

Docket Item #1  
BZA CASE #2012-0012

Board of Zoning Appeals  
September 13, 2012

**ADDRESS:** 2203 VALLEY CIRCLE  
**ZONE:** R-8, RESIDENTIAL  
**APPLICANT:** PHYLLIS ANDES, OWNER

**ISSUE:** Special exception to construct a covered open front porch in the required front yard.

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CODE SECTION	SUBJECT	CODE REQMT	APPLICANT PROPOSES	REQUESTED EXCEPTION
7-2503(A)	Average Setback	31.50 ft*	27.00 ft	4.50 ft

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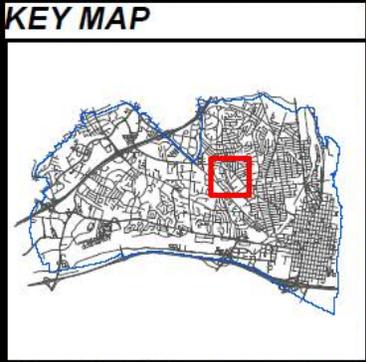
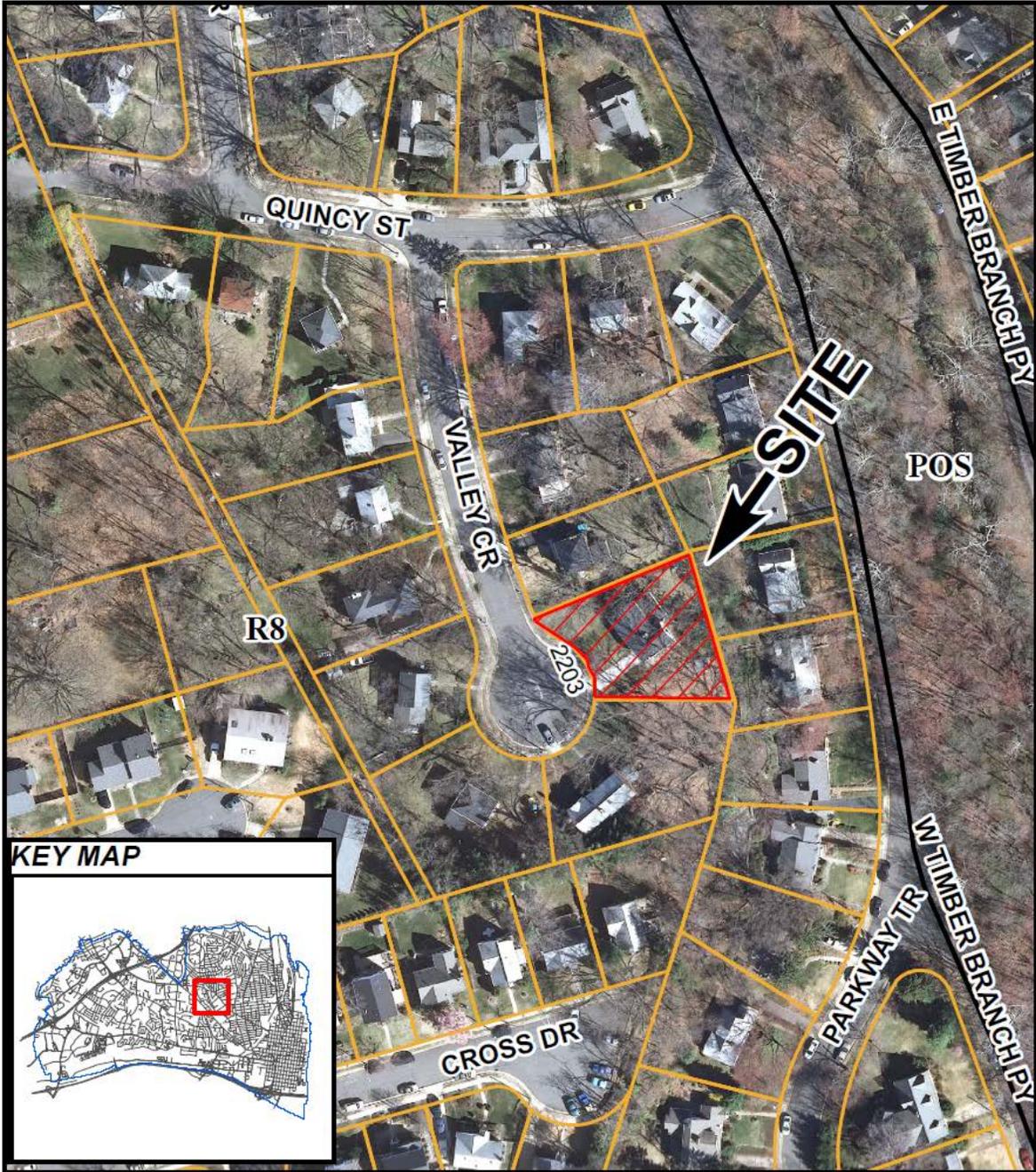
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\*Based on the average front setback along Valley Circle.

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The staff **recommends approval** of the requested special exception because the request meets the criteria for a special exception.

If the Board decides to grant the requested special exception with the following condition it must comply with the code requirements under the department comments. The special exception must be recorded with the deed of the property in the City's Land Records Office prior to the release of the building permit.



**BZA #2012-0012**  
**2203 Valley Circle**

**9/13/12**



**I. Issue**

The applicant proposes to construct an open front porch in the required front yard setback at 2203 Valley Circle.

**II. Background**

The subject property is one lot of record consisting of 85.00 feet of frontage facing Valley Circle and a depth of 125.00 feet. The property contains 10,063 square feet of lot area and is complying as to the minimum lot area, frontage, and width for single family dwelling lot in the R-8 zone.



The property is currently developed with a single family dwelling located 35.80 feet from the front property line, 18.00 feet from the north side property line, 29.10 feet from the south side property line, and 18.00 feet from the rear property line. According to real estate records the dwelling was constructed in 1948.

**III. Description**

The applicant is proposing to construct a one-story open front porch measuring 8.00 feet in depth, 26.00 feet in length, and approximately 23.20 feet from grade to the midpoint of the gable roof. The proposed front porch will be located 27.00 feet from the front property line, 25.00 feet from the west side property line, and 37.00 feet from the east side property line. The average front setback along Valley Circle is 31.50 feet. The proposed porch is located 4.50 feet forward of this prevailing front setback. The applicant must request a special exception to construct the front porch in the required front yard, based on the average setback of the blockface on Valley Circle.



Upon completion of the work, the proposed renovations will continue to comply with the floor area requirements. (Refer to floor area calculations.)

There have been no variances or special exceptions previously granted for the subject property.

**IV. Master Plan/Zoning**

The subject property is zoned R-8 and has been so zoned since adoption of the Third Revised Zoning Map in 1951, and is identified in the North Ridge Rosemont Area Plan.

**V. Requested Special Exception:**

**7-2503(A) Front Yard**

The applicant requests a special exception of 4.50 feet from the required 31.50 feet, based on the average front setback along Valley Circle to construct the one-story open porch in the required front yard.

**VI. Special Exceptions Standards**

To grant a special exception, the Board of Zoning Appeals must find that the strict application of the zoning ordinance creates an unreasonable burden on the use and enjoyment of the property. Section 11-1304 of the zoning ordinance lists standards that an applicant must address and that the Board believes exists and thus warrants granting a special exception of the zoning regulations.

- 1) Whether approval of the special exception will be detrimental to the public welfare, to the neighborhood or to the adjacent properties.
- 2) Whether approval of the special exception will impair an adequate supply of light and air to the adjacent property, or cause or substantially increase traffic congestion or increase the danger of fire or the spread of fire, or endanger the public safety.
- 3) Whether approval of the special exception will alter the essential character of the area or zone.
- 4) Whether the proposal will be compatible with the development in the surrounding neighborhood.
- 5) Whether the proposed development represents the only reasonable means and location on the lot to accommodate the proposed structure given the natural constraints of the lot or the existing development of the lot.

**VII. Staff Analysis and Conclusion**

The houses along Valley Circle have the approximate uniform setback of 31.50 feet from the front property line. In staff's opinion, the addition of the open front porch within the required front yard would not have a negative impact on the public, to the neighborhood, or to the adjacent properties due to the substantial remaining front setback distance of 27.00 feet. At the proposed front setback distance, the site will retain a larger front setback in order to maintain consistency with the lots in the immediate area.

No front porches exist along Valley Circle; however numerous houses located along the street and within the neighborhood exhibit front porticos and minor overhangs that both define the entrances and provide protection from various weather conditions. The traditional architectural design of the proposed open front porch (white columns and brick veneer foundation and steps) is consistent with the overall character of the neighborhood and the applicant's home.

The approval of the special exception should not impair an adequate supply of light and air to the adjacent property.

The proposed location of the porch on the lot represents the only reasonable area to accommodate the proposed open front porch given the existing orientation and location of the house on the lot.

Staff **recommends approval** of the requested special exception to construct an open front porch.

**DEPARTMENTAL COMMENTS**

Legend: C - code requirement R - recommendation S - suggestion F - finding

\* The applicant is advised that if the special exception is approved the following additional comments apply.

Transportation and Environmental Services:

- R-1 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-2 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- R-4 The building permit must be approved and issued prior to the issuance of any permit for demolition. (T&ES)
- F-1 Parcel is tagged as being located within a known Marine Clay Area. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)

Code Administration:

No comments received.

Recreation (Arborist):

F-1 No trees are affected by this plan.

Historic Alexandria (Archaeology):

R-1 The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:

- a. The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
- b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

C-1 All required archaeological preservation measures shall be completed in compliance with Section 11-411 of the Zoning Ordinance.

F-1 The subject property is located in close proximity to a Civil War camp occupied by the 37<sup>th</sup> New York. While it is unlikely that the proposed project will impact any archaeological remains, we want to make sure the property owner and contractor are aware that the subject property has modest archaeological potential.

Other Requirements Brought to the Applicant's Attention:

C-1 A wall check survey plat shall be submitted to Planning and Zoning when the building footprint is in place, pursuant to Alexandria City Code section 8-1-12.



**APPLICATION  
BOARD OF ZONING APPEALS**

**SPECIAL EXCEPTION FOR PORCHES**

Section of zoning ordinance from which request for special exception is made:

3-306(a)(1); 11-1302(C)

1. **Applicant:**  Owner  Contract Purchaser  Agent

**Name** Phyllis E. Andes

**Address** 2203 Valley Circle

Alexandria, VA

**Daytime Phone** 703-838-5670

**Email Address** pandes@comcast.net

2. **Property Location** 2203 Valley Circle

3. **Assessment Map #** 33.03-15-2 **Block** 3 **Lot** 10 **Zone** R-8

4. **Legal Property Owner Name** Phyllis E. Andes

**Address** 2203 Valley Circle

Alexandria, VA 22302



**OWNERSHIP AND DISCLOSURE STATEMENT**

Use additional sheets if necessary

**1. Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. N/A		
2.		
3.		

**2. Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at 2203 Valley Circle (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Phyllis E. Andes	2203 Valley Circle	100%
2.		
3.		

**3. Business or Financial Relationships.** Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. N/A		
2.		
3.		

**NOTE:** Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

7/24/12  
Date

Phyllis E. Andes  
Printed Name

  
Signature

**5. Describe request briefly :**

I would like to receive a special exception to construct a covered open porch at the front of my house facing Valley Circle.

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**6. If property owner or applicant is being represented by an authorized agent, such as an attorney, realtor or other person for which there is a form of compensation, does this agent or the business in which they are employed have a business license to operate in the City of Alexandria, Virginia?**

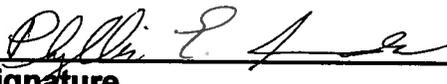
Yes — Provide proof of current City business license.

No — Said agent shall be required to obtain a business prior to filing application.

**The undersigned hereby attests** that all of the information herein provided including the site plan, building elevations, prospective drawings of the projects, etc., are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**Applicant or Authorized Agent:**

Phyllis E. Andes  
**Print Name**

  
**Signature**

703-838-5670  
**Telephone**

7/24/12  
**Date**

Pursuant to Section 13-3-2 of the City Code, the use of a document containing false information may constitute a Class 1 misdemeanor and may result in a punishment of a year in jail or \$2,500 or both. It may also constitute grounds to revoke the permit applied for with such information.

**Note to Applicant: Only one special exception per dwelling shall be approved under the provisions of Section 11-1302(B)(4).**

**REVISED**

BZA Case # 2012-0012

**PART B (SECTIONS 11-1302(C) and 11-1304)**

**APPLICANT MUST COMPLETE THE FOLLOWING:**  
(Please use additional sheets where necessary.)

1. **Please provide the following details of the proposed porch:**
  - a. Porch projection from front building wall to deck edge 8'
  - b. Length of building wall where porch is to be built 25' 11 1/2"
  - c. Length of porch deck 25' 11 1/2"
  - d. Depth of overhang 12"
  - e. Distance of furthest projecting porch element from the front property line PP 29' 27"
  - f. Overall height of porch from finished or existing grade 13'4"
  - g. Height of porch deck from finished or existing grade 2'4"

2. **Explain the conditions of the subject property which prevent locating the proposed porch in compliance with the zoning ordinance.**  
The prevailing setback for the houses on Valley Circle is 31.5'. The setback for the front of my house currently is 35.8'.  
\_\_\_\_\_  
\_\_\_\_\_

3. **Explain if the proposed porch will be detrimental to the adjacent properties or the neighborhood in general.**  
The proposed porch will not be detrimental to the adjacent properties or the neighborhood in general. There will be ample space remaining on my front lawn and between my adjacent and facing neighbors' houses once the porch is built.  
\_\_\_\_\_  
\_\_\_\_\_

4. **Explain how the proposed porch will affect the light and air to any adjacent property.**  
The proposed porch will have no affect on the light or air to any adjacent property. There will be ample setback on the side and front of the porch to ensure no encroachment on either light or air of my neighbors.  
\_\_\_\_\_  
\_\_\_\_\_

5. **Has the applicant shown the plans to the most affected property owners? Have any neighbors objected to the proposed special exception, or have any neighbors written letters of support? If so, please attach the letter.**  
I have shown the plans and graphic drawing of the porch to my next door neighbors and facing neighbors. None of my neighbors has voiced an objection to the porch. I have attached letters of support from William Topping, and Dennis McDonald and Deborah Funk.  
\_\_\_\_\_  
\_\_\_\_\_

6. **The applicant shall demonstrate by clear and convincing evidence that the proposed porch is compatible with the existing building architecture, neighboring properties and neighborhood character. Provide information such as style and number of similar porches in the immediate neighborhood (provide dimensions and roof height as well as distance from curblin). Photographs should be included as part of the evidence supporting this request.**

See attached photos and drawings.

The proposed porch will add character and interest to the front facade of the house. It will be in keeping stylistically and architecturally with the porticos on Valley Circle. There is one home on Quincy Street, the street running perpendicular to Valley Circle, that has a front porch. This home (1103 Quincy) is the same basic house as my house. My proposed front porch is similar in style to this front porch.

REVISED

BZA 2012-0012

A



DEPARTMENT OF PLANNING AND ZONING
FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS FOR
SINGLE AND TWO-FAMILY RESIDENTIAL OUTSIDE HISTORIC DISTRICTS

A. Property Information

A1. Street Address 2203 Valley Circle Zone R-8

A2. 10,063 x 0.35 = 3,522.1
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Table with 2 columns: Existing Gross Area\* and Allowable Exclusions. Rows include Basement, First Floor, Second Floor, Third Floor, Porches/Other, and Total Gross\*.

B1. Existing Gross Floor Area \* 3392 Sq. Ft.
B2. Allowable Floor Exclusions\*\* 677 Sq. Ft.
B3. Existing Floor Area minus Exclusions 2499 2715 Sq. Ft. (subtract B2 from B1)

C. Proposed Gross Floor Area (does not include existing area)

Table with 2 columns: Proposed Gross Area\* and Allowable Exclusions. Rows include Basement, First Floor, Second Floor, Third Floor, Porches/Other, and Total Gross\*.

C1. Proposed Gross Floor Area \* 208 Sq. Ft.
C2. Allowable Floor Exclusions\*\* 208 Sq. Ft.
C3. Proposed Floor Area minus Exclusions 0 Sq. Ft. (subtract C2 from C1)

D. Existing + Proposed Floor Area

D1. Total Floor Area (add B3 and C3) 2707 2715 Sq. Ft.
D2. Total Floor Area Allowed by Zone (A2) 3522 Sq. Ft.

\*Gross floor area for residential single and two-family dwellings in the R-20, R-12, R-8, R-5, R-2-5, RB and RA zones (not including properties located within a Historic District) is the sum of all areas under roof of a lot, measured from exterior walls.

\*\* Refer to the zoning ordinance (Section 2-145(A)) and consult with zoning staff for information regarding allowable exclusions. If taking exclusions other than basements, floor plans with excluded areas illustrated must be submitted for review. Sections may also be required for some exclusions.

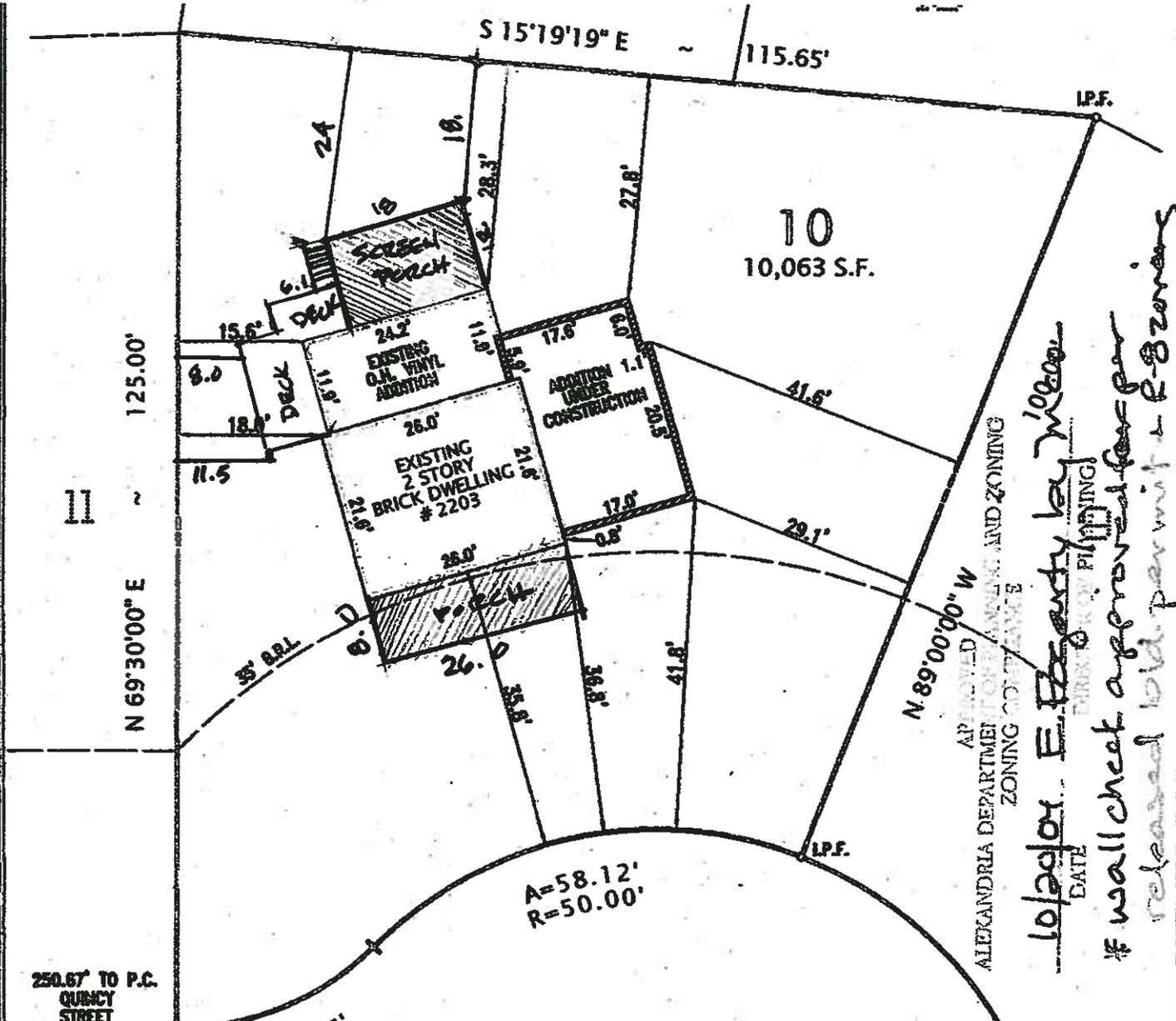
E. Open Space Calculations Required in RA & RB zones

Table with 2 columns: Existing Open Space, Required Open Space, Proposed Open Space. Value 208 is shown for Proposed Open Space.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: [Handwritten Signature] Date: 7/24/12

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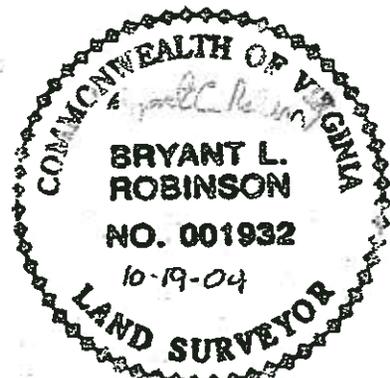
10  
10,063 S.F.

10/20/04 E. Property by M. [unclear]  
DATE: 10/15/04  
\* wall check approved for per released bld. permit & E-Zoning

ALEXANDRIA DEPARTMENT OF PLANNING AND ZONING

VALLEY CIRCLE  
50' R/W

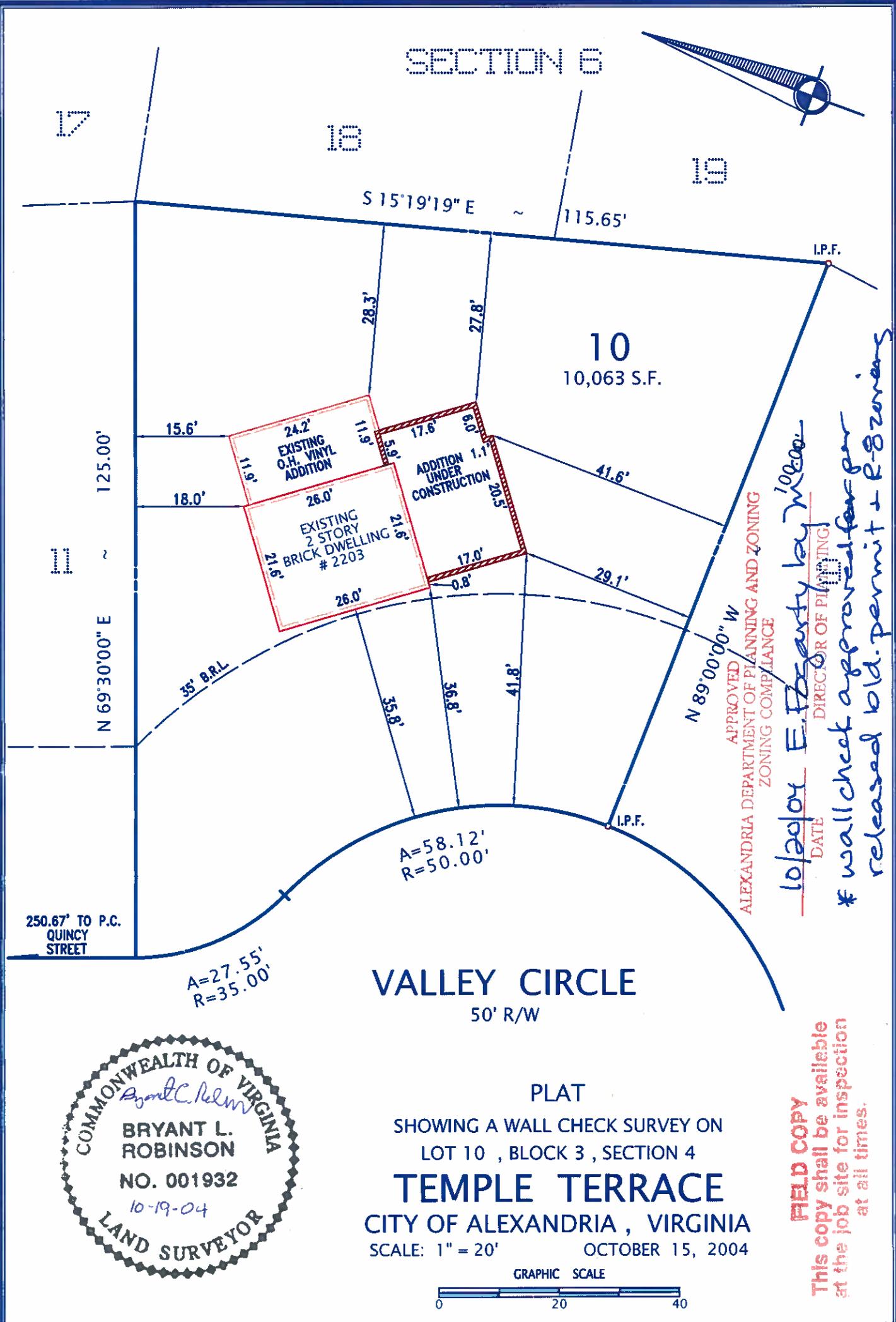
PLAT  
SHOWING A WALL CHECK SURVEY ON  
LOT 10, BLOCK 3, SECTION 4  
TEMPLE TERRACE  
CITY OF ALEXANDRIA, VIRGINIA  
SCALE: 1" = 20'      OCTOBER 15, 2004



FIELD SURVEY  
This copy shall be available at the job site for inspection at all times.

	CASE NAME:	ANDES
	PLAY SUBJECT TO RESTRICTIONS OF RECORD. TITLE SUBJECT NOT ESTABLISHED.	REQUESTED BY:

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10/20/04 E. Property by Memo.  
 DATE DIRECTOR OF PLANNING  
 \* wall check approved for permit + R-8 zoning released bld. permit + R-8 zoning

APPROVED  
 ALEXANDRIA DEPARTMENT OF PLANNING AND ZONING  
 ZONING COMPLIANCE

**FIELD COPY**  
 This copy shall be available at the job site for inspection at all times.

COMMONWEALTH OF VIRGINIA  
*Bryant L. Robinson*  
**BRYANT L. ROBINSON**  
 NO. 001932  
 10-19-04  
 LAND SURVEYOR

**VALLEY CIRCLE**  
 50' R/W

PLAT  
 SHOWING A WALL CHECK SURVEY ON  
 LOT 10 , BLOCK 3 , SECTION 4  
**TEMPLE TERRACE**  
 CITY OF ALEXANDRIA , VIRGINIA  
 SCALE: 1" = 20'      OCTOBER 15, 2004

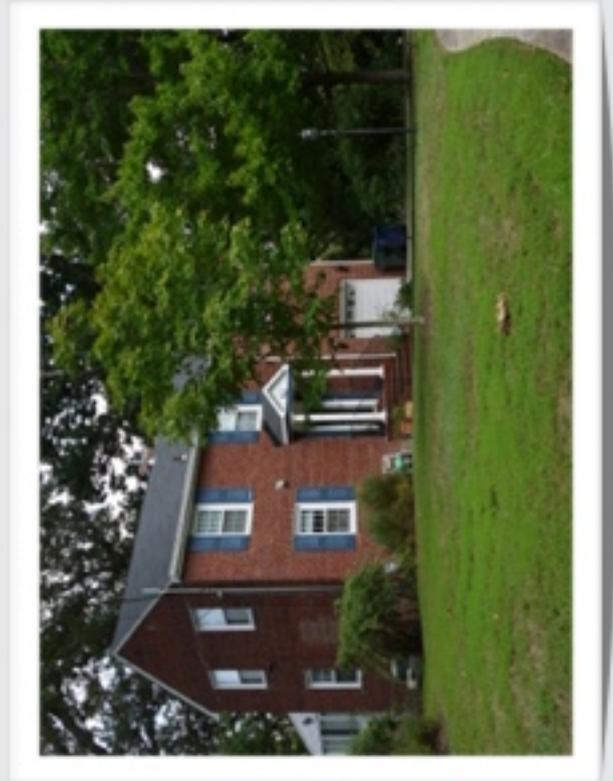
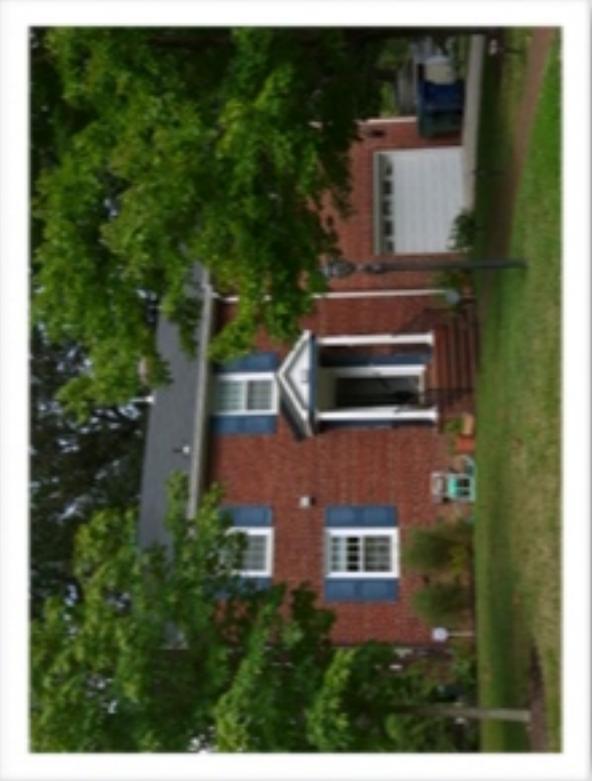
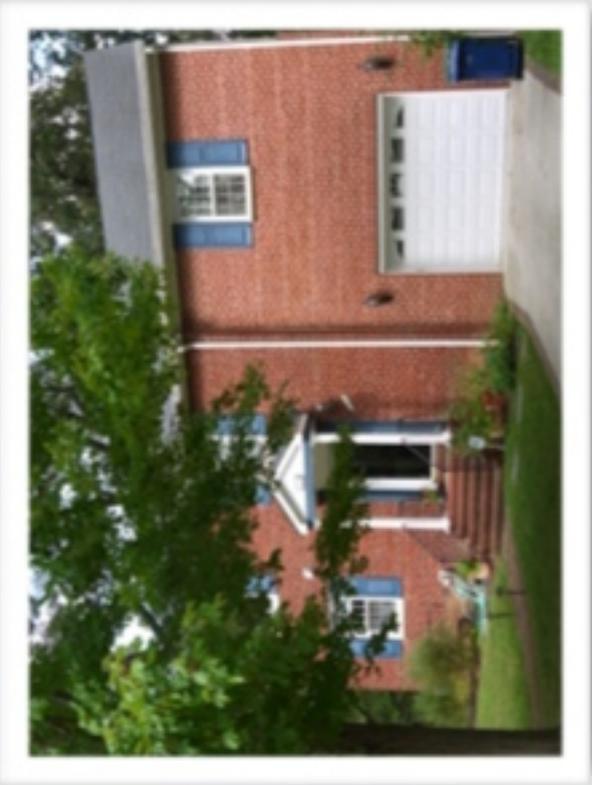


COMMONWEALTH OF VIRGINIA  
**BRYANT L. ROBINSON**  
 LICENSE NO. 001932  
 LAND SURVEYOR

CASE NAME:	ANDES
PLAT SUBJECT TO RESTRICTIONS OF RECORD. TITLE REPORT NOT FURNISHED.	REQUESTED BY: <b>DANIEL JONES REMODELING</b>
I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A TRANSIT TAPE SURVEY AND UNLESS OTHERWISE SHOWN, THERE ARE NO VISIBLE ENCROACHMENTS. <i>Bryant L. Robinson</i> BRYANT L. ROBINSON, . . . . . LS.	<b>ALEXANDRIA SURVEYS</b> INTERNATIONAL, LLC 6343 SOUTH KINGS HIGHWAY ALEXANDRIA, VIRGINIA 22306 TEL. NO. 703-660-6615 FAX NO. 703-768-7764







<u>Street No.</u>	<u>Approximate Setback to Property Line</u>
2207	32.1
2205	33.4
2201	34.8
2200	36
2202	31.6
2204	28.9
2206	29.6
2208	26
Total	252.4
Average	31.5'

I have measured the front setbacks to the above properties and confirm that they are correct to the best of my knowledge.

Phyllis E. Anderson  
8/17/12

REVISED

Deborah A. Funk  
Dennis D. McDonald  
2201 Valley Circle  
Alexandria, Virginia 22302

Mr. Mark Allen, Chair  
Alexandria Board of Zoning Appeals  
Department of Planning and Zoning  
City Hall – Room 2100  
301 King Street  
Alexandria, Virginia 22314

Dear Mr. Allen and Members of the Board:

Phyllis Andes has shown us her proposal to build a covered front porch as an addition to her house at 2203 Valley Circle.

We support her proposal and urge that the Board grant her request for a special exception to build the porch. We believe that the porch will add interest and character to the house and that the porch will have no detrimental impact on adjacent properties, including our own.

Sincerely yours,



Dennis D. McDonald



Deborah A. Funk

William R. Topping  
2202 Valley Circle  
Alexandria, Virginia 22302

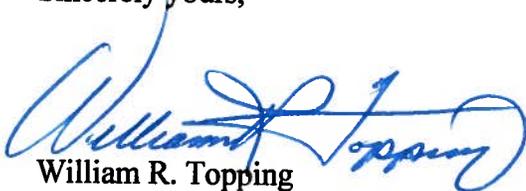
Mr. Mark Allen, Chair  
Alexandria Board of Zoning Appeals  
Department of Planning and Zoning  
City Hall – Room 2100  
301 King Street  
Alexandria, Virginia 22314

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Phyllis Andes has shown us her proposal to build a covered front porch as an addition to her house at 2203 Valley Circle.

We support her proposal and urge that the Board grant her request for a special exception to build the porch. We believe that the porch will add interest and character to the house and that the porch will have no detrimental impact on adjacent properties, including our own.

Sincerely yours,



William R. Topping

**PROJECT NAME AND LOCATION**

**ANDES FRONT PORCH  
2203 VALLEY CIRCLE  
ALEXANDRIA, VA. 22302**

**PLOT PLAN/SURVEY**

**GENERAL NOTES:**

1. APPLICABLE CODES:  
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2009, IRC (RESIDENTIAL)
2. LOADS:  
ROOF LIVE = 30 PSF  
ROOF DEAD = 15 PSF  
FLOOR LIVING LIVE = 40 PSF  
FLOOR SLEEPING LIVE = 30 PSF  
FLOOR DEAD = 15 PSF  
WIND LOAD = 16.4 PSF (90 MPH)
3. STRUCTURAL LUMBER:  
DIMENSIONAL LUMBER = #2 DOUGLAS FIR-LARCH, SOUTHERN PINE, HEM-FIR, SPRUCE-PINE-FIR  
  
#2 HEM-FIR  
2 X 10'S                    1075                    1.3  
2 X 12                      980                      1.3  
2 X 8                        1175                      1.3  
2 X 6                        1270                      1.3  
LAMINATED VENEER LUMBER (LVL) - Fb=2800 PSI, Fv=285 PSI, E=2 X 10(6)  
PARALLEL STRAND LUMBER (PSL) - Fb=2900 PSI, Fv=290 PSI, E=2 X 10 (6)  
TRUSSED JOIST/RAFTERS: CERTIFIED BY ENGINEER
4. FRAMING LUMBER - SPF # 2
5. CONCRETE STRENGTH:  
BASEMENT FOUNDATIONS AND SLABS-3000 PSI @ 28 DAYS  
PORCHES, CARPORTS, STEPS AND GARAGE FLOOR SLABS -3500 PSI @ 28 DAYS,  
AIR ENTRAINED.  
CONCRETE TO MEET REQUIREMENTS OF ACI 301-10
6. MAXIMUM UNBALANCED FILL ON BASEMENT WALLS:  
4 FEET FOR 8-INCH THICK CMU WALLS  
5 FEET FOR 10-INCH THICK CMU WALLS  
7 FEET FOR 12-INCH THICK CMU WALLS
7. MAX. ALLOWABLE LATERAL PRESSURE ON BASEMENT WALLS: 30 PCF
8. ALLOWABLE SOIL BEARING PRESSURE: 1500 PSF.
9. CONCRETE FOOTINGS:  
EXTEND A MINIMUM OF 1'-0" INTO UNDISTURBED SOIL.  
EXTEND A MINIMUM OF 2'-0" BELOW FINISHED GRADE.  
STEP 2 HORIZONTAL TO 1 VERTICAL UNIT.  
18" W X 8" D FOR 8" WALLS, 24" W X 12" D FOR 12" WALLS. W/ (2) #4 CONT.
10. CONCRETE SLABS:  
MINIMUM OF 4" THICK.  
REINFORCED WITH 6 X 6 W 1.4 X 1.4 WELDED WIRE FABRIC. VAPOR BARRIER OF 0.006" POLYETHYLENE. BASE OF 4" THICK CRUSHED STONE 3/4" MAX. FILL (WHERE APPROVED) IN 6" LAYERS TO 95% DENSITY.
11. STEEL:  
REINFORCING-ASTM A-615, 60KSI  
WELDED WIRE FABRIC (WWF) -ASTM A-185.  
STRUCTURAL - ASTM A-992
12. MASONRY:  
CONCRETE HOLLOW LOAD-BEARING UNITS-ASTM C-90.  
CONCRETE SOLID LOAD-BEARING UNITS-ASTM C-145  
FACE BRICK -ASTM C-216, GRADE MW  
EXTERIOR MORTAR-ASTM C-270, TYPE N, APPROXIMATELY 3:1:11 PORTLAND CEMENT, LIME, SAND.
13. PROTECTION OF MASONRY BELOW GRADE:  
PARGING-TWO 3/8" LAYERS OF PORTLAND CEMENT-SAND PLASTER.  
DAMP PROOFING-ASTM A-449, TYPE A, ASPHALT MASTIC.  
WATER PROOFING-0.60 RUBBERIZED ASPHALT (BITUTHENE W/PROT.BD.)
14. BACKFILLING:  
CLEAN EARTH FREE OF TRASH, DEBRIS, ORGANIC MATTER.
15. ALL INTERIOR WALLS ARE 3 1/2" (2 X 4 STUD) UNLESS OTHERWISE NOTED ON PLAN. ALL DIMENSIONS ARE TO ROUGH FRAMING. ALL EXTERIOR WALLS TO BE SHEATHED WITH 1/2" PLYWOOD.
16. ALL HEADERS TO BE 2-2 X 10 UNLESS OTHERWISE NOTED.
17. IF A DISCREPANCY EXISTS BETWEEN THESE PLANS AND THE APPROVED SPECIFICATIONS, THE SPECIFICATIONS SHALL HAVE PRECEDENCE.

**DRAWING INDEX**

C.S.	PLOT PLAN AND TITLE
A-1	FOUNDATION PLAN 1ST FLOOR PLAN
A-2	ELEVATIONS DETAILS
A-3	STRUCTURAL
A-4	
A-5	
A-6	
A-7	
A-8	
A-9	
A-10	

**RELIABILITY DISCLAIMER**

To the best of my knowledge these plans are drawn to comply with owner's and/ or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expence and responsibility. The contractor shall verify all dimensions and enclosed drawing. WEST ARCHITECTURAL DESIGNS LLC. is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

**WEST ARCHITECTURAL DESIGNS LLC.**

3500 HOMELAND TER OLNEY, MD. 20832

MAIN -(301) 570-6741  
FAX- (301) 570-6742

natewest00@verizon.net  
www.westarchitecturaldesigns.com

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**CLIENT NAME & ADDRESS**

**ANDES FRONT PORCH  
2203 VALLEY CIRCLE  
ALEXANDRIA, VA. 22302**

**REVISIONS**

- 1
- 2
- 3

DATE: 5-21-2012

SCALE: AS SHOWN

DRAWN BY: NHW

FILE NAME: ANDES PERMIT

SHEET

**C.S.**

# ANDES FRONT PORCH 2203 VALLEY CIRCLE ALEXANDRIA, VA. 22302

--

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:

PROJECT NAME & ADDRESS:  
ANDES PORCH  
2203 VALLEY CIRCLE  
ALEXANDRIA, VA. 22302

DRAWINGS PROVIDED BY:  
West Architectural Designs LLC  
3500 Homeland Ter  
Olney, Maryland 20832  
3015706741 - www.westarchitecturaldesignsllc.com

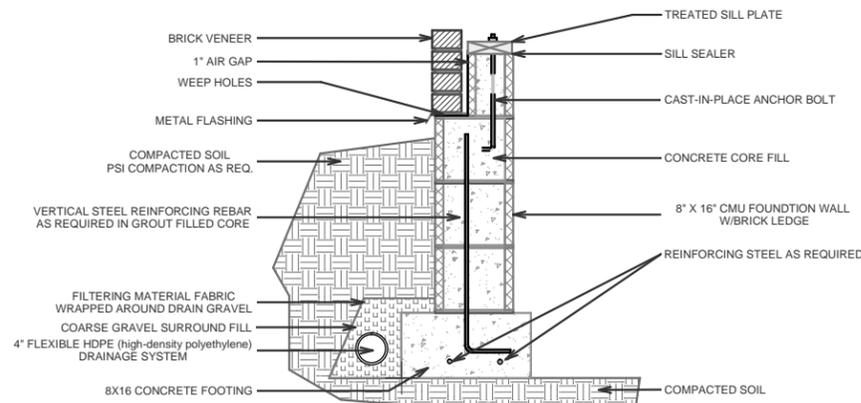
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7/25/2012

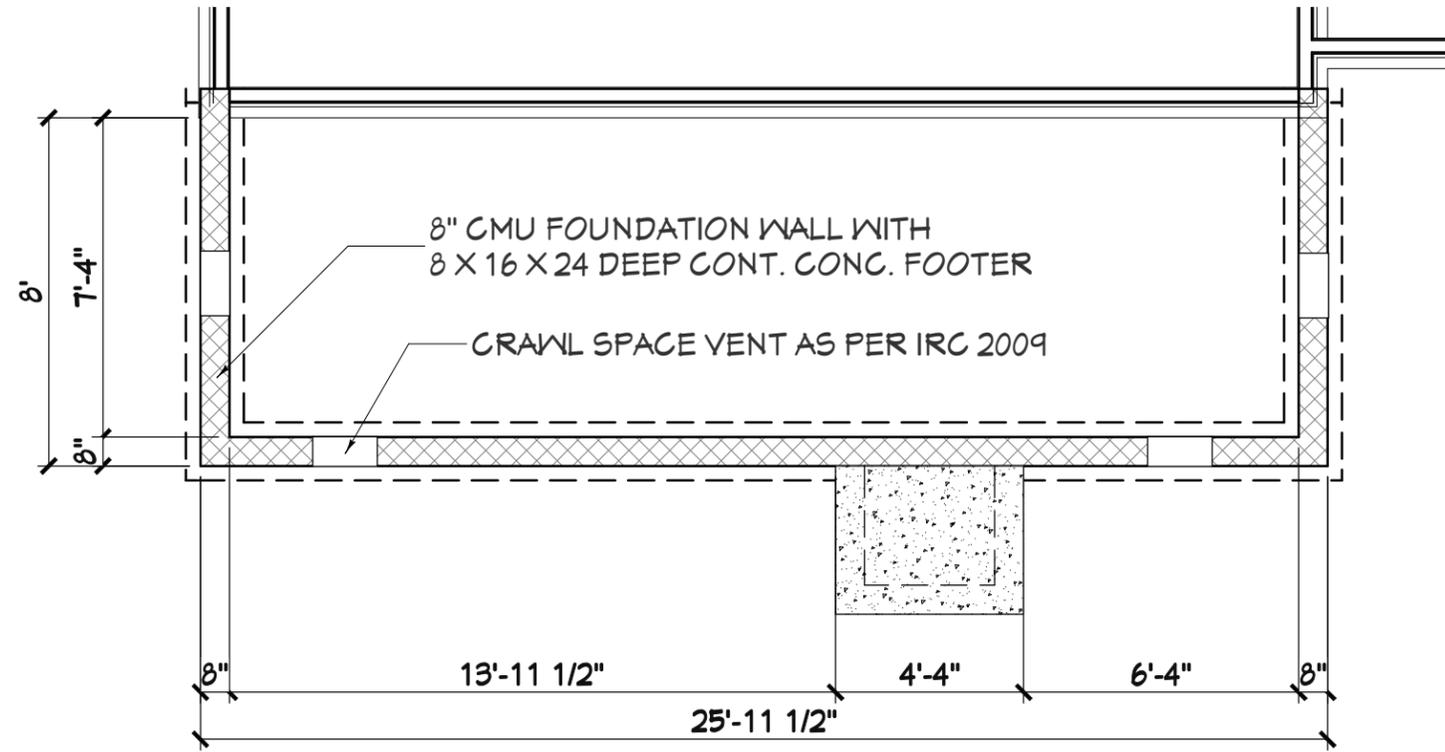
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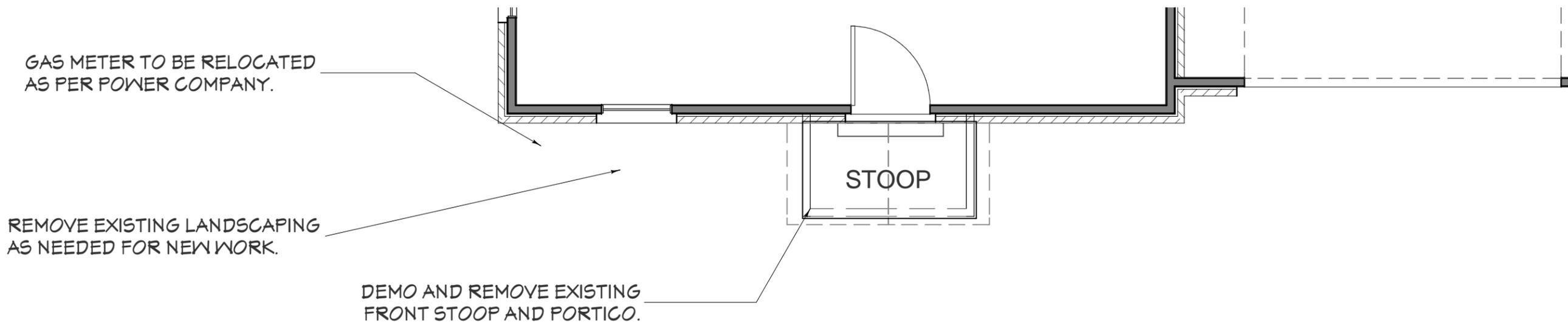
**A-1**



FRONT PORCH FOUNDATION DETAIL N.T.S



FOUNDATION PLAN  
1/4"=1'-0"



EXISTING/DEMO PLAN  
1/4"=1'-0"

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:

PROJECT NAME & ADDRESS:  
ANDES PORCH  
2203 VALLEY CIRCLE  
ALEXANDRIA, VA. 22302

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Olney, Maryland 20832  
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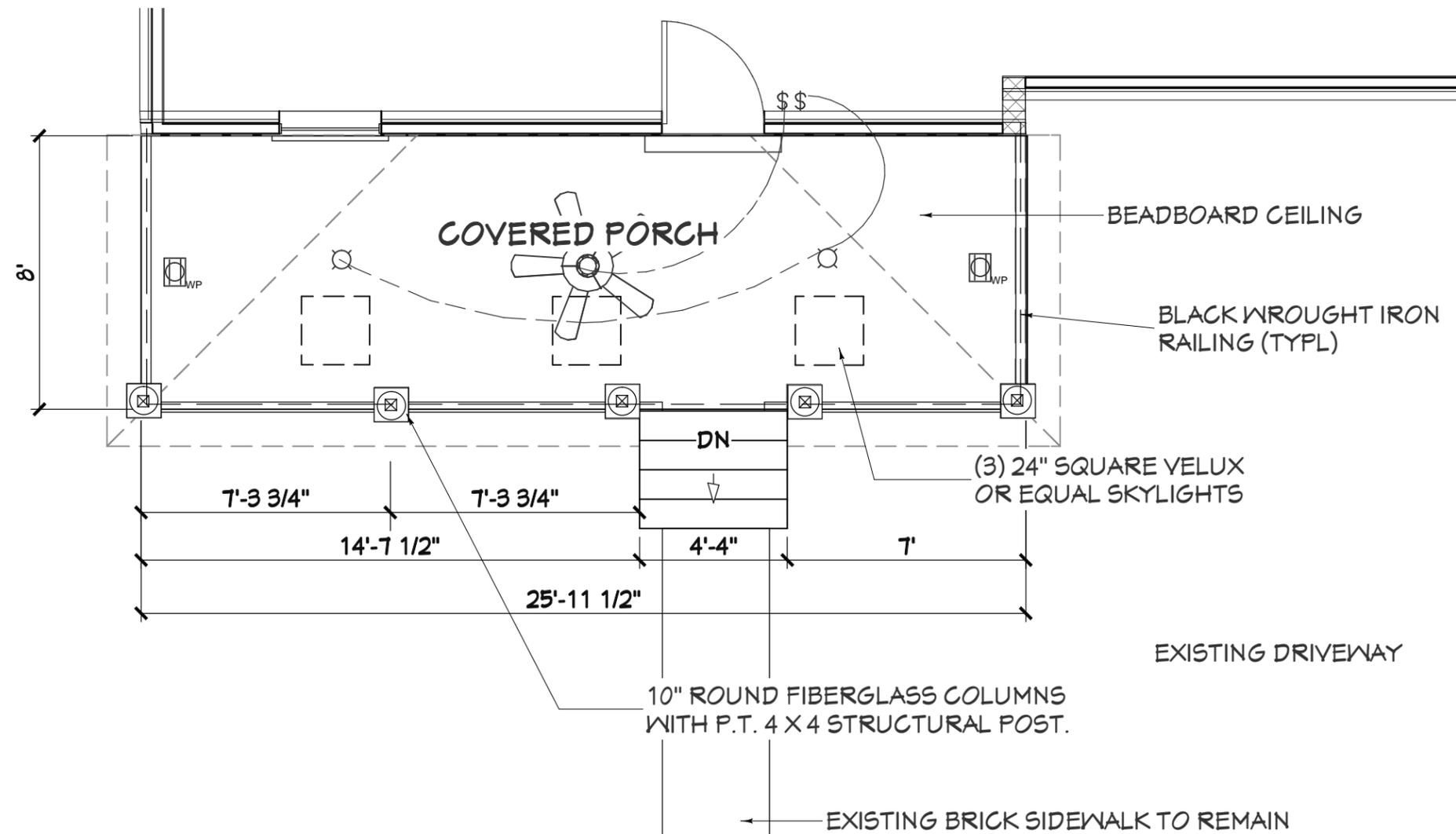
DATE:

7/25/2012

SCALE:

SHEET:

**A-2**



NEW PORCH PLAN  
1/4" = 1'-0"

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:

PROJECT NAME & ADDRESS:  
ANDES PORCH  
2203 VALLEY CIRCLE  
ALEXANDRIA, VA. 22302

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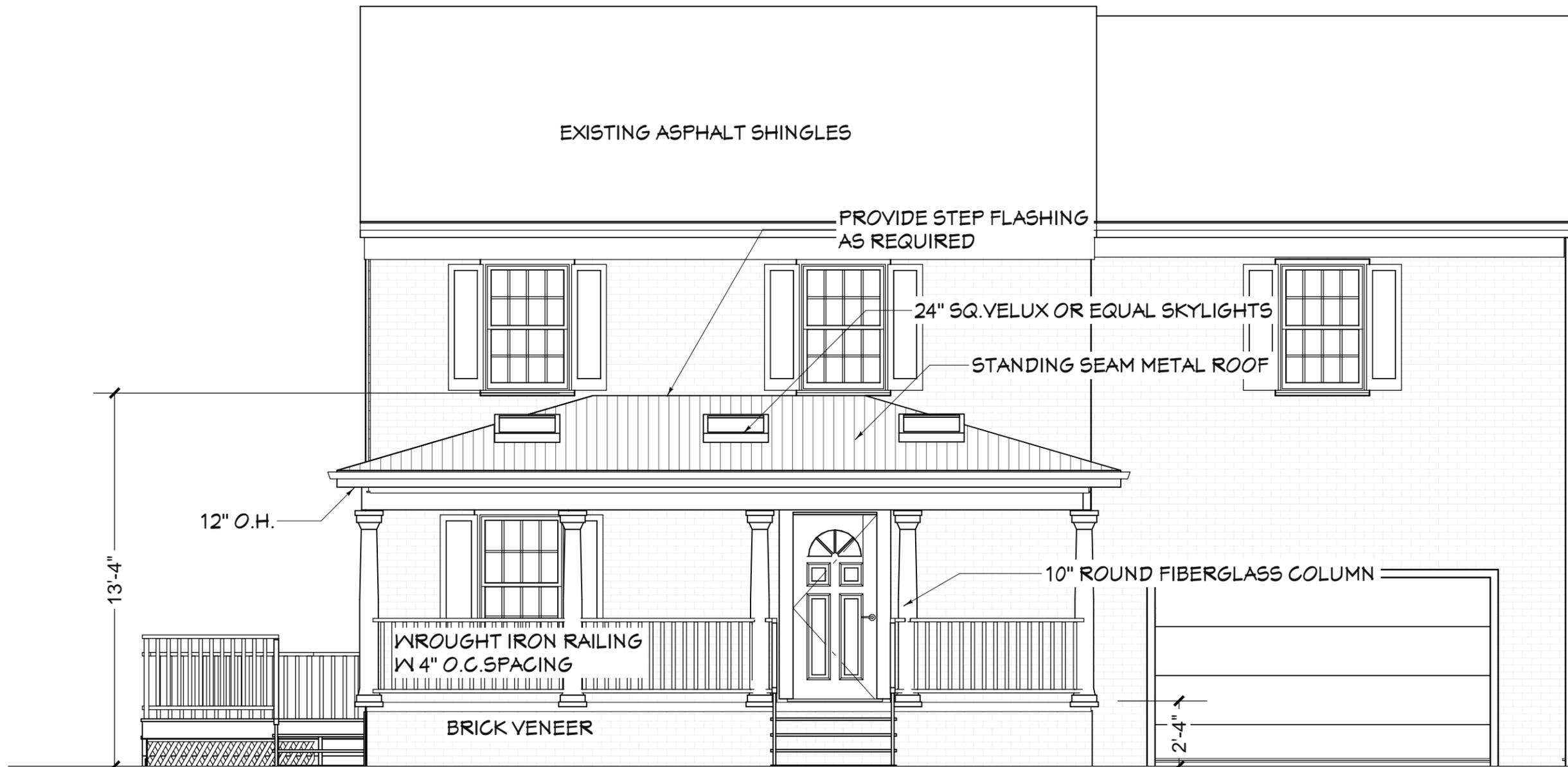
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7/25/2012

SCALE:

SHEET:

**A-3**



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:

PROJECT NAME & ADDRESS:  
 ANDES PORCH  
 2203 VALLEY CIRCLE  
 ALEXANDRIA, VA. 22302

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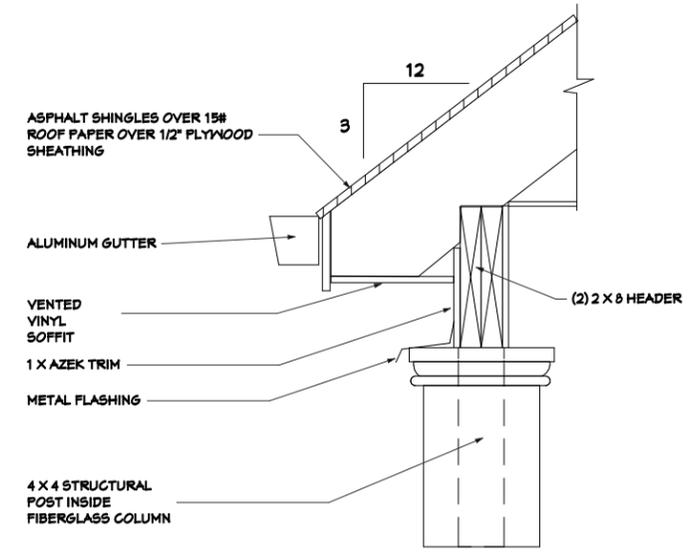
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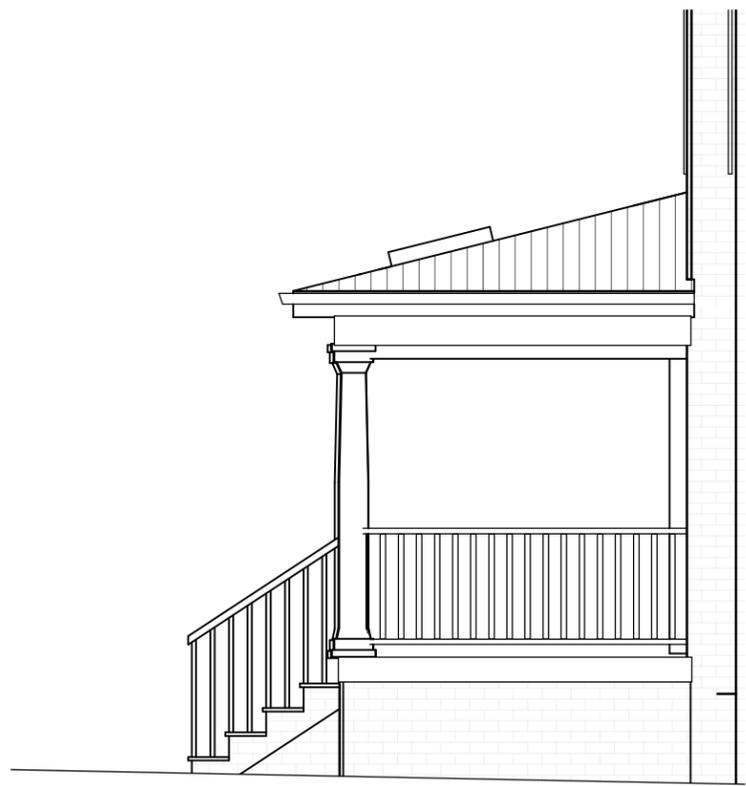
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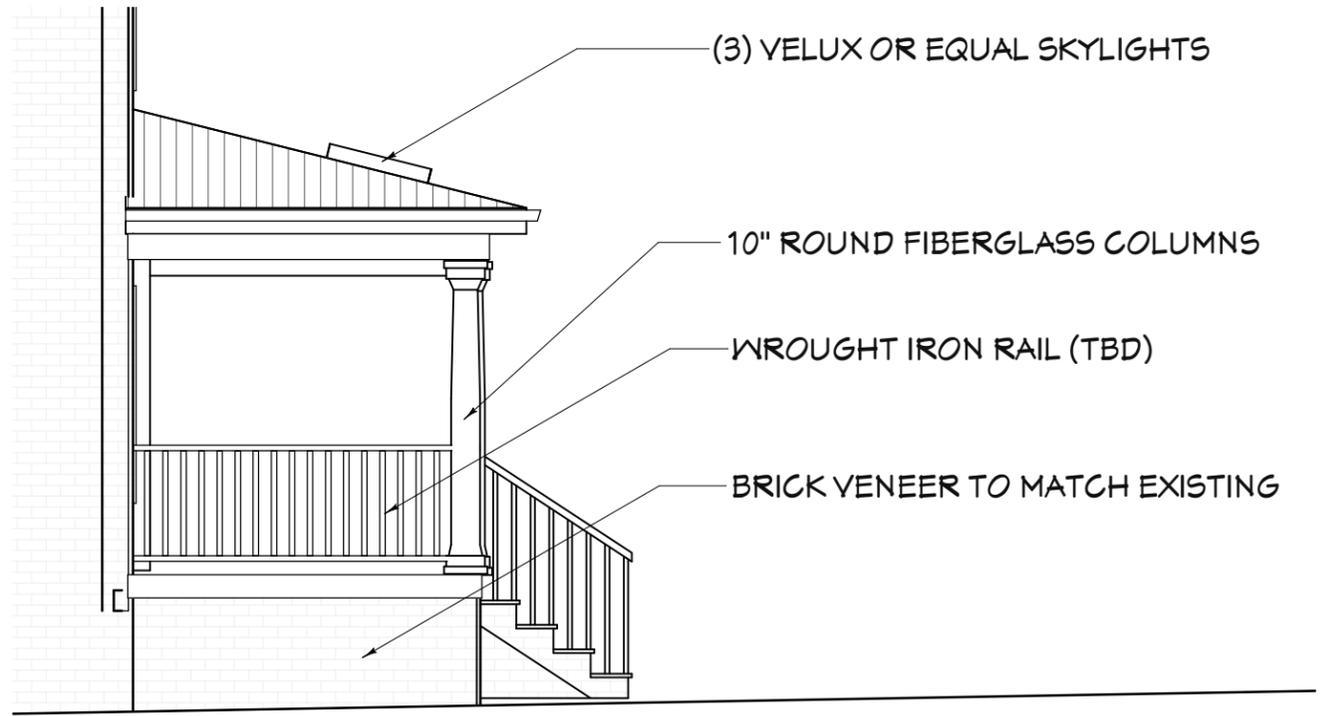
**A-4**



BEAM TO COLUMN DETAIL  
N.T.S.

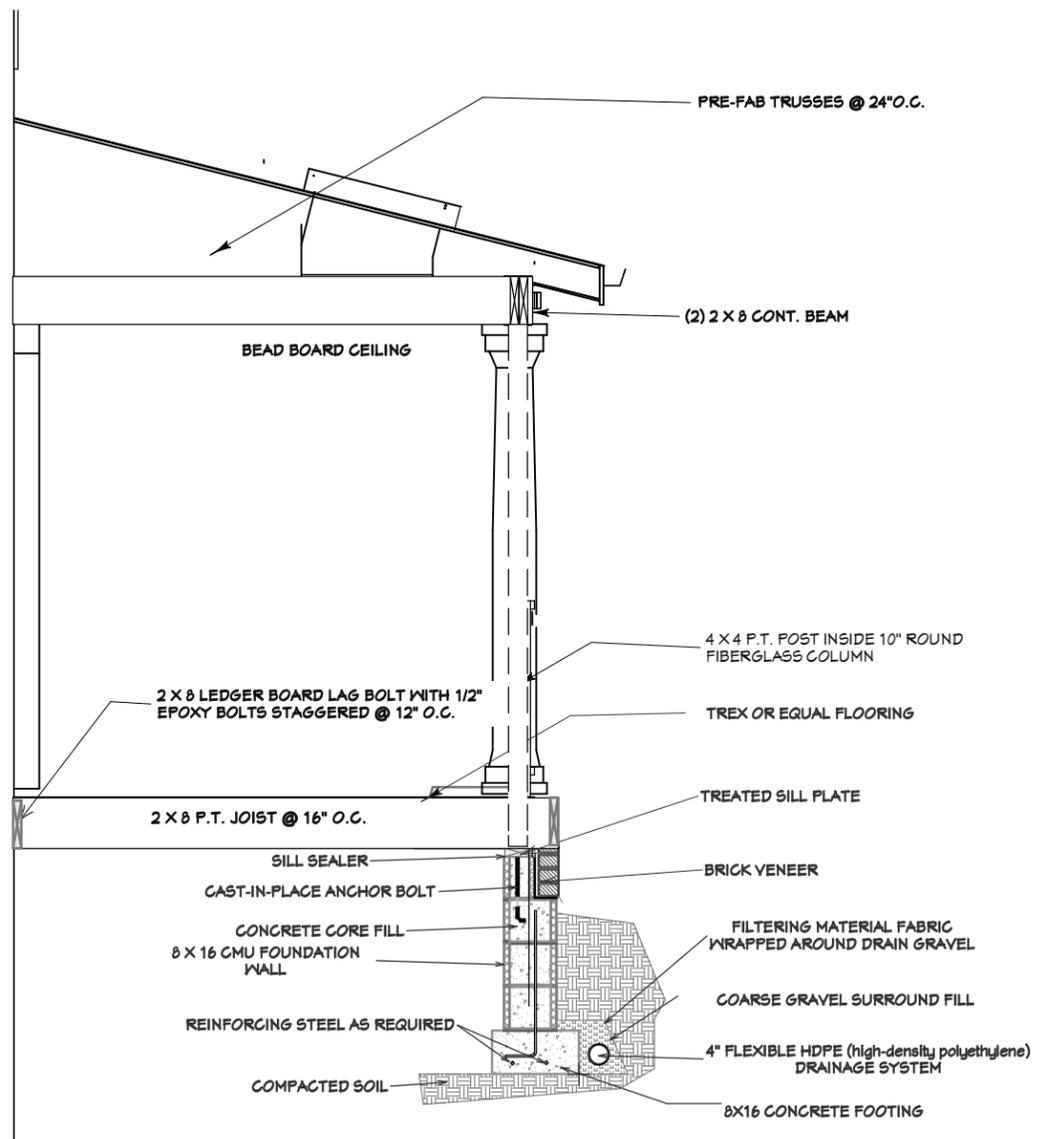


RIGHTSIDE ELEVATION  
1/4"=1'-0"

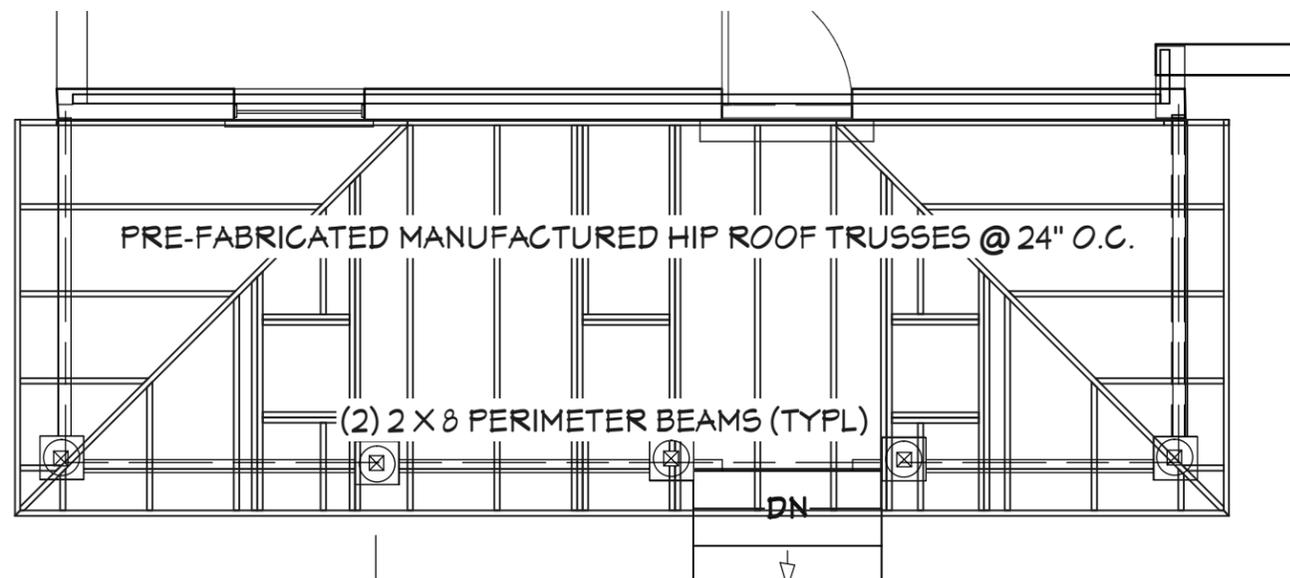


LEFTSIDE ELEVATION  
1/4"=1'-0"

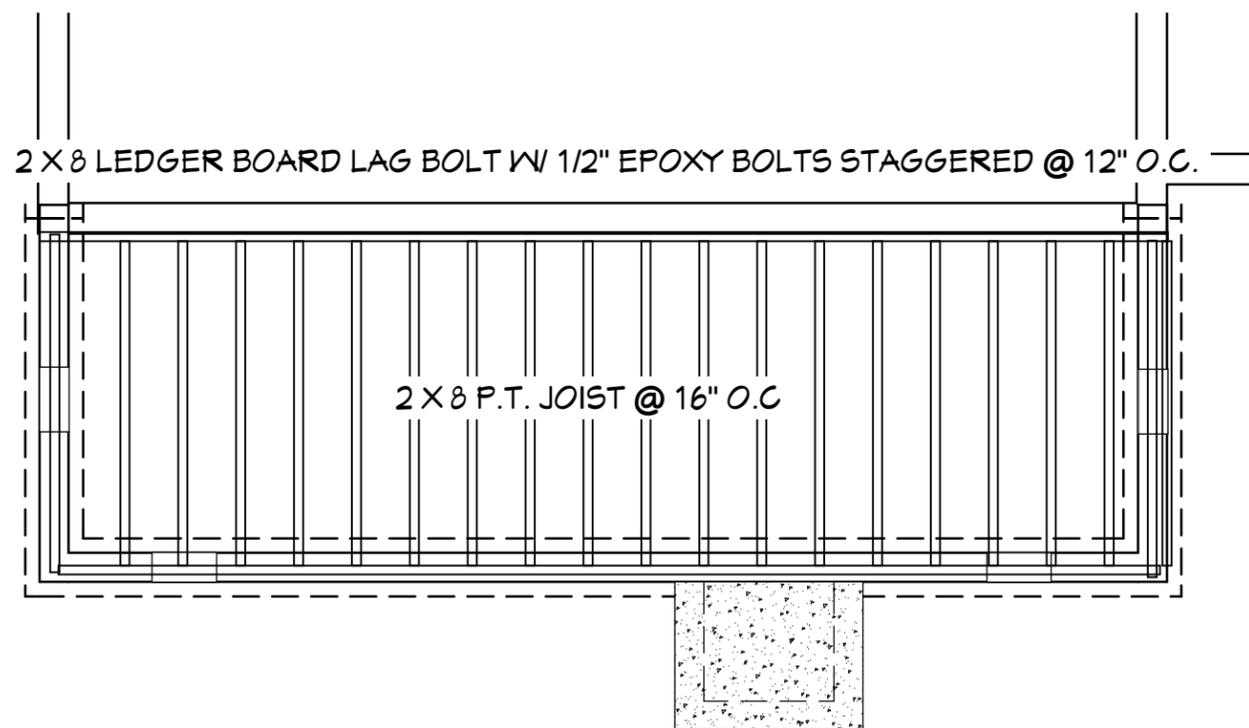
NO.	DESCRIPTION	BY	DATE
SHEET TITLE:			
PROJECT NAME & ADDRESS: ANDES PORCH 2203 VALLEY CIRCLE ALEXANDRIA, VA. 22302			
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DATE: 7/25/2012			
SCALE:			
SHEET: <b>A-5</b>			



CROSS SECTION  
3/8" = 1'-0"



ROOF FRAMING PLAN  
1/4" = 1'-0"



FLOOR FRAMING PLAN  
1/4" = 1'-0"

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:

PROJECT NAME & ADDRESS:

ANDES PORCH  
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ALEXANDRIA, VA. 22302

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DATE:

7/25/2012

SCALE:

SHEET:

A-6