRIA, VIRGINIA 22314