

Docket Item # 8
DEVELOPMENT SPECIAL USE PERMIT #2002-0005
RAMSAY SCHOOL & FORD NATURE CENTER

Planning Commission Meeting
February 4, 2003

ISSUE: Consideration of a request for a development special use permit, with site plan, for renovations to the existing school and construction of a nature center addition.

APPLICANT: Alexandria City Public Schools
by Jerry Eastridge

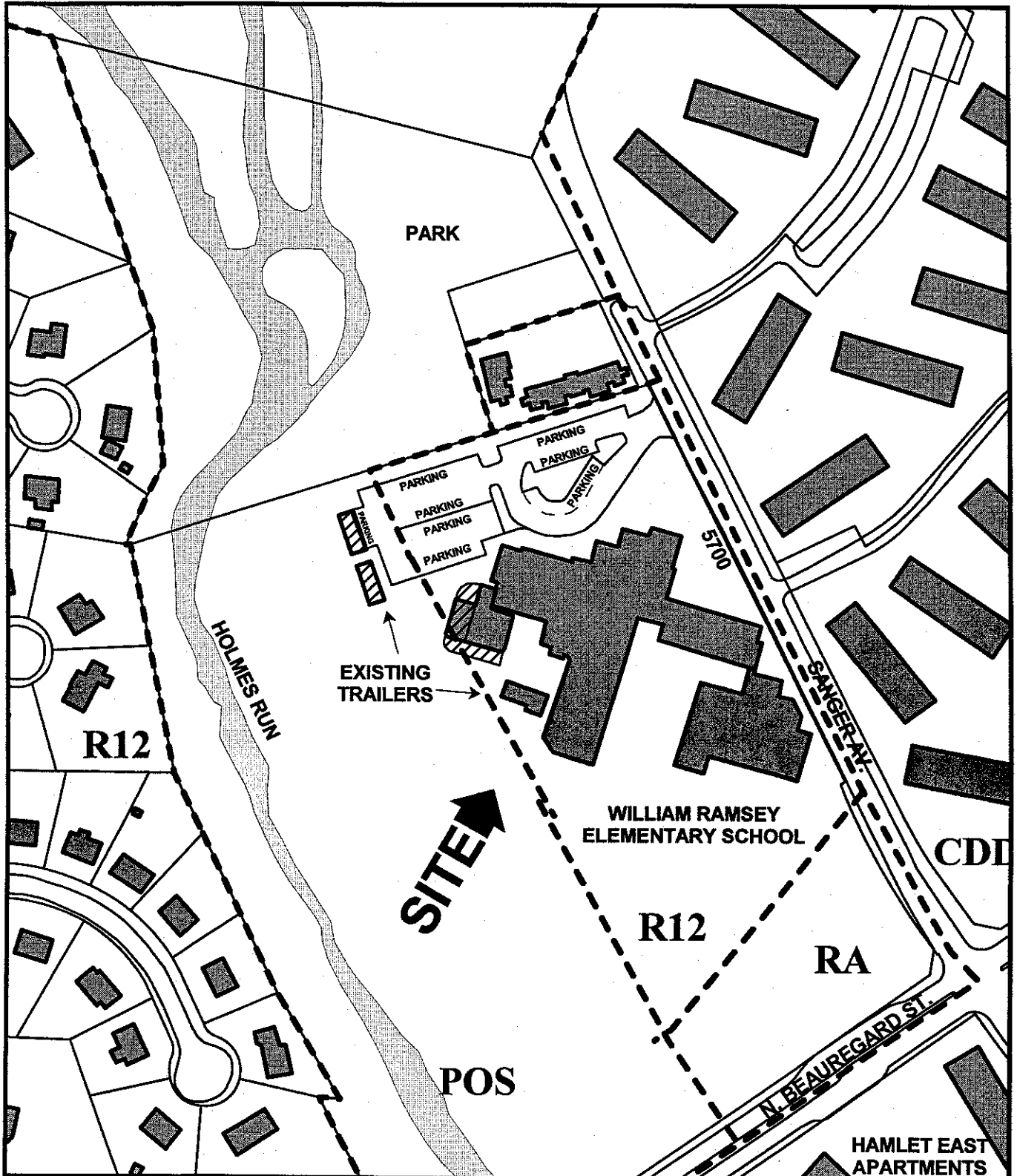
LOCATION: 5700 Sanger Avenue

ZONE: R-12/Residential, RA/Residential, and POS/Public Open Space

PLANNING COMMISSION ACTION, FEBRUARY 4, 2003: On a motion by Mr. Liebach, seconded by Mr. Gaines, the Planning Commission voted to recommended approval of the request, subject to compliance with all applicable codes, ordinances and staff recommendations. The motion carried on a vote of 7 to 0.

Reason: The Planning Commission agreed with the staff analysis.

Speakers: There were no speakers.



DSUP #2002-0005

02/04/03



SUMMARY:

Alexandria City Public Schools and the City Department of Recreation, Parks and Cultural Activities are proposing to add a 2,000 sq.ft. addition to the existing school and Ford Nature Center, and conversion of a school multi-purpose room to nature center use and nine new classrooms. The proposed addition will require a special use permit to increase the height within the POS zone from 15 ft. to 28 ft. The proposed classrooms will enable the school to remove the three temporary trailers that currently provide nine classrooms on-site. The new classrooms are not intended to increase the current school capacity, but are intended to allow the school to remove the trailers. The increased nature center space will enable the facility to better serve the public with the addition of display and demonstration areas, a green house and other needed space.

Additionally, the applicant is proposing to expand and reconfigure the existing parking lot to provide 32 additional parking spaces and to improve vehicle circulation. The 32 new parking spaces will provide the parking spaces required by the proposed nature center addition and expansion and the proposed classrooms. Although the applicant is providing the parking required by the Zoning Ordinance, because the school, nature center and recreation center are on one lot, a previous 38 space parking reduction for the site is carried forward with this application. In addition to providing the required parking spaces, the existing surface parking lot will be reconfigured to provide separate locations for bus and automobile student drop-off, in the front and rear parking lot, respectively.

Staff supports the proposed nature center additions and improvements to the nature center, additional classrooms, increased height within the POS zone, and additional parking with recommended conditions to refine the appearance of the building and to provide additional landscaping within the surface parking lot.

STAFF RECOMMENDATION:

Staff recommends **approval** subject to compliance with all applicable codes and ordinances and the following conditions:

The following are new conditions.

25. The special use permit for the existing temporary classroom trailers shall expire upon the issuance of the certificate of occupancy for the newly constructed classroom space or eighteen months from the date of the special use permit approval, whichever is less. (P&Z)
26. The final design for the building addition shall be consistent in architectural style, character and material quality such as masonry and the standing seam metal roof as depicted on the preliminary architectural elevations and also provide additional refinements to the satisfaction of the Director of Planning & Zoning that shall include:
 - a. The window fenestration of the proposed addition shall be refined to be more consistent with the existing school.
 - b. Reducing the use of the EIFS surface treatment and replacing with higher quality materials such as masonry where possible.
 - c. The brick for the proposed addition shall match the existing facility. (P&Z)
27. The width of the drive aisle at the west end of the rear parking lot shall be increased from 18 ft. to 22 ft. to provide adequate vehicle circulation and access to the fire lane. The nature center addition and school classrooms shall provide the number of parking spaces required by the Zoning Ordinance. (P&Z)
28. The configuration of the parking spaces for the surface parking lot shall be reconfigured as generally depicted within *Attachment # 1* to provide a continuous planting area and trees to the satisfaction of the Directors of P&Z, RPCA, and Code Enforcement. (P&Z)
29. Submit a final landscape plan to the satisfaction of the Directors of P&Z and RPCA that includes the following additional landscaping:
 - a. Plant 2 - 3 trees in the landscape island that is surrounded by the bus drop-off lane.
 - b. The existing large evergreen tree within the central island shall be preserved. Appropriate tree protection shall be provided throughout the construction process to the satisfaction of the City Arborist.
 - c. Revise the tree preservation for the large Beech Tree on the south side of the proposed addition to incorporate the following:
 - i. Relocate the tree preservation to run along the existing pavement, not at the drip line, to provide an additional few feet of undisturbed setback from the

- tree;
 - ii. Construct the tree preservation fence in Board on Board Batten and extend the fence along three sides of the tree, outside of the drip line, leaving the south side open;
 - iii. Relocate the six foot high construction fence needs to the north side of the tree preservation fencing and inside the limits of construction;
 - iv. Revise the limits of construction line to graphically represent the Beech tree correctly. The line should not follow the drip line around the outside of the tree. The *tree* needs to remain outside of the limits of construction; the line should go along the pavement edge, adjacent to the tree preservation symbol and the construction fence symbol;
 - v. Relocate the label for the observation deck outside the Beech tree symbol. It is confusing, and appears that the deck is close to the tree.
- d. All landscaping shall be maintained in good condition and replaced as needed.(P&Z)
30. The proposed retaining walls shall be a high quality material to the satisfaction of the Director of P&Z. (P&Z)
31. A temporary informational sign shall be installed on the site prior to approval of the final site plan for the project and shall be displayed until construction is complete; the sign shall notify the public of the nature of the upcoming project and shall provide a phone number for public questions regarding the project. (P&Z)
32. Provide handicap access to the flag pole with a crosswalk connection across the bus drive aisle to the sidewalk in front of the building entrance. (P&Z)
33. Provide a city standard ADA ramp to the new sidewalk at the vehicular student drop-off area in the rear lot. (T&ES)
34. Provide a site lighting plan to the satisfaction of the Director of T&ES in consultation with the Chief of Police. The plan shall show the existing and proposed street lights and site lights. Indicate the type of fixture, and show mounting height, and strength of fixture in Lumens or Watts. Provide manufacturer's specifications for the fixtures. Provide lighting calculations to verify that lighting meets city standards and are located to prevent excessive spillover lighting and glare from adjacent properties. (T&ES) (P&Z)
35. The applicant is advised that all stormwater designs that require analysis of pressure hydraulic systems and/or inclusion and design of flow control structures must be sealed by a professional engineer, registered in the Commonwealth of Virginia. If applicable, the Director of T&ES may require re-submission of all plans that do not meet this standard.

(T&ES)

36. Final plans must demonstrate to the satisfaction of Director of T&ES that an adequate stormwater outfall is available to the site, or applicant is to design and build on or off site improvements to discharge to an adequate outfall. (T&ES)
37. Replace existing curb and gutter, sidewalks, and handicap ramps that are in disrepair or damaged during construction activities. (T&ES)
38. If requested by the Department of Transportation and Environmental Services, a Traffic Control plan detailing lane closures, traffic control devices, site access, haul routes, storage and staging shall be approved by T&ES prior to release of the plan. (T&ES)
39. Applicant's Engineer shall use current Engineer's and Surveyors Institute (ESI) checklist for preparation of final development plan, and include city standard construction notes as applicable. (T&ES)
40. All required permits from Virginia Department of Environmental Quality, Environmental Protection Agency, Army Corps of Engineers, Virginia Marine Resources must be in place for all project construction and mitigation work prior to release of the final site plan. (T&ES)
41. The stormwater collection system is part of the Holmes Run watershed. All stormwater inlets shall be duly marked to the satisfaction of the Director of T&ES. (T&ES)
42. For any surface-installed BMPs, i.e. Bio-Retention Filters, Vegetated Swales, etc. employed on site, descriptive signage for the BMP must be installed to the satisfaction of the Director of T&ES. (T&ES)
43. The surface appurtenances associated with the on-site structural BMPs shall be marked to the satisfaction of the Director of T&ES to identify them as part of the structural BMP system. (T&ES)
44. Provide a drainage map for the area flowing to the chosen BMP, including topographic information and storm drains. (T&ES)
45. A "Certified Land Disturber" must be named on the Erosion and Sediment Control plan prior to release of the final site plan and in accordance with Virginia Erosion and Sediment Control law. (T&ES)

46. All plan sheets shall be sealed, signed and dated by the engineer consultant. (T&ES)
47. The fire access road shall not be impaired by the proposed construction and no construction staging or materials shall be located on the access road at any time. This note shall be provided on the final site plan to the satisfaction of the Director of Code Enforcement. (Code Enforcement)
48. Provide a handicapped entrance to the nature center and classroom facility and handicapped parking adjacent to this entrance. Clearly identify the location of handicap access on all applicable plan sheets. (Code Enforcement)
49. The applicant shall consult with the Crime Prevention Unit of the Alexandria Police Department regarding security hardware and alarms for the development. A security survey shall be completed for the construction trailers as soon as they are placed on-site. (Police)
50. Temporary construction trailer(s) shall be permitted and be subject to the approval of the Director of P&Z. The trailer(s) shall be removed prior to the issuance of a certificate of occupancy permit for the proposed addition. (P&Z)
51. The applicant shall be allowed to make minor adjustments to the building locations if the changes do not result in the loss of parking, open space or increase in building height or floor area. (P&Z)

The following conditions are being carried forward from SUP#2001-0019.(Classroom Trailers)

1. The special use permit shall be granted to the applicant only. (P&Z) (SUP #99-0029)
2. **CONDITION DELETED BY STAFF:** ~~The special use permit is valid until October 1, 2002. (P&Z)~~
3. The applicant shall contact the Crime Prevention Unit of the Alexandria Police Department for a security survey for the classrooms. (Police) (SUP #98-0029)
4. **CONDITION DELETED BY STAFF:** ~~School personnel shall contact staff from T&ES and discuss ways to provide proper drainage for the northernmost temporary trailer that is located at the edge of the Dora Kelly Nature Preserve to prevent water ponding and leaf accumulation at the entranceway to the trailer. (P&Z) (SUP #2000-0066)~~

The following conditions are being carried forward from DSUP#98-0009. (Recreation Center)

5. Any inconsistencies between the various drawings submitted by the applicant shall be reconciled to the satisfaction of the Directors of Planning and Zoning and Transportation and Environmental Services. (P&Z)
6. ~~**CONDITION DELETED BY STAFF:** Revise the zoning tabulation to reflect the correct site area and show zone lines on the final site plan. (P&Z)~~
7. ~~**CONDITION DELETED BY STAFF:** Temporary structures for construction shall be permitted, and the size and site design for such temporary structures, including signs, shall be subject to the approval of the Director of the Department of Planning & Zoning. (P&Z)~~
8. ~~**CONDITION DELETED BY STAFF:** A minimum of 87 parking spaces shall be provided at the school. (P&Z)~~
9. **CONDITION REVISED BY STAFF:** The exterior elevations of the building and the footprint of the recreation building shall conform generally to the final preliminary site plan drawings. (P&Z)
10. Provide a bicycle rack at the recreation/community center. (P&Z)
11. ~~**CONDITION DELETED BY STAFF:** A security survey is required for construction trailers. (Police)~~
12. ~~**CONDITION DELETED BY STAFF:** A security survey is required for the proposed recreation/community center. (Police)~~
13. Notify the Police Department of any activities where a large number of persons may be occupying the facility, for example, events such as basketball games and dances. (Police)
14. ~~**CONDITION DELETED BY STAFF:** Prepare a site lighting plan to the satisfaction of the directors of Planning & Zoning and Transportation & Environmental Services. The plan shall include the following: (T&ES) (Police) (Planning Commission)~~
 - a. ~~Show all existing and proposed site lights.~~
 - b. ~~Indicate type of fixture, show mounting height and strength of fixture in lumens.~~
 - c. ~~Provide manufacturer's specifications for fixtures.~~

- d. Maintain a minimum of 2.0 foot candles in the parking lots, sidewalks and common areas:
 - e. ~~Shield lights to prevent spillover lighting into the adjacent residential properties and public right-of-ways.~~
15. The storm water Best Management Practices (BMPs) required by this project shall be constructed and installed under the direct supervision of the designer or his/her designated representative. The design engineer shall make a written certification to the City that the Best Management Practices are conducted and installed as designed and in accordance with the approved final site plan. In addition, aggregate layers and collector pipes may not be installed unless said engineer or his/her representative is present. (T&ES)
 16. ~~**CONDITION DELETED BY STAFF:** Pick up storm water from the west side of the proposed building by providing inlets/yard inlets or other appropriate storm sewer appurtenances. (T&ES)~~
 17. Provide a city standard handicapped access ramp at the drop off area on Sanger Avenue. (T&ES)
 18. ~~**CONDITION DELETED BY STAFF:** Clearly define the limits of the "site" for the worksheet B figures. (T&ES)~~
 19. ~~**CONDITION DELETED BY STAFF:** The proposed stormceptor shall treat a WQV so as to achieve pollutant load removal required per the worksheet. (T&ES)~~
 20. ~~**CONDITION DELETED BY STAFF:** Show the location of the proposed stormceptor on the plan. (T&ES)~~
 21. All plant specifications shall be in accordance with the current and most up to date edition of the American Standard For Nursery Stock (ANSI Z60.1) as produced by the American Association for Nurserymen, Washington, D.C. (P&Z)
 22. All work shall be performed in accordance with Landscape Specifications Guidelines 4th Edition as produced by the Landscape Contractors Association (LCA) of Maryland, District of Columbia and Virginia; Gaithersburg, Maryland. (P&Z)
 23. The applicant shall submit final "as-built" plan for the development prior to applying for certificate of occupancy permit for the addition. (P&Z)

24. The applicant shall attach a copy of the final released site plan to each building permit document application and be responsible for insuring that the building permit drawings are consistent and in compliance with the final released site plan prior to review and approval of the building permit by the Departments of Planning and Zoning and Transportation and Environmental Services. (P&Z)

Special use permits requested by the applicant and recommended by staff:

1. A special use permit to construct a nature/community center addition in the R-12 and POS Zones.
2. A special use permit to construct a 28 ft high nature center addition located in the POS zone.
3. A special use permit for a parking reduction.
4. A special use permit to extend the three existing classroom trailers for eighteen months or until the completion of the additional classrooms.

Staff Note: In accordance with section 11-506(c) of the zoning ordinance, construction or operation shall be commenced and diligently and substantially pursued within 18 months of the date of granting of a special use permit by City Council or the special use permit shall become void.

BACKGROUND:

The applicant, Alexandria City Public Schools, requests approval of a special use permit to construct an addition to the existing nature/community center and to convert an existing multi-purpose space within the school to 9 classrooms at the William Ramsay Elementary School at 5700 Sanger Avenue. The proposed addition to the nature center will also require special use permit approval to increase the height of a building within the POS zone. The proposed addition is located partially within the POS and partially within the R-12 zone. The additional classrooms are being provided for the students that are currently being accommodated in temporary on-site trailers. The applicant is also requesting an 18 month extension of the approval for the temporary trailers until the construction of the proposed classrooms can be completed. The proposal also requires approval of a parking reduction as discussed in more detail below.

The subject property consists of one lot of record of approximately 20 acres, with approximately 950 feet of frontage on Sanger Avenue, 875 feet on Beauregard Street, and 650 feet on N. Morgan Street. Zoning divides the site into three different categories: RA/Multifamily, R-12 Single Family, and POS/Public open space and community recreation zone. The site is currently occupied by the Ramsay Elementary School and Ramsay Recreation Center, recently completed in 2000, and the Ford Nature Center, located on the western portion of the site. The remainder of the site is open space consisting of recreational uses and natural areas. Access to the property is from Sanger Avenue. Holmes Run traverses the densely wooded western portion of the site. The property is surrounded by residential uses including the apartments and townhouses on the northern, eastern, and southern portion of the site, and single family houses to the west of Holmes Run.

Proposed Development:

The proposed addition to the nature center is an approximately 1,520 sq.ft. new addition that will be located on the northern portion of the site and will be a physical extension of the existing 1,020 sq. ft. nature center. The nature center renovations would also include 2,640 sq.ft. conversion of an existing multi-purpose room within the school. The new addition (1,520 sq.ft.) the multi-purpose room to nature center use (2,640 sq.ft.) and the existing nature center (1,020 sq.ft.) will result in a new recreation center that is 5,180 sq. ft.

The proposed addition will not result in a loss of existing trees on the site. The proposed nature center addition will provide a new entrance, a reading room, a small office, a meeting room, a gallery, a project room, a greenhouse, and an outdoor observation deck.

The 9 additional classrooms will not result in additional construction to the school but will rather be a conversion of an existing multi-purpose room. Required parking will be provided for the proposed classrooms. In addition to the request for the 9 new classrooms and the proposed nature

center addition, the applicant is also requesting approval to reconfigure and expand the existing surface parking lot on the northern portion of the site to provide an additional 32 parking spaces for the proposed classrooms and nature center space addition, and to provide separate student drop-off lanes for buses and automobiles. The total number of parking spaces including the 32 spaces proposed by the applicant will be 119 spaces.

The proposed school and nature center uses are consistent with the Alexandria West small area plan chapter of the Master Plan which designates the property for institutional uses.

Zoning:

The zoning characteristic of the development are summarized in the table below:

RAMSAY ELEMENTARY SCHOOL, RECREATION CENTER, AND FORD NATURE CENTER		
Property Address:	5700 Sanger Avenue	
Total Site Area:	19.9 acres	
Zones:	R-12/Residential-Single Family, RA/Residential-Multifamily, and POS/Public Open Space	
Current Use:	Public Elementary School, Recreation Center, and Nature/Community Center	
Proposed Use:	Public Elementary School, Recreation Center, and Nature/Community Center	
	<u>Permitted/Required</u>	<u>Proposed</u>
FAR*	R-12: .30	.27
Yards*	front: 35'(R-12) side: 20' (POS)	front: N/A side: 160'
Height*	POS: 15' (30' w/ SUP)	28' from average finished grade [SUP requested for height in POS]
Open Space	none	none
Parking	44 (25 seat classrooms) 82 (recreation center) <u>26 (nature center)</u> 152 spaces <u>-38 space existing parking reduction</u> Total 114 parking spaces	119 parking spaces
* Most restrictive of the R-12, RA, and POS Zone requirements.		

STAFF ANALYSIS:

Staff supports the approval of the nature center addition, school classrooms and additional parking subject to a number of recommendations outlined within the staff report to provide additional

landscaping/screening for the site and additional refinement of the architectural treatment of the proposed nature addition. The added classrooms will enable the school to provide classrooms within the building and to eliminate the three temporary classroom trailers that are currently located on the site. The addition to the nature center will enable the center to better meet the needs of users of the facility by providing a meeting, display and demonstration areas, and work space.

Parking/Circulation

A goal of the School and City staff from the onset of the project was to provide the required parking for the proposed addition and classrooms and revise the circulation to provide better separation between the school bus circulation and the visitor, parent drop-off for the site, while also retaining the existing large trees and open space on the site. Throughout the development process, the School staff have worked extensively with City staff on the current site plan to meet the programming needs of the school and providing additional parking while also retaining the open space, parkland and trees on the site.

To address the issue of separating the bus loading/unloading from general traffic, the applicant is proposing a one-way drive aisle that will be primarily dedicated to the on-site loading/unloading of the buses, the bus drive aisle will allow students to be dropped off and picked up within the site separated from vehicular circulation and provide bus stacking capacity for the expected number of buses. While there are several ninety-degree parking spaces adjacent to the bus aisle, these spaces will be utilized by teachers/employees to avoid conflicts during the morning and afternoon bus loading/unloading.

Technically the applicant is requesting a parking reduction because there is an existing 38 spaces reduction for the site due to the 16,335 sq.ft. recreational facility on the southeast portion of the school building that was approved in 1998 (DSUP #98-0009). Therefore, although the applicant is providing the parking required for the proposed addition and classrooms, because the school is one lot, the previously approved parking reduction carries forward with the current application.

The applicant proposes to increase the number of parking spaces by 32 spaces to accommodate a total of 119 surface parking spaces on site. With the proposed addition, the entire 5,180 sq ft center nature center will require 26 parking spaces. The applicant estimates that between 20 - 200 patrons per week will visit the expanded facility. Between 4 - 12 employees will work at the nature center depending upon the scheduled events. The nature center will generally operate Monday through Saturday between the hours of 10 A.M. and 5 P.M., with occasional operations for special Sunday programs. The applicant states that there will be no increase in student population due to this proposed construction. The new classroom space will be constructed to accommodate existing student population now housed in trailers. The additional parking spaces also provide the required parking spaces for the 9 proposed classrooms, as well as 26 spaces required for the nature center.

The additional parking spaces will benefit the school and nature facility by providing additional parking for employees and visitors, a portion of which is often currently accommodated on the adjoining public street (Sanger Avenue), especially during school hours. Inspection of the site reveals that parking for approximately 28 spaces are available during the day on the east side of Sanger Avenue and approximately 49 spaces on both sides of Sanger Avenue on evenings and weekends. These parking spaces currently supplement the on-site parking for the school, recreation center and nature center uses. The additional parking also provides an opportunity for some shared parking between the school and the recreation center. The recreation center is traditionally busier during the late afternoon and evening hours, as well as during the weekend, when school is not in session and therefore many of the parking spaces will be available for use by the recreation center.

Temporary On-Site Trailers

The applicant is requesting an extension of the existing special use permit approval for the three temporary classroom trailers on the site. The school intends to remove the trailers as soon as the newly constructed classrooms can be occupied. The applicant indicates that they intend to begin construction in the summer of 2003.

On May 16, 1998, City Council approved Special Use Permit #98-0029 to allow the installation of one temporary classroom trailer for two years or until June 2000. On May 15, 1999, City Council approved Special Use Permit # 99-0027 which allowed two additional trailers and required all trailers to be removed by July 1, 2000. On June 17, 2000, City Council granted Special Use Permit #2000-0066 allowing an extension of approval for the trailers of one year's time. On May 1, 2001, City Council approved Special Use Permit #2001-0019 to allow extension for the three trailers to remain in use until October 1, 2002. Approval of this special use permit will allow the trailer to remain on the site for an additional 18 months from the date of approval.

This proposal is consistent with the updated Trailer Plan for Alexandria City Public Schools as submitted to the Director of Planning and Zoning in November 2002. Section 7-1101(C) of the Zoning Ordinance allows temporary classroom trailers with a special use permit in these residential zones. Section 6-105 allows these trailers in the public open space zone until June 30, 2006, after which time they must be removed. Staff has no objection to extending the operation of the three existing temporary classroom trailers in their present locations until the proposed classroom space can be completed.

SUP for height increase above 15 ft in the POS Zone

A portion of the existing nature center structure and proposed additions are located in the Public Open Space (POS) Zone that covers the western portion of the site. The proposed addition only

modestly expands the existing building footprint, but the proposed height (28 ft.) of the proposed addition exceeds the permitted 15 ft height limit (up to 30 ft. w/SUP), therefore the applicant requests a special use permit for the increased height in the POS Zone. The majority of the structure added within the POS Zone consists of one-story additions to the nature center. A two-story gallery for the nature center will be housed in the renovated space that is as tall as 28 ft.

The intent of the height limit is to retain the natural character within the POS, staff believes the additional height permitted only for a portion of the addition is consistent with the intent of the POS zone and will benefit the facilities of the nature center. The proposed height and minimal loss of open space do not negatively impact the quality of the adjacent open space and therefore staff recommends approval.

Staff Recommendation:

Staff recommends **approval** of the proposed development special use permit applications with the conditions outlined within the staff report, the proposal will enhance the existing nature center and school. The proposal will also enable the temporary classroom trailers to be eliminated, and will improve parking and circulation while also providing additional landscaping/screening.

STAFF: Eileen Fogarty, Director, Department of Planning and Zoning;
Jeffrey Farner, Urban Planner;
Stephen Milone, Urban Planner.

CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F - finding

Planning & Zoning:

- F-1 Site plan indicates existing sign near project area will be removed. Indicate what type of sign will be removed and if it will be relocated elsewhere on the property.
- F-2 Add the submitted zoning tabulation to the final site plan sheets.
- F-3 Update contextual site map on page C-101 to show proposed elementary school and nature center additions. Map submitted was copied from previous approvals and shows "proposed" recreation center additions long ago approved and built.
- F-4 Existing nature center is mislabeled "Existing Recreation Center" on plan pages C-102 to C-105 and C-108.
- F-5 General notes #34 and 50, on archaeology, are redundant. Eliminate the redundancy by clarifying the two separate notes or eliminating one note.
- F-6 Correct General Note #3 to reflect that the 100 yr flood plain covers part of the site.
- F-7 Eliminate the General Note #6 that states that no RPAs are on site.

Transportation & Environmental Services:

- C-1. The applicant must comply with the City of Alexandria's Noise Control Code, Chapter 11, Section 5, which sets the maximum permissible noise level as measured at the property line.
- C-2 The applicant must comply with the Chesapeake Bay Preservation Act in accordance with Article XIII of the City's zoning ordinance for storm water quality control.
- C-3 The applicant must comply with the City of Alexandria, Erosion and Sediment Control Code, Section 5, Chapter 4.

Code Enforcement:

- C-1 Verify that the fire access road is not impaired by the proposed construction. Response states that access will be maintained. Condition shall be included on plan notes. No construction

staging or materials shall be located in the access road at any time.

- C-2 Show the location of all exits from the addition/alteration area.
Condition Met.
- C-3 Provide a handicapped entrance to this facility and handicapped parking adjacent to this entrance. Handicap entrance is not clearly identified on plan. Clearly identify handicap access on sheets C102 and C103.
- C-4 This project requires construction permits and the submission of construction documents for review and approval.
- C-5 A soil investigation report shall be submitted with the construction permit.

Virginia American Water Company:

- F-1 Water service is available for domestic use and fire protection.
- C-1 There appears to be two existing fire hydrants on site. Please show all existing water facilities on site (route of existing water, connections to existing hydrants, etc.)
- C-2 Show the existing eight-inch water main in Sanger Avenue on the site plan.
- C-3 Call out the 8" x 6" wet tap as well as any fittings, bends, etc. on the site plan.
- C-4 If any new domestic services are required, please show them as separate connections to the water main in Sanger Avenue.
- C-5 A double-detector check backflow prevention device is required on all fire services. If located inside the premise, it must have a remote reading meter in a separate accessible room.

Health Department:

No comment.

Historic Alexandria (Archaeology):

- F-1 Low potential for significant archaeological resources to be disturbed. No archaeological action required.

Housing:

No comment.

Recreation, Parks and Cultural Activities (Arborist):

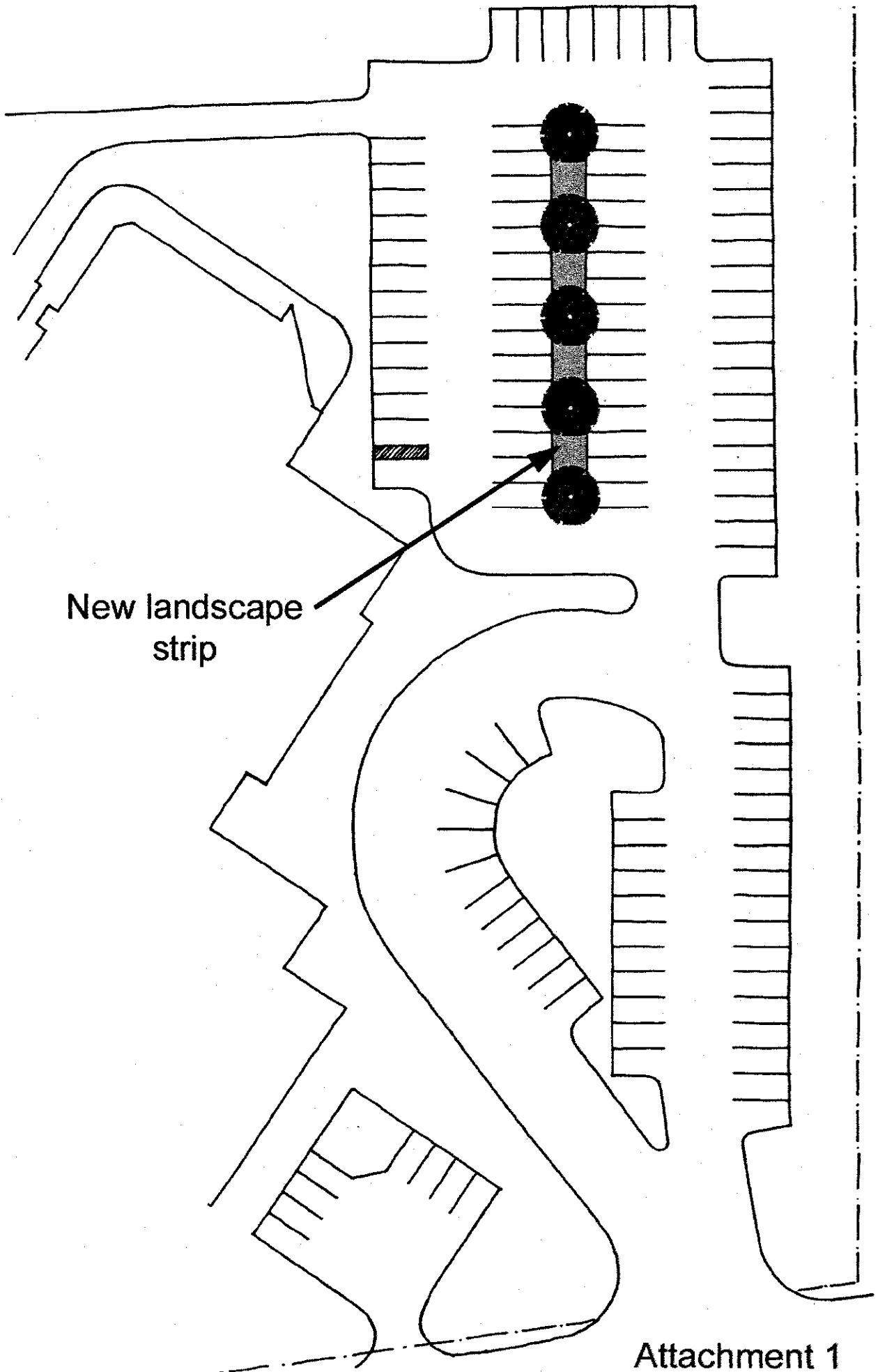
- R-1 The tree preservation for the Beech Tree (large tree in the back of the site) needs to run along the existing pavement, not at the drip line, as previously recommended. This will allow for an additional few feet of breathing space for the tree.
- R-2 The tree preservation fence for the Beech needs to be Board on Board Batten fencing and extend along three sides of the tree, outside of the drip line, leaving the south side open.
- R-3 The six foot high construction fence needs to be located on the north side of the tree preservation fencing, inside the limits of construction.
- R-4 The limits of construction line needs to be revised to graphically represent the Beech tree correctly. The line should not follow the drip line around the outside of the tree. The *tree* needs to remain outside of the limits of construction; the line should go along the pavement edge, adjacent to the tree preservation symbol and the construction fence symbol.
- R-5 Please relocate the label for the observation deck outside the Beech tree symbol. It is confusing, and appears that the deck is close to the tree.

Police Department:

- F-1 No lighting plan submitted

The following recommendation related to lighting has not been included as conditions; rather, staff has recommended that the applicant prepare a lighting plan to the satisfaction of the Director of T&ES in consultation with the police, which will likely result in lower lighting levels than those desired by the Police.

- R-1 Maintain a minimum of 2.0 foot candles in the parking lots, sidewalks and common areas. **(Not recommended by P&Z)**



New landscape strip

Attachment 1

ZONING TABULATION:

ITEM	REQUIRED/PERMITTED	EXISTING	PROPOSED/PROVIDED
USES:	PUBLIC SCHOOL COMMUNITY CENTER REC. FACILITIES (W/ SPECIAL PERMIT)	PUBLIC SCHOOL , NATURE CENTER, RECREATION CENTER	PUBLIC SCHOOL , NATURE CENTER, RECREATION CENTER
LOT AREA R-12 & RA POS		391,169 S.F. (8.98 AC) 433,422 S.F. (9.95 AC)	
MINIMUM FRONTAGE	80' INTERIOR 95' CORNER MIN. 75' AT FRONT LOT LINE		
MIN. YARD REQ. (R-12)			
FRONT YARD	35'-0"	35'-0"	15'+-
SIDE YARD	10' OR 1/2 BLDG. HGT. WHICHEVER IS GREATER	25'-0"	60'+-
REAR YARD	10' OR BLDG. HGT, WHICHEVER IS GREATER	25'-0"	
MAXIMUM BUILDING HEIGHT	35'-0"		
PUBLIC SCHOOL			
NATURE CENTER			
RECREATION CENTER			
FLOOR AREA (S.F.):		GROSS/NET	
PUBLIC SCHOOL		86,415 / 80,873	88,810 / 82,138
NATURE CENTER		1,033 / 1,021	5,214 / 5,180
RECREATION CENTER		18,150 / 16,335	18,150 / 16,335
FLOOR AREA TOTAL (S.F.)		105,598 / 98,229	112,140 / 103,687
FLOOR AREA RATIO (F.A.R.)			
ZONE R-12	0.30	22.7	26.5
ZONE RA	0.75		
ZONE POS	N/A		
AVERAGE FINISHED GRADE			
PUBLIC SCHOOL			
NATURE CENTER			
RECREATION CENTER			
OPEN SPACE	479,083		
PARKING SPACES		87	
PUBLIC SCHOOL	1 PER 25 STUDENTS		5 (120 STUDENTS)
NATURE CENTER	1 PER 200 S.F.		26 (5180 SF)
RECREATION CENTER			
LOADING SPACES	1	1	1
STUDENT POPULATION		591 (SCHOOL YR. 2002-03)	591
FACULTY/ STAFF		61	61
BUSES		4	4

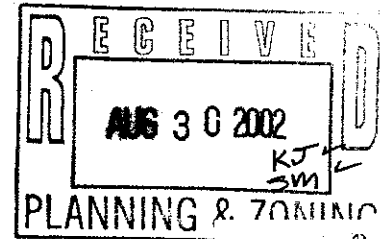
Learning to Live • Loving to Learn



Alexandria City Public Schools

FAX MEMORANDUM

DSUP 2002-0005



DATE: August 28, 2002

TO: Barbara Ross, Deputy Director
Planning and Zoning

FAX NUMBER: 703- 683-6393

FROM: Mark F. Krause, *Mark F. Krause*
Supervisor of Design and Construction
Educational Facilities Department

PHONE NO: (703) 824-6686 **FAX NO:** (703) 820-8491

SUBJECT: William Ramsey Elementary School
Special Use Permit #2001-0019

MESSAGE: As we have discussed, we have made a site plan submission and application for an addition at Ramsey Elementary School and the Ford Nature Center, located at 5700 Sanger Avenue. Please construe this application to be a request for an extension of the Special Use Permit for the classroom trailers currently on site.

The proposed construction project will provide new classrooms to replace those in the trailers. We plan to remove the classroom trailers from the site upon the completion of the construction and occupancy of the new classrooms.

Please contact me if you have any questions concerning this. Thank you for your help in this matter.

2000 N. Beauregard Street
Alexandria, Virginia 22311

Telephone: (703) 824-6600
Facsimile: (703) 824-6699
TDD: (703) 824-6666
www.acps.k12.va.us

Superintendent of Schools
Rebecca L. Perry

School Board

Chairman
Mark R. Eaton

Vice Chairman
Susan J. Johnson

Members
Sally Ann Baynard

Linda D. Cheatham

Mary M. Danforth

V. Rodger Digilio

Dan D. Goldhaber

Stephen J. Kenealy

Mark O. Wilkoff

Ramsay School & Ford Nature Ctr.
5700 Sanger Av
DSUP #2002-0005
s milone

Number of sheets being transmitted including this page: One

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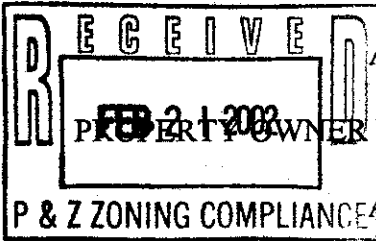
APPLICATION for
DEVELOPMENT SPECIAL USE PERMIT with SITE PLAN
DSUP # 2002-0005

PROJECT NAME: RAMSAY ELEMENTARY SCHOOL / FORD NATURE CENTER ADDITION

PROPERTY LOCATION: 5700 / 5650 SANGER AVENUE

TAX MAP REFERENCE: TAX MAP 28 ZONE: R12/RA/POS

APPLICANT Name: JERRY EASTRIDGE for Alex. City Public Schools



Address: 21351 RIDGETOP CIRCLE DULLES, VA 20166

PROPERTY OWNER Name: ALEXANDRIA CITY PUBLIC SCHOOLS

Address: 2000 N. BEAUREGARD ST. ALEXANDRIA, VA 22311

SUMMARY OF PROPOSAL: CITY OF ALEXANDRIA SCHOOLS PROPOSE RENOVATIONS AND A SMALL ADDITION TO RAMSAY ELEM. SCHOOL & FORD NATURE CENTER

MODIFICATIONS REQUESTED: TO PERMIT EXPANSION OF THE EXISTING NATURE CENTER IN CONTEXT OF THE MIX OF SITE USES.

SUP's REQUESTED:

THE UNDERSIGNED hereby applies for Development Site Plan, with Special Use Permit, approval in accordance with the provisions of the Zoning Ordinance of the City of Alexandria, Virginia.

THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article XI, Section 11-301 (B) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

THE UNDERSIGNED also attests that all of the information herein provided and specifically including all surveys, drawings, etc., required of the applicant are true, correct and accurate to the best of his knowledge and belief.

JERRY EASTRIDGE
ALPHA CORPORATION
Print Name of Applicant or Agent

Signature

21351 RIDGETOP CIRCLE
Mailing/Street Address

(703) 450-0800 (703) 450-0078
Telephone # Fax #

DULLES VA. 20166
City and State Zip Code

1/10/02
Date

DO NOT WRITE BELOW THIS LINE - OFFICE USE ONLY

Application Received: 2-21-02
Fee Paid & Date: \$

Received Plans for Completeness:
Received Plans for Preliminary:

ACTION - PLANNING COMMISSION:

ACTION - CITY COUNCIL:

RAMSAY SCHOOL + FORD NATURE CTR.

NARRATIVE DESCRIPTION

2. The applicant shall describe below the nature of the request in detail so that the Planning Commission and City Council can understand the nature of the operation and the use, including such items as the nature of the activity, the number and type of patrons, the number of employees, the hours, how parking is to be provided for employees and patrons, and whether the use will generate any noise. If not appropriate to the request, delete pages 4-7.
(Attach additional sheets if necessary)

The primary function of the addition will be used as a school and nature center.

The school portion will be used for educating elementary students and the nature center portion will function as an education center / museum for the public.

The school portion will have approximately (135) students and (9) staff members

Monday - Friday between 8am and 3pm. The nature center side will have approximately 20-200 patrons and 4-12 staff members Monday - Saturday (sometimes Sunday on special occasions) between the hours of 10am and 5pm.

Additional parking will be added to accommodate the occupancy increase from the addition. The addition will provide no extra noise currently being generated by the existing building.

Development Special Use Permit with Site Plan (DSUP) # 2002-0005

3. How many patrons, clients, pupils and other such users do you expect?
Specify time period (i.e., day, hour, or shift).

School addition: 135 / day

Nature Center Addition: 20-200 / day

4. How many employees, staff and other personnel do you expect?
Specify time period (i.e. day, hour, or shift).

School addition (9) full time / day

Nature Center Addition (6) full time (4-6) Part/Seasonal/Day

5. Describe the proposed hours and days of operation of the proposed use:

Day	Hours	Day	Hours
School Addition Mon-Fri	8am - 3pm		
Nature Center Addition Mon-Sat	10am - 5pm		
	*Sunday on special occasions		

6. Describe any potential noise emanating from the proposed use:

- A. Describe the noise levels anticipated from all mechanical equipment and patrons.

None

- B. How will the noise from patrons be controlled?

Staff supervisors by School and Nature Center.

7. Describe any potential odors emanating from the proposed use and plans to control them:

None

Development Special Use Permit with Site Plan (DSUP) # 2002-0005

8. Provide information regarding trash and litter generated by the use:

A. What type of trash and garbage will be generated by the use?

Paper School and Nature Center

B. How much trash and garbage will be generated by the use?

School addition - 7 bags per day

Nature Center Addition - 7 bags per day

C. How often will trash be collected?

Daily by both School and Nature Center staff.

Daily by City Sanitation staff.

D. How will you prevent littering on the property, streets and nearby properties?

Staff supervision by School and Nature Center.

9. Will any hazardous materials, as defined by the state or federal government, be handled, stored, or generated on the property?

Yes. No.

If yes, provide the name, monthly quantity, and specific disposal method below:

10. Will any organic compounds, for example paint, ink, lacquer thinner, or cleaning or degreasing solvent, be handled, stored, or generated on the property?

Yes. No.

If yes, provide the name, monthly quantity, and specific disposal method below:

11. What methods are proposed to ensure the safety of residents, employees and patrons?

Staff supervision and signage

ALCOHOL SALES

12. Will the proposed use include the sale of beer, wine, or mixed drinks?

Yes. No.

If yes, describe alcohol sales below, including if the ABC license will include on-premises and/or off-premises sales. Existing uses must describe their existing alcohol sales and/or service and identify any proposed changes in that aspect of the operation.

PARKING AND ACCESS REQUIREMENTS

13. Provide information regarding the availability of off-street parking:

A. How many parking spaces are required for the proposed use pursuant to section 8-200 (A) of the zoning ordinance?

Existing: 87 spaces 6 new classrooms: 5 spaces 4516SF - new Nature Center: 23 spaces

B. How many parking spaces of each type are provided for the proposed use:

112 Standard spaces
--- Compact spaces
3 Handicapped accessible spaces.
--- Other.

Development Special Use Permit with Site Plan (DSUP) # 2002-0005

- C. Where is required parking located? (check one) on-site off-site.

If the required parking will be located off-site, where will it be located:

(3)handicapped spaces located off-site adjacent to property.

Pursuant to section 8-200 (C) of the zoning ordinance, commercial and industrial uses may provide off-site parking within 500 feet of the proposed use, provided that the off-site parking is located on land zoned for commercial or industrial uses. All other uses must provide parking on-site, except that off-street parking may be provided within 300 feet of the use with a special use permit.

- D. If a reduction in the required parking is requested, pursuant to section 8-100 (A) (4) or (5) of the zoning ordinance, complete the PARKING REDUCTION SUPPLEMENTAL APPLICATION.

14. Provide information regarding loading and unloading facilities for the use:

- A. How many loading spaces are required for the use, per section 8-200 (B) of the zoning ordinance? zero

- B. How many loading spaces are available for the use? one

- C. Where are off-street loading facilities located? in rear courtyard

- D. During what hours of the day do you expect loading/unloading operations to occur?

8-5:00

- E. How frequently are loading/unloading operations expected to occur, per day or per week, as appropriate?

two per day

15. Is street access to the subject property adequate or are any street improvements, such as a new turning lane, necessary to minimize impacts on traffic flow?

existing is adequate



Ramsay School & Ford Nature Ctr.
5650 Sanger Av
DSUP #2002-0005

sam

ALPHA CORPORATION

21351 Ridgetop Circle, Ste 200 Dulles, VA 20166 (703) 450-0800 Fax (703) 450-0043

MEMO

Project Reference: Ramsey Elementary School and Ford Nature Center Addition, 2255.000
Date: July 29, 2002
To: Stephen Milone
From: Jerry Eastridge
CC: Francesco Lauretti, File

35% Comment Response

The following are the responses to the 35% Design Review Comments.

- 1a. **Comment:** Site plan submission is inconsistent and shows insufficient information or detail to evaluate proposal. Provide those sheets necessary to illustrate site area work, and basic architectural information, including elevations. Provide all plan sheets in one concise plan package set that includes the following:
- Revise site plan to show legal lot lines for each parcel of the site. City Real Estate records show that the subject site is comprised of approximately five lots of record. Show course and distances of property lines. (P&Z)
- Response:** We have revised the site plan to show legal lot lines for each parcel of the site including course and distances and is shown on sheet C101.
- 1b. **Comment:** Revise zoning tabulations in chart form showing permitted, existing, provided and proposed floor area calculations related to the existing school, recreation center and nature center. Show floor area calculations related to the school addition and community nature center addition as separate sub-totals. (P&Z)
- Response:** The zoning tabulations have been revised and are shown on sheet C101. See architectural drawings for basic architectural information.

- 1c. **Comment:** Revise zoning tabulations to clearly show that floor area of existing buildings and additions are supported on the R-12 lot. Show FAR in relation to the combination of R-12 and RA lot or lots as necessary. (P&Z)
- Response:** Zoning tabulations have been revised to show FAR in relation to the R-12 lot and RA lot as shown on sheet C101.
- 1d. **Comment:** Submit contextual site plan showing existing conditions of entire complex site and how it relates to the surrounding parcels, roadways, pedestrian paths and buildings, including grade elevations. (P&Z)
- Response:** A contextual site plan has been provided and is shown on sheet C101.
2. **Comment:** Provide the information indicated on the attached checklist and outlined in the comments. (T&ES)
- Response:** The information has been provided.
3. **Comment:** Provide history of development approvals for each of the parcels of the site complex. (P&Z)
- Response:** History of development includes approval for the construction of the addition to the school in 1961, approval of nature center construction in 1989, and approval of the recreation center in 1999.
4. **Comment:** Submit landscape plan and other plan sheets referenced in plan page C103 but not submitted. Indicate tree canopy coverage removed and installed on the landscape plan sheet. (P&Z)
- Response:** Landscape plans have been provided including removal of tree canopy as shown on sheet C108.
5. **Comment:** Show limits of Resource Protection Area (RPA) Delineation for Holmes Run and Wetland area. (P&Z) (T&ES)
- Response:** Limits of Resource Protection Area delineation for Holmes Run has been provided as shown on sheet C102.
6. **Comment:** Clearly identify any existing trees that measure 10" or more in diameter on the site and landscape plan sheets that are to be removed or that are located in close proximity (within at least 30' of any ground disturbance or any areas effected by potential regarding) of the proposed school and nature center additions and parking lot expansion. (P&Z)
- Response:** To the best of our knowledge there aren't any trees greater than 10" in diameter.
7. **Comment:** Submit plans at a larger scale, such as 1" to 20' versus 1" to 40' submitted, to sufficiently show detail. Eliminate labeling conflicts and double labels that make the plans difficult to read. (P&Z)
- Response:** Plans are to be submitted at a 1" = 30'-0" scale.
8. **Comment:** Show building dimensions on plans. (P&Z)
- Response:** Building dimensions have been provided as shown on sheet C103.

9. **Comment:** Label dimensions on site plan for parking spaces, drive aisle widths, entrances and traffic circulation constrictions. Label the number of parking spaces on site plan for proposed work. (P&Z) (T&ES)
Response: Dimensions for parking spaces, drive aisle widths, entrances, traffic circulation constrictions, and the number of parking spaces have been provided on sheet C103 and construction note no. 5.
10. **Comment:** Eliminate difference in plans between number of parking spaces shown on proposed site plan and number listed on page C101 of plan submission. (P&Z)
Response: The plans have been revised to allow for 111 parking spaces as shown on sheet C103.
11. **Comment:** Clarify if the existing 3 parallel parking spaces along the curb of the bus drop-off area are to remain or be removed. Note that the last pre-submitted plan reviewed by T&ES (October 2001) did not show these 3 parallel parking spaces are remaining. (T&ES)
Response: These spaces are to be removed.
12. **Comment:** Clarify that the width of the entrance into the rear parking lot is adequate to accommodate the right turn of traffic exiting from the parent drop-off area. Show turning movement on plan. (P&Z) (T&ES)
Response: The width of the entrance into the rear parking lot is adequate to accommodate the right turn of traffic exiting from the parent drop-off area. The turning movement is shown on sheet C103.
13. **Comment:** Show turning radius of buses on the plan. Note that the last pre-submittal plan reviewed by T&ES (October 2001) showed 2 options for the drive aisle width (24' and 30'), but the plan did not depict any bus turning radii at the most restrictive turning movement, which is at the "start" of the loop. Therefore, TES could not confirm which drive aisle width provided adequate turning movement for the buses.
Response: The turning radius of buses has been provided on sheet C103.
14. **Comment:** Clarify how the school will manage the use of the parking spaces located on the bus drop-off area. (P&Z) (T&ES)
Response: These spaces are to be removed.
15. **Comment:** Include BMP worksheets B, C, and E. (T&ES)
Response: Appropriate worksheets will be provided as shown on sheet C106.
16. **Comment:** Indicate whether there are underground storage tanks on site, and if so, their location. (T&ES)
Response: To the best of knowledge there aren't any storage tanks on-site.
17. **Comment:** Indicate if rooftop mechanical equipment is proposed. Show method and materials for screening. (P&Z)
Response: Refer to arch. Plans for mechanical equipment.
18. **Comment:** Show location of any proposed and/or required transformers, mechanical equipment, and refuse facilities. Show method and materials for screening from public view. (P&Z)

- Response:** Transformer has been shown on sheet C102.
19. **Comment:** Correct address on plans and on future correspondence use correct address of 5700 Sanger Avenue. The address 5650 Sanger Avenue is the address of the recreation center of the east side of building. (P&Z)
- Response:** The address has been changed to 5700 Sanger Avenue.

FINDINGS

1. **Comment:** The subject plan is incomplete and unacceptable for review as a preliminary development plan for Section 11-406 of the zoning ordinance.
- Response:** We have reviewed the zoning ordinance and have revised the plans.
- 2a. **Comment:** The Division of Environmental Quality reminds that applicant that the following provisions of the Alexandria City Code are applicable to this project:
- The applicant must comply with the City of Alexandria's Noise Control Code, Chapter 11, Section 5, which sets the maximum permissible noise level as measured at the property line.
- Response:** The maximum permissible noise level has been reviewed and will be complied with.
- 2b. **Comment:** The applicant must comply with the Chesapeake Bay Preservation Act in accordance with Article XIII of the City's zoning ordinance for storm water quality control.
- Response:** The Chesapeake Bay Preservation Act Article XIII of the City's zoning ordinance for storm water quality control has been reviewed and will be complied with.
- 2c. **Comment:** The applicant must comply with the City of Alexandria, Erosion and Sediment Control Code, Section 5, Chapter 4.
- Response:** the City of Alexandria, Erosion and Sediment Control Code, Section 5, Chapter 4 has been reviewed and will be complied with.
- 2d. **Comment:** Developer's Engineer should use new Engineer's and Surveyors Institute (ESI) checklist and the City's standard notes to prepare final site plans.
- Response:** ESI checklist has been reviewed and will be complied with.

ISSUES

1. **Comment:** Tree protection to be installed as specified in the City of Alexandria Landscape Guidelines. Specifically, 4" x 4" posts installed in the ground 8' on center with two 1" x 6" battens placed horizontal post to post. (RPCA)
- Response:** Tree protection has been provided and is shown on sheets C104 and C105.
2. **Comment:** Expand tree protection area around specimen beech tree. Place tree protection at edge of existing emergency vehicle access pavement. (RPCA)
- Response:** Tree protection area has been extended around the specimen beech tree as shown on sheets C104 and C105.

3. **Comment:** The proposed Student Drop-Off area does not provide acceptable traffic circulation. Existing parking spaces need to be removed to create a drive aisle. Note that the last pre-submission plan reviewed by T&ES (October 2001) showed a proposed drive aisle with the removal of 4 existing parking spaces. (P&Z) (T&ES)
- Response:** These spaces have been removed.

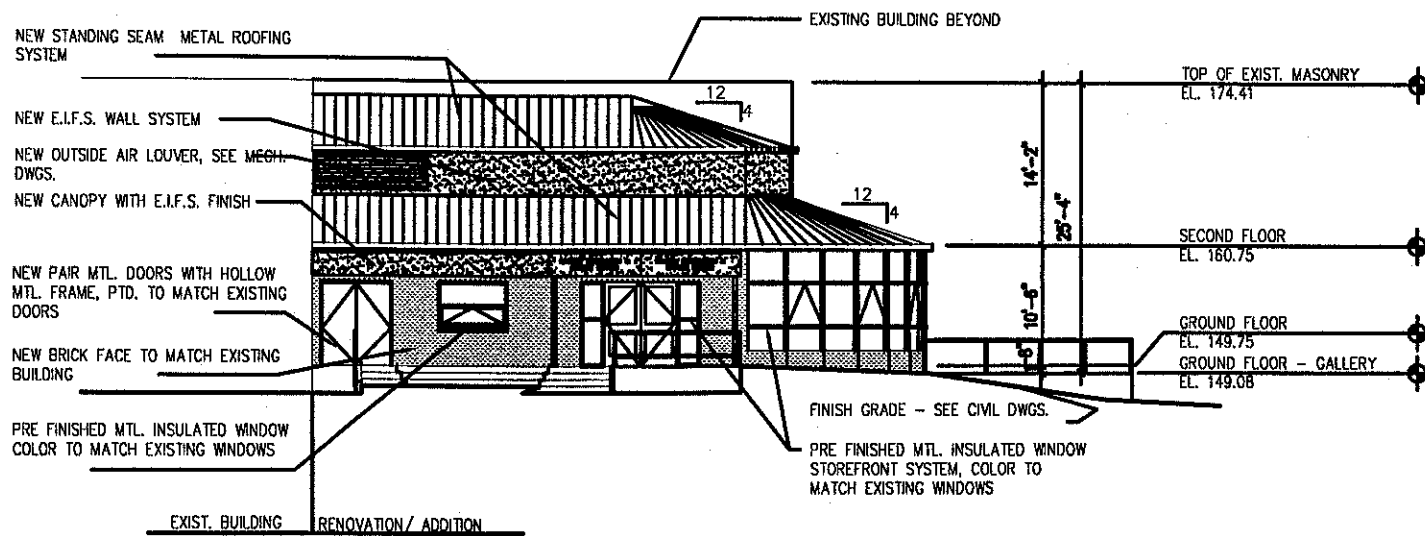
CODE ENFORCEMENT ISSUES

1. **Comment:** Verify that the fire access road is not impaired by the proposed construction.
- Response:** Proposed construction does not impair fire access road.
2. **Comment:** Show the location of all exits from the addition/alteration area.
- Response:** All exit locations have been provided for the addition/ alteration area.
3. **Comment:** Provide a handicapped entrance to this facility and handicapped parking adjacent to this entrance.
- Response:** A handicapped entrance exists and is shown on sheet C102.
4. **Comment:** This project requires construction permits and the submission of construction documents for review and approval.
- Response:** Construction documents will be submitted and construction permits applied for.
5. **Comment:** A soil investigation report shall be submitted with the construction permit.
- Response:** Owner to request soil investigation report.

ADDITIONAL REQUIREMENTS

1. **Comment:** Submit a minimum of 40 folded copies of the revised plan drawings. (P&Z)
- Response:** 40 folded copies of the revised plan drawing are being provided with this submission.
2. **Comment:** Submit a transmittal response letter identifying compliance with the request for additional information and materials required to complete the application. (P&Z)
- Response:** Will Comply
3. **Comment:** Provide one reproducible copy each of the site development plan, landscape plan and building elevations at 8 1/2" x 11". (P&Z)
- Response:** This information is provided in this document.
4. **Comment:** Application fees are waived for this application by a City agency. (P&Z)
- Response:** No response required.

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NORTH ELEVATION

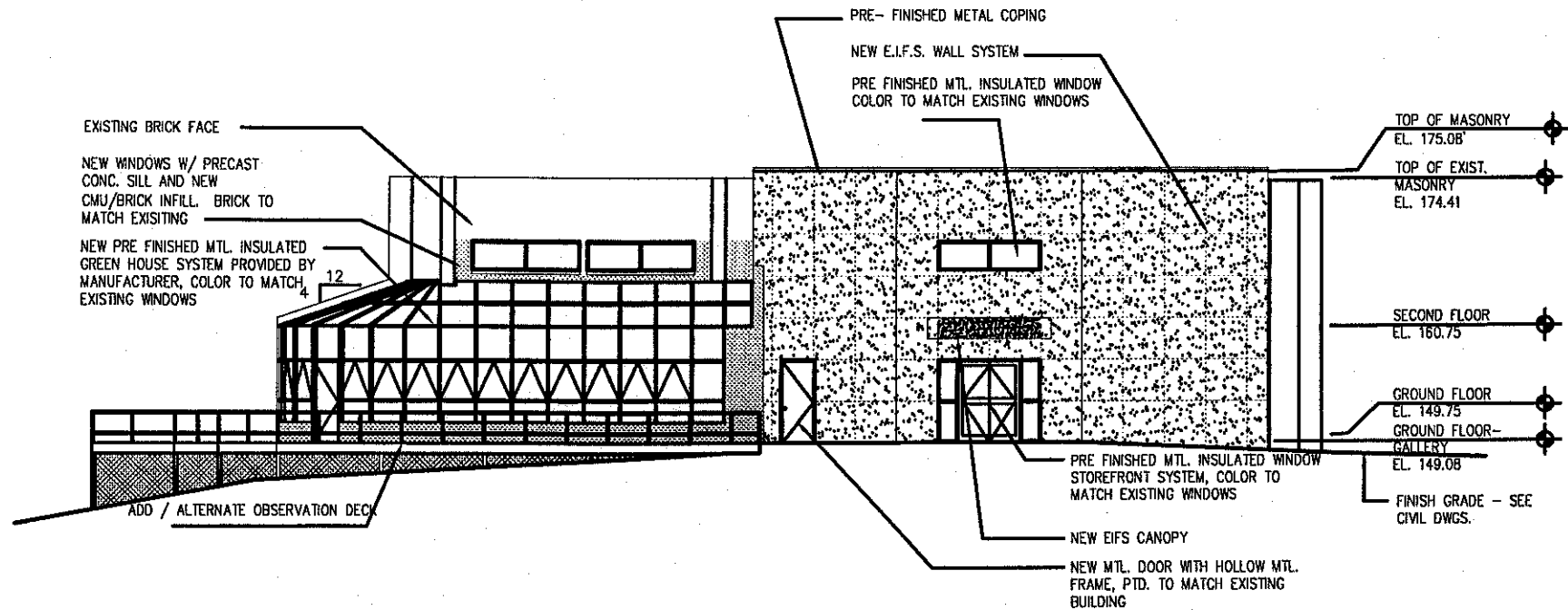
WILLIAM RAMSAY ELEMENTARY SCHOOL AND BUDDIE
 FORD NATURE CENTER
 JULY 26, 2002



PECK PECK AND ASSOCIATES, INC.
 architecture planning graphics interiors
 2050 OLD BRIDGE ROAD WOODBRIDGE, VIRGINIA (703)690-3121

Ramsay School & Ford Nature Ctr.
 5650 Sanger Av
 DSUP #2002-0005
 sam

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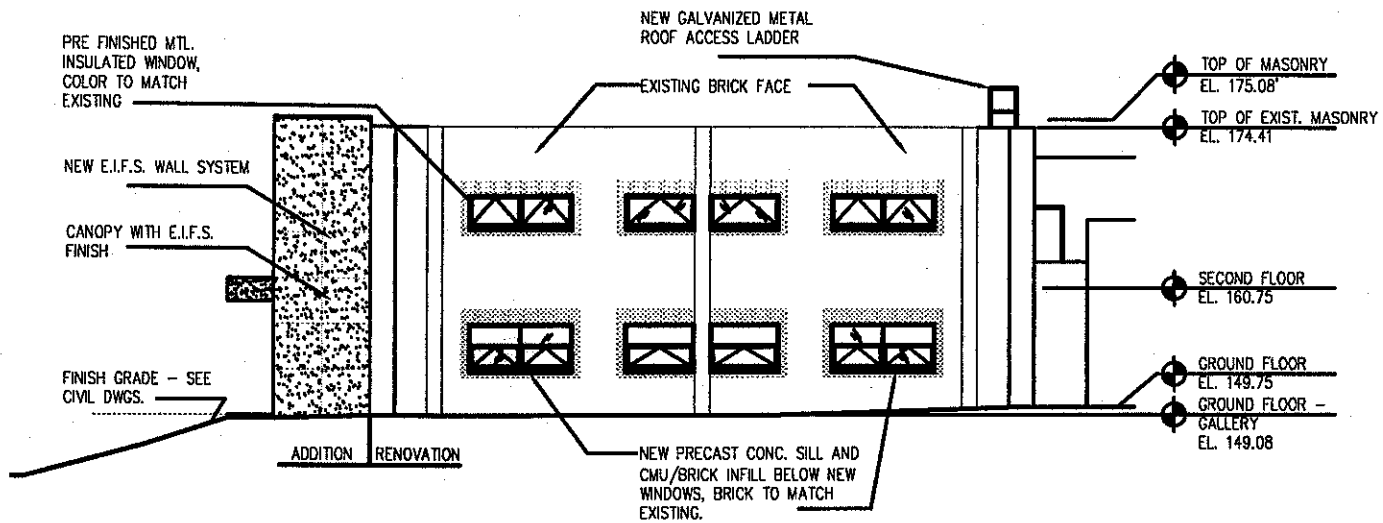


SOUTH ELEVATION

WILLIAM RAMSAY ELEMENTARY SCHOOL AND BUDDIE
 FORD NATURE CENTER
 JULY 26, 2002



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EAST ELEVATION

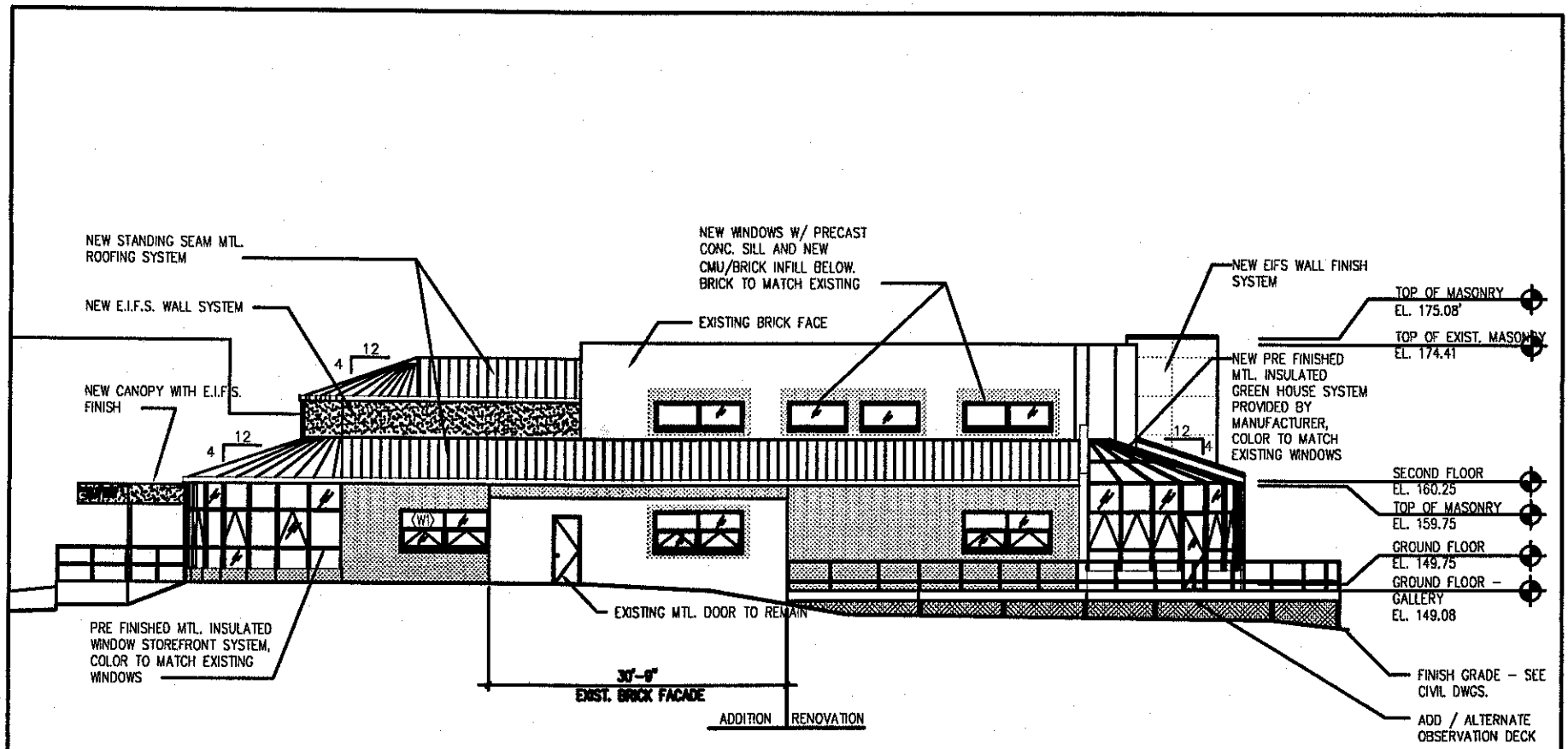
WILLIAM RAMSAY ELEMENTARY SCHOOL AND BUDDIE
 FORD NATURE CENTER
 JULY 26, 2002



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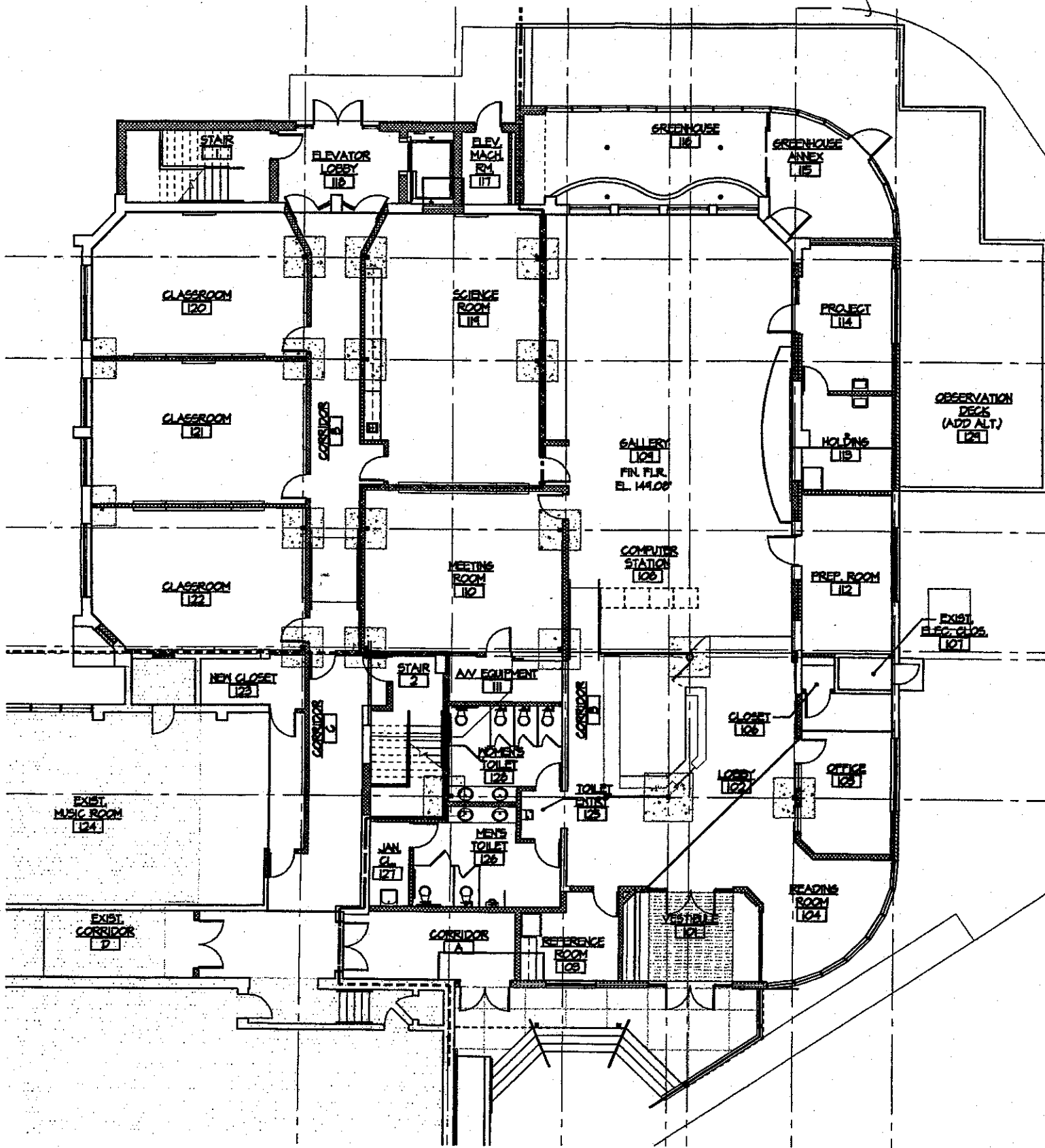


WEST ELEVATION

WILLIAM RAMSAY ELEMENTARY SCHOOL AND BUDDIE
 FORD NATURE CENTER
 JULY 26, 2002

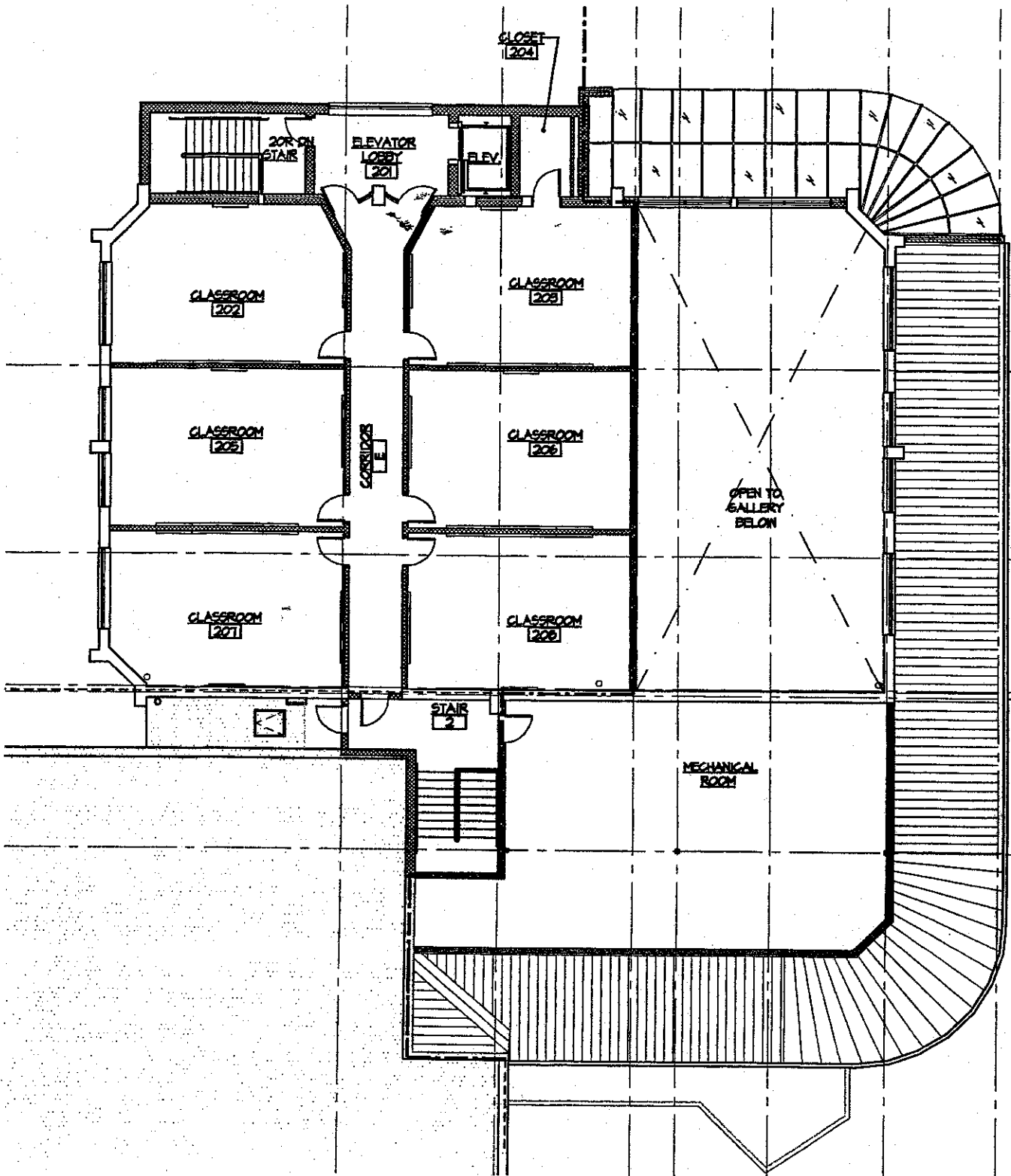


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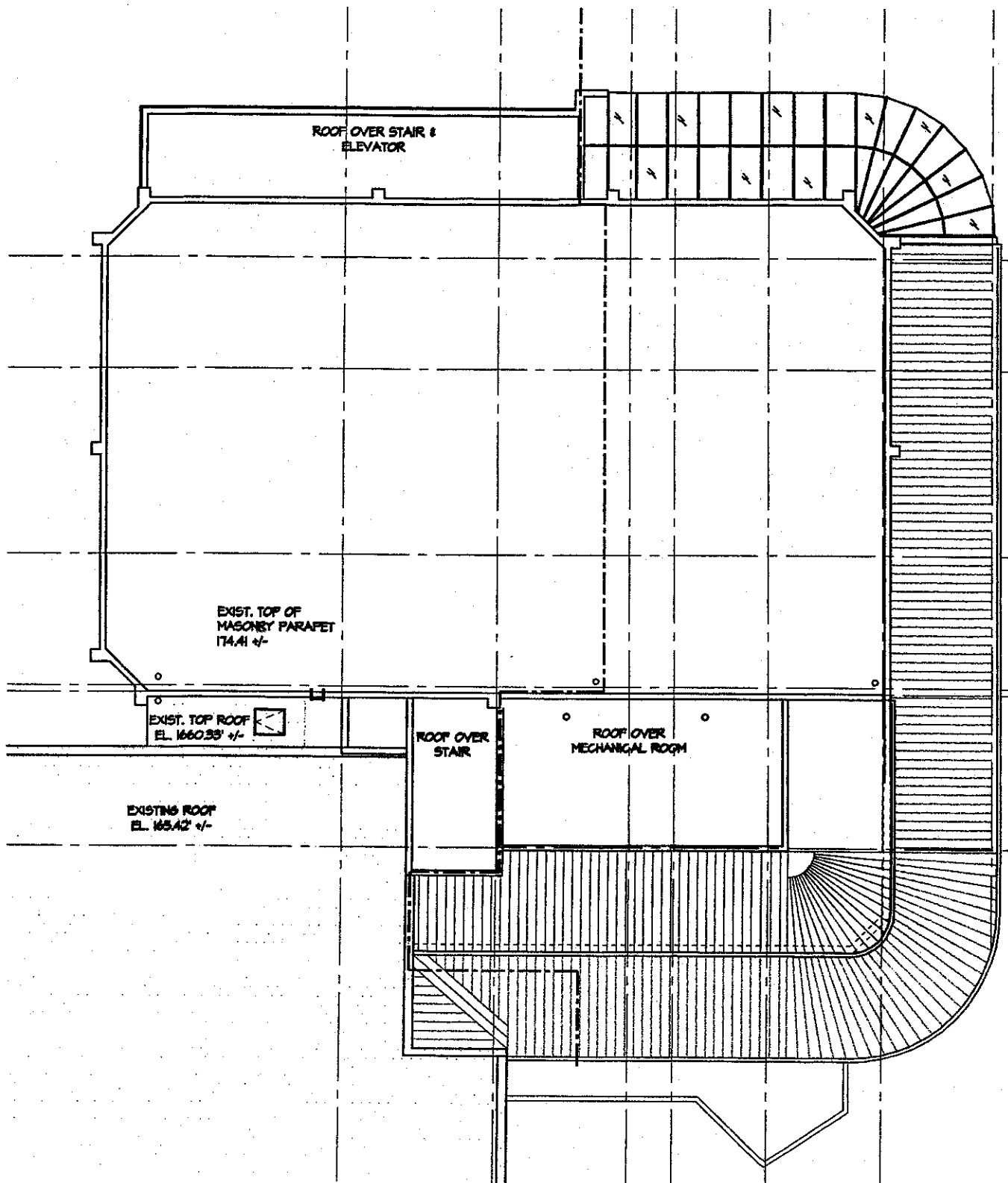
FIRST FLOOR PLAN - NEW WORK

1/16"=1'-0"



SECOND FLOOR PLAN - NEW WORK

1/8"=1'-0"



EXIST. TOP ROOF
EL. 1660.55' +/-

ROOF OVER STAIR &
ELEVATOR

EXIST. TOP OF
MASONRY PARAPET
174.41 +/-

ROOF OVER
STAIR

ROOF OVER
MECHANICAL ROOM

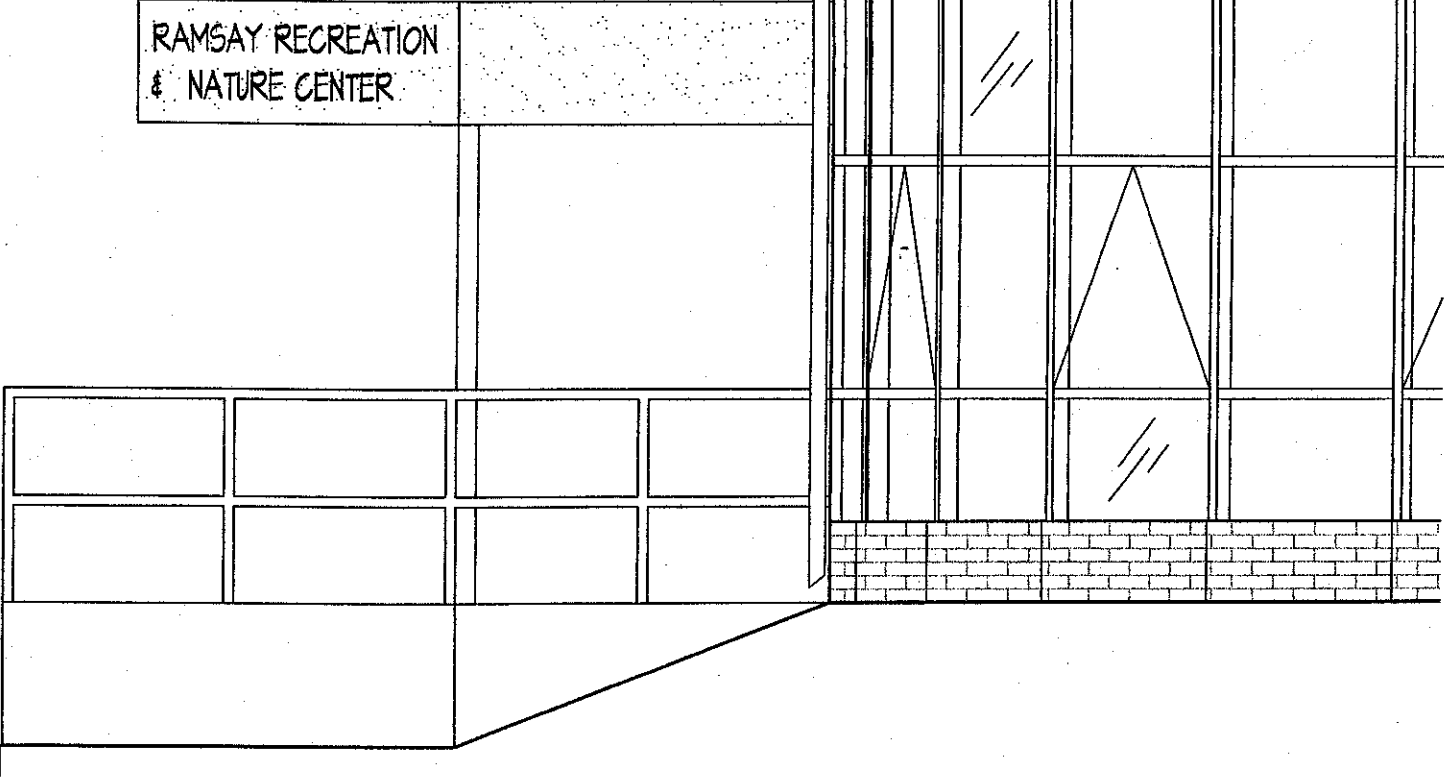
EXISTING ROOF
EL. 165.42 +/-



ROOF PLAN - NEW WORK

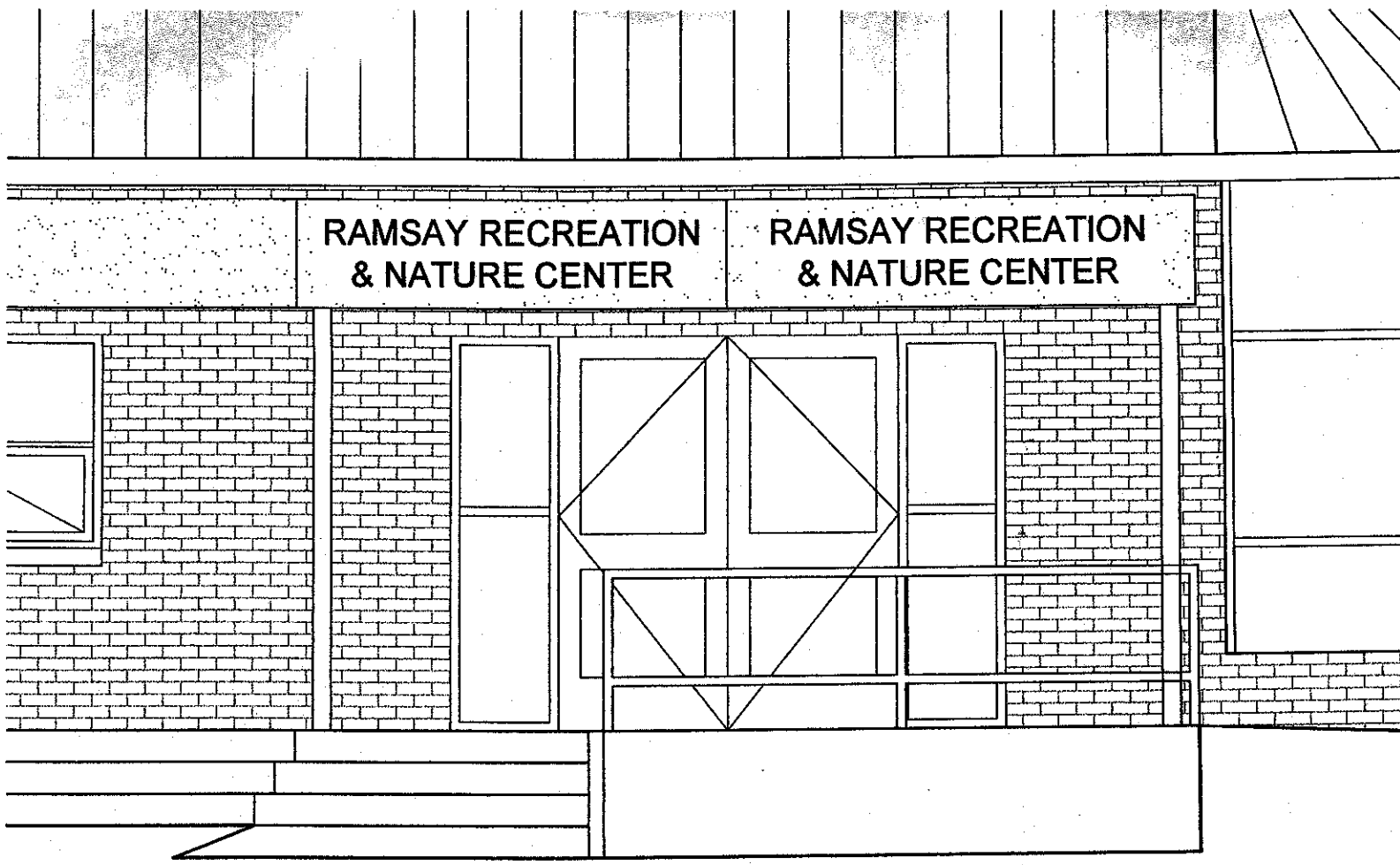
1/16"=1'-0"

RAMSAY RECREATION
& NATURE CENTER



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PARTIAL WEST ELEVATION

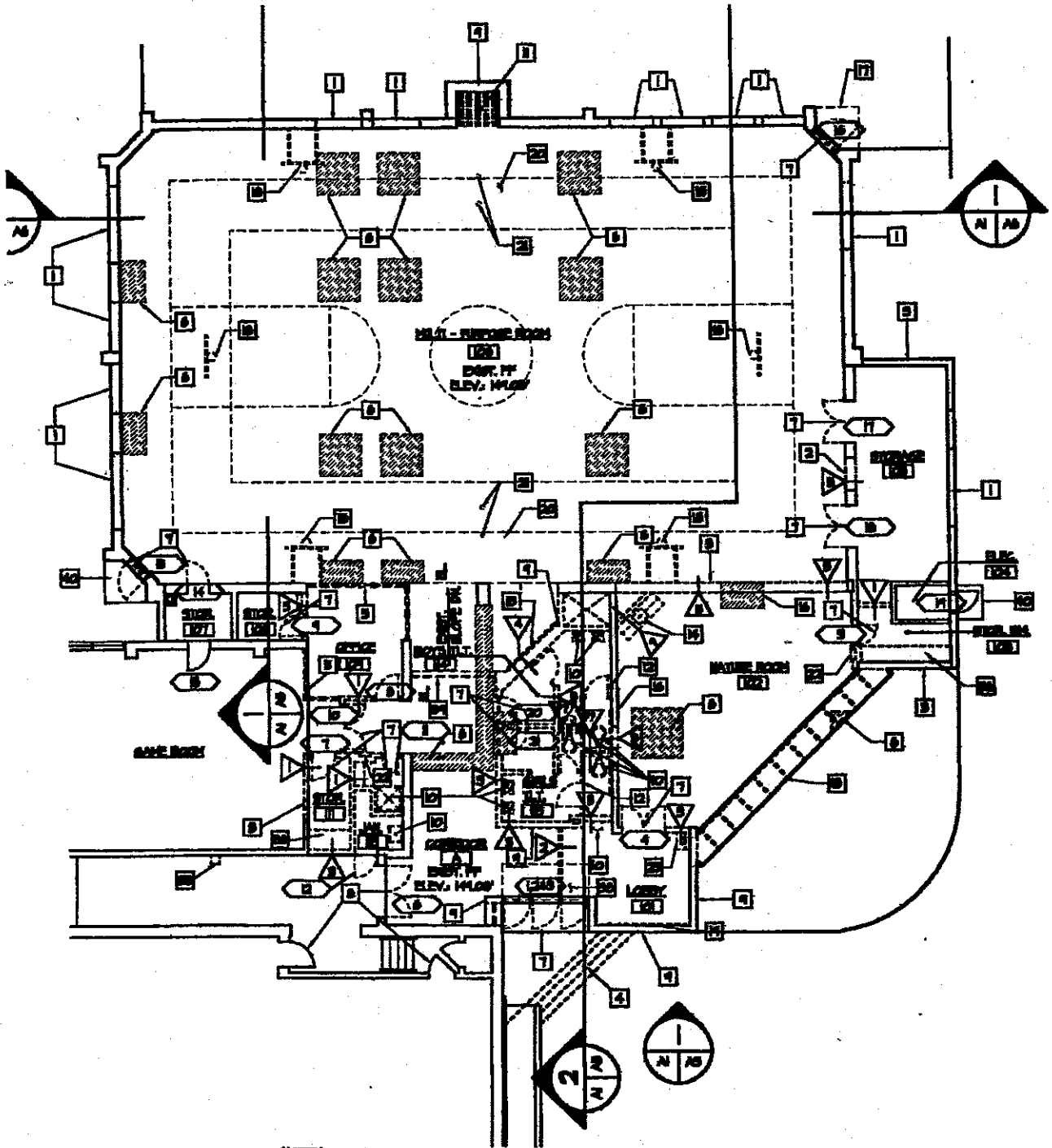


RAMSAY RECREATION
& NATURE CENTER

RAMSAY RECREATION
& NATURE CENTER

PARTIAL NORTH ELEVATION

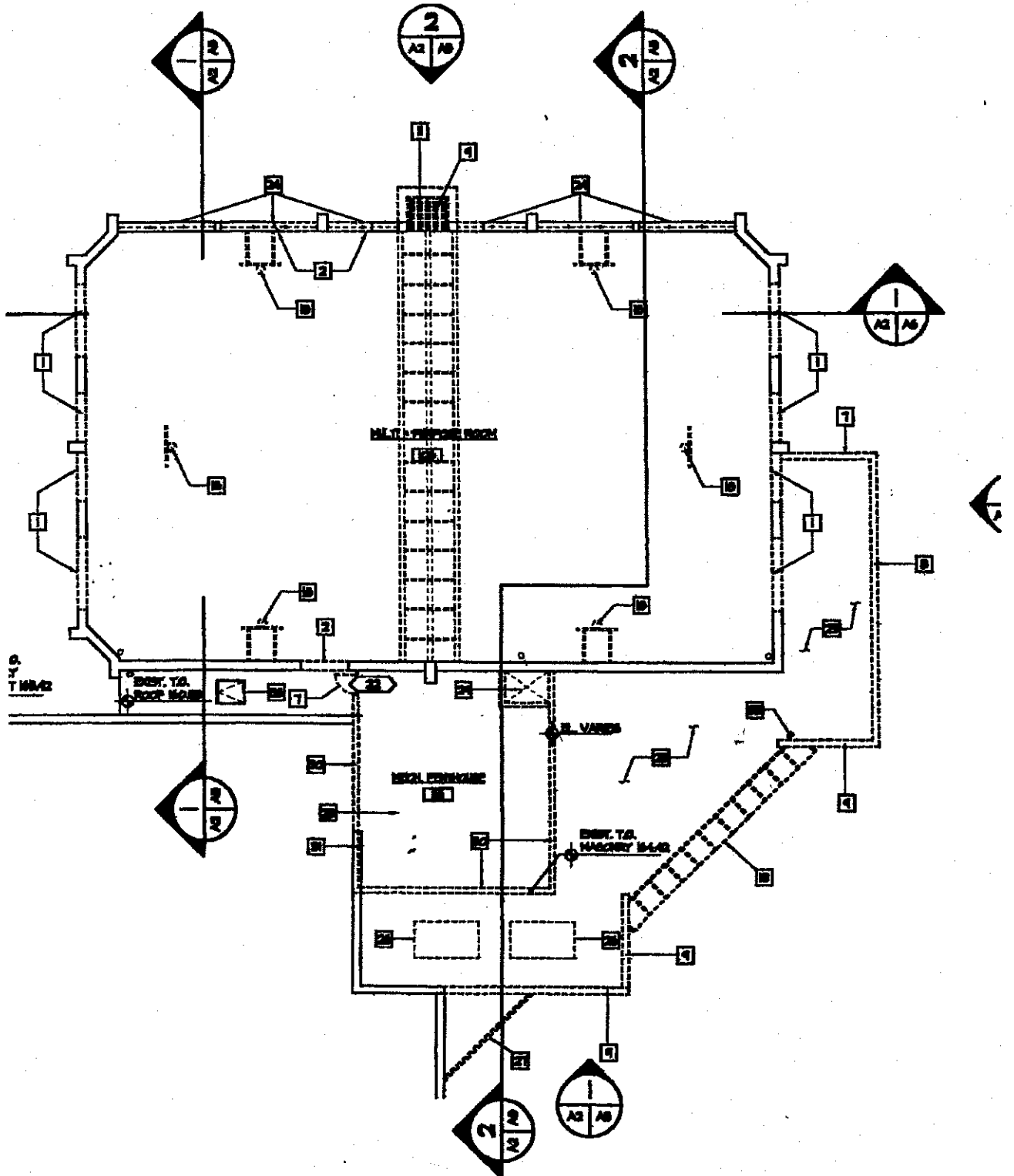
42



FIRST FLOOR PLAN - DEMOLITION

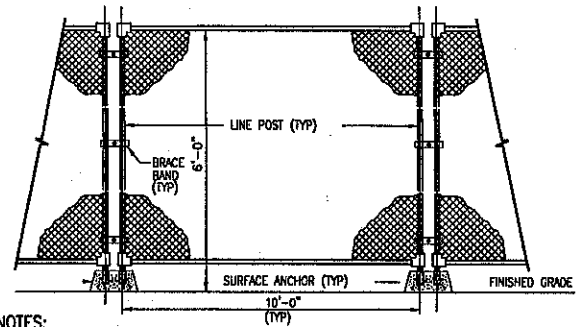
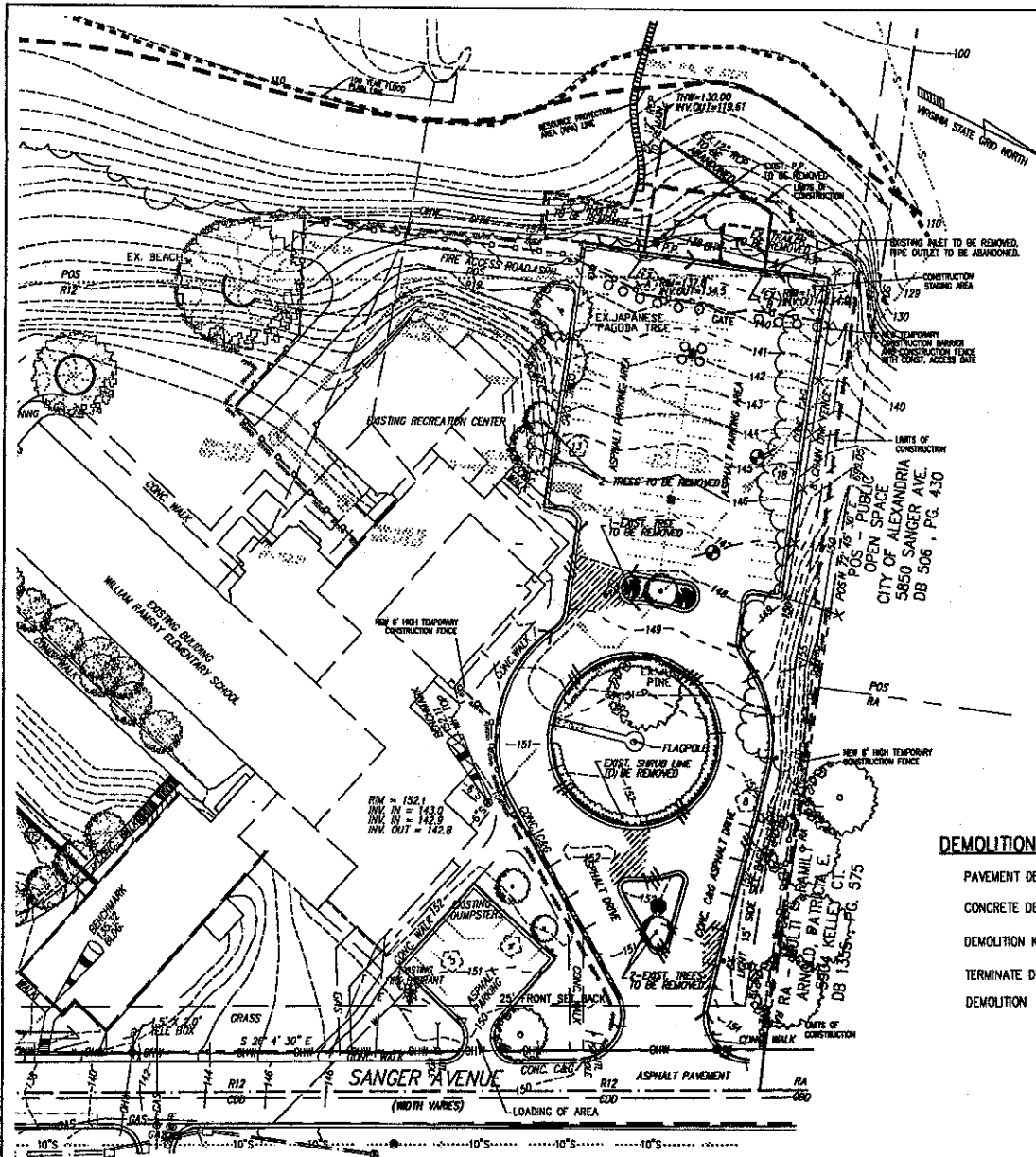
10-1-00





MECHANICAL PENTHOUSE FLOOR PLAN - DEMOLITION





NOTES:

- 1. EACH SURFACE ANCHOR SHALL WEIGH A MINIMUM OF 60 LBS.
- 2. FENCE AND HARDWARE SHALL BE APPROVED BY THE CONTRACTING OFFICER.

TEMPORARY CONSTRUCTION FENCE

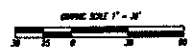
FENCE MATERIAL SCHEDULE	
STIFFENER PIPE	1.66" OD GALVANIZED STL
FABRIC	11 GA GALVANIZED STL
LINE POST	1.66" OD GALVANIZED STL
BRACES	1.66" OD GALVANIZED STL
SURFACE ANCHOR	MIN. 60 LB., 3000 PSI CONCRETE

DEMOLITION LEGEND

- PAVEMENT DEMOLITION** [Hatched pattern]
- CONCRETE DEMOLITION** [Dotted pattern]
- DEMOLITION KEY-NOTE** [Square with T]
- TERMINATE DEMOLITION** [Arrow pointing right]
- DEMOLITION** [Double lines]

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CDD4 - COORD. DEVELOPMENT
 WINKLER, CATHERINE C. / TR. ETAL
 5800 SANGER AVE.
 DB 763 , PG. 334



No.	Description	Date	App.

SITE PLAN ADDITION
FOR ARCHITECTURAL ADDITION
RAMSAY ELEMENTARY/FORD
NATURE CENTER
 Alexandria, Virginia

PECK PECK & ASSOCIATES
 2054 OLD BRIDGE ROAD
 WOODBRIDGE, VA 22192
 1-703-690-3121

Alpha Corporation
 2131 RIDGETOP CIRCLE
 FALLS, VA 20166
 (703) 438-0850



ESI Peer Review

APPROVED
 SPECIAL USE PERMIT NO. _____
 DEPARTMENT OF PLANNING & ZONING

DATE _____

DIRECTOR _____

SITE PLAN NO. _____

DATE _____

CHARLEMAN PLANNING COMMISSION

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

Proj. No: _____

Sheet Contents:
EXISTING CONDITIONS PLAN

Scale: 1" = 30'

Dwg. No. **C102**

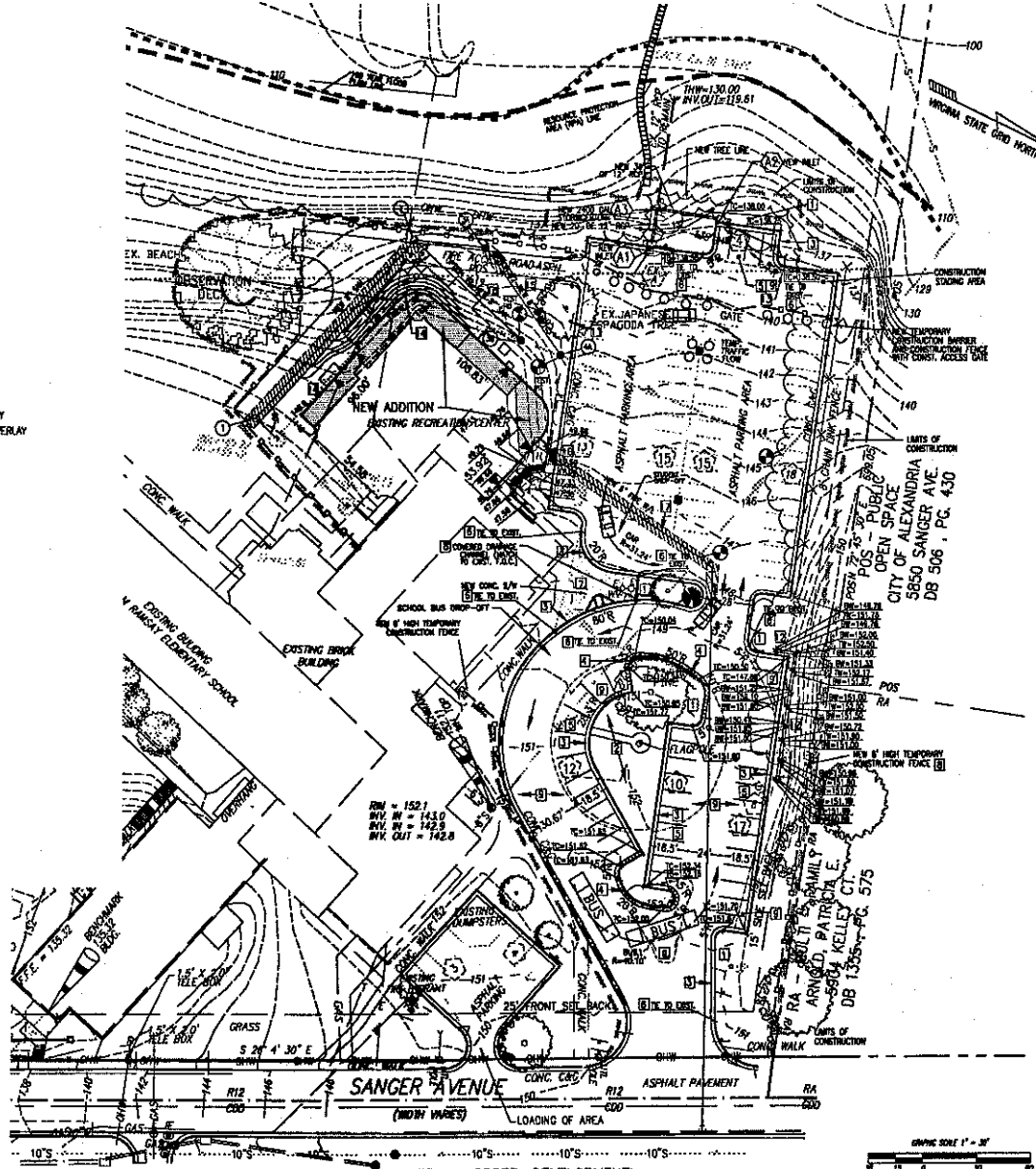
NOTE:

ACCESS TO FIRE ROAD TO BE MAINTAINED AT ALL TIMES.
AREA OF EMALIFIED PAVING, (SEE SHEET C108)

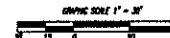
CONSTRUCTION NOTES:

- 1 NEW SOO DISTURBED AREAS
 - 2 NEW LANDSCAPING AREA. REFER TO LANDSCAPE PLAN FOR LANDSCAPE LEGEND AND DETAILS. (SEE SHEET C108)
 - 3 NEW CO-B CURB AND GUTTER (SEE DETAIL SHEET C107)
 - 4 NEW CO-BR CURB AND GUTTER (SEE DETAIL SHEET C107)
 - 5 NEW 9'X18.5' STANDARD PARKING STALL (TYPICAL)
 - 6 NEW TRANSITION FROM EXISTING CURB TO NEW CURB (TYPICAL) POSITIVE DRAINAGE TO BE MAINTAINED IN ALL CASES.
 - 7 NEW SIDEWALK CONSTRUCTION (SEE DETAIL SHEET C107)
 - 8 NEW 6" HIGH TEMPORARY CONSTRUCTION FENCE (SEE DETAIL ON SHEET C109)
 - 9 NEW ASPHALT PAVEMENT (SEE DETAIL ON SHEET C109)
 - 10 RELOCATE EXISTING FIRE HYDRANT
 - 11 RELOCATE EXISTING SIGNAGE
 - 12 2' HIGH RETAINING WALL
 - 13 EXISTING INLET TO BE REMOVED
 - 14 EXISTING MANHOLE AND SANITARY LINE TO BE FILLED AND ABANDONED
 - 15 NEW 8" SANITARY SEWER LINE ALTERNATE - 1, WITH DECKING OVERLAY
 - 16 NEW 8" SANITARY SEWER LINE ALTERNATE - 2, WITHOUT DECKING OVERLAY
 - 17 NEW PAVEMENT AND CURB PATCHING
- AREA TO BE RESURFACED AND GRADED.

EXISTING	LEGEND	PROPOSED
	ELECTRIC LINE & STRUCTURE	
	TELEPHONE LINE & STRUCTURE	
	LIGHT POLE, STREET LIGHT	
	SANITARY LINE & MH	
	CLEAN OUT	
	TRENCH DRAIN	
	STORM INLET	
	STORM LINE	
	GAS LINE & VALVE	
	WATER LINE & MH	
	WATER STRUCTURES	
	WOOD FENCE	
	CINDER BLOCKS	
	SPOT ELEVATIONS	
	TOP OF CURB ELEVATION WITH 5' CURB HEIGHT	
	VERIFY AND MATCH EXISTING ELEVATION	
	FACE OF BUILDING	
	CONCRETE SIDEWALK	
	CURB & GUTTER	
	HEADER CURB	
	INGRESS/EGRESS LOCATIONS	
	PARKING ANNOTATION	
	TEST PIT	



CDD4 - COORD. DEVELOPMENT
WINKLER, CATHERINE C. / TR. ETAL
5600 SANGER AVE.
DB 763 , PG. 334



No.	Description	Date	App.

Drawn
Checked
Approved
Issues

**SITE PLAN
FOR ARCHITECTURAL ADDITION
RAMSAY ELEMENTARY/FORD
NATURE CENTER**
5700 Sanger Avenue
Alexandria, Virginia

**PECK PECK &
ASSOCIATES**
2650 OLD BRIDGE ROAD
WOODBRIDGE, VA 22192
1-703-691-3121



Alpha Corporation
21551 RIDGETOP CIRCLE
DALLAS, VA 22844
(703) 450-0600

**ESI
Peer Review**

APPROVED
SPECIAL USE PERMIT NO. _____
DEPARTMENT OF PLANNING & ZONING

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. _____

DESIGNER _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

Proj. No. _____

Sheet Contents:
SITE PLAN

Scale: 1" = 30'

Dwg. No. **C103**

THIS SHEET IS FOR SEDIMENTATION AND EROSION CONTROL PURPOSES ONLY!!

VIRGINIA UNIFORM CODING SYSTEM
for Erosion and Sediment Control Practices

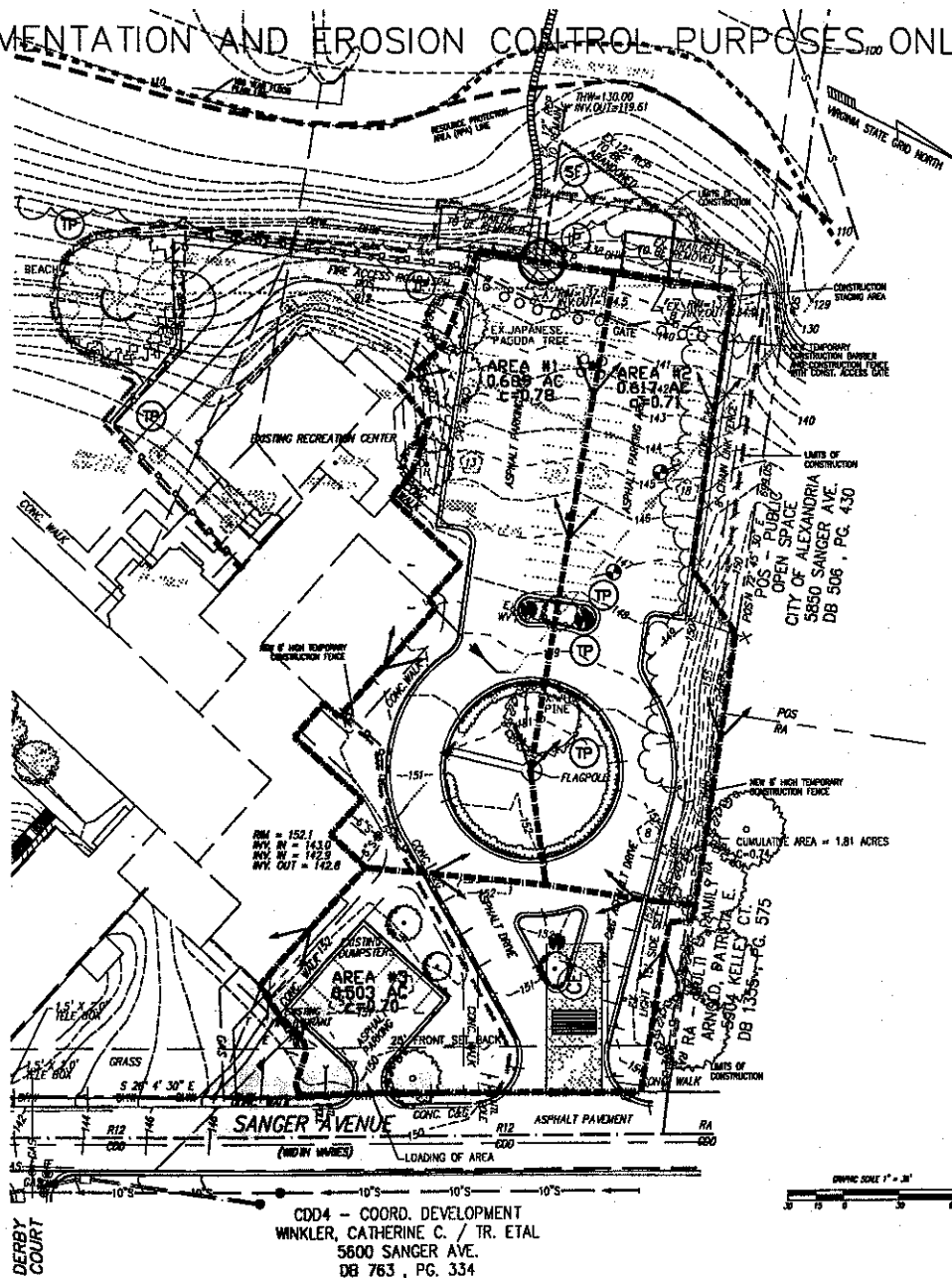
NO.	TITLE	KEY	SYMBOL
3.02	TEMPORARY STONE CONSTRUCTION ENTRANCE	CE	
3.05	SILT FENCE	SF	-X
3.07	STORM DRAIN INLET PROTECTION	IP	
	DRAINAGE DIVIDES		
3.20	CHECK DAM	CD	
3.38	TREE PROTECTION	TP	

NOTE:

CONTRACTOR TO PROVIDE WATER TANK, TRUCK OR OTHER MEANS TO FACILITATE REMOVAL OF MUD AND DEBRIS FROM ALL CONSTRUCTION VEHICLES AND EQUIPMENT BEFORE LEAVING THE SITE. THE SEDIMENT-LOADED WATER SHALL BE DIVERTED TO A SEDIMENT TRAP NEARBY.

NOTES:

- SEE SHEET C-106 FOR EROSION/STABILIZATION CONTROL NARRATIVE.
- SEE SHEET C108 FOR TEMPORARY CONSTRUCTION FENCE DETAIL.
- TREE PROTECTION - PROVIDE 4" x 4" POST TO BE INSTALLED ON CENTER WITH 2" x 6" BATTENS PLACED HORIZONTALLY POST TO POST.



No.	Description	Date	App.

Drawn _____
Checked _____
Approved _____
Issued _____

SITE PLAN
FOR ARCHITECTURAL ADDITION
RAMSAY ELEMENTARY/FORD
NATURE CENTER
5700 Sanger Avenue
Alexandria, Virginia

PECK PECK & ASSOCIATES
2050 OLD BRIDGE ROAD
WOODBRIDGE, VA 22192
1-703-690-3121



Alpha Corporation
2120 RIDGETOP CIRCLE
WALLES, VA 22156
(703) 439-0500

ESI
Peer Review

APPROVED
SPECIAL USE PERMIT NO. _____
DEPARTMENT OF PLANNING & ZONING
DIRECTOR _____ DATE _____
SITE PLAN NO. _____
DIRECTOR _____ DATE _____
CHAIRMAN, PLANNING COMMISSION _____ DATE _____
DATE RECORDED _____
INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

Proj. No. _____
Sheet Contents:
PHASE 1
EROSION
CONTROL
PLAN

Scale: 1" = 30'
Dwg. No. **C104**

44

THIS SHEET IS FOR SEDIMENTATION AND EROSION CONTROL PURPOSES ONLY!!

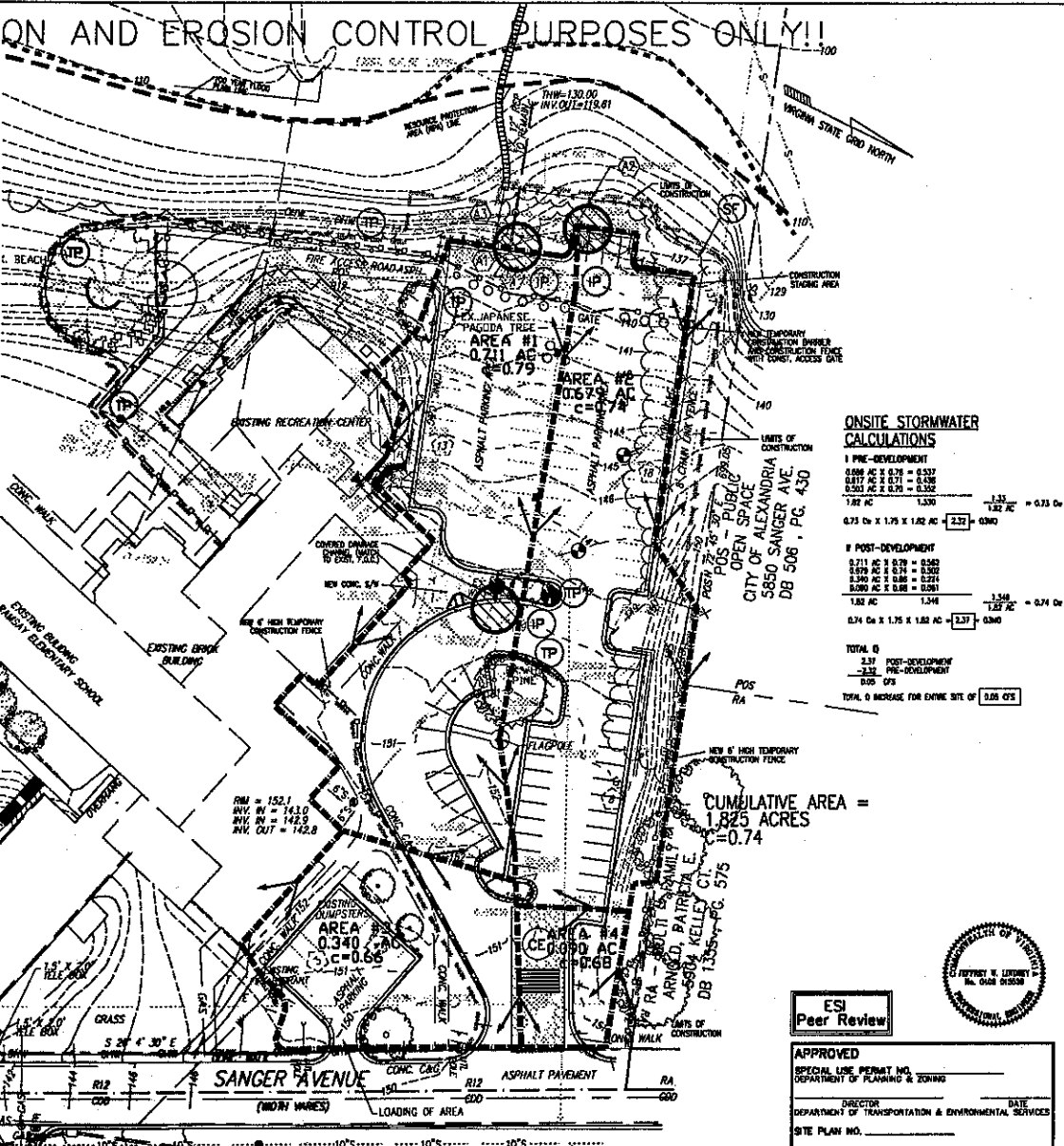
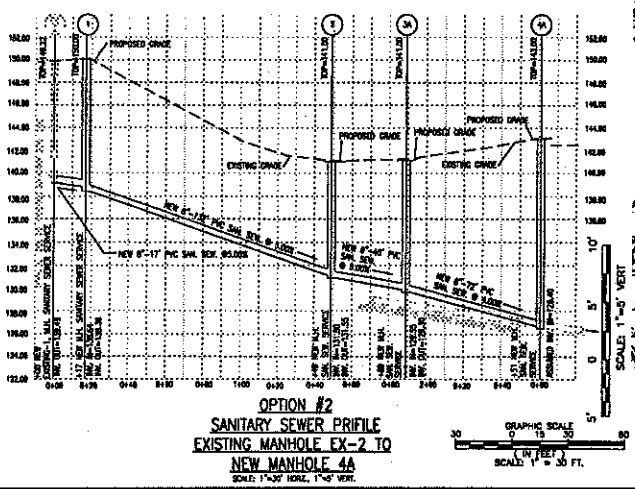
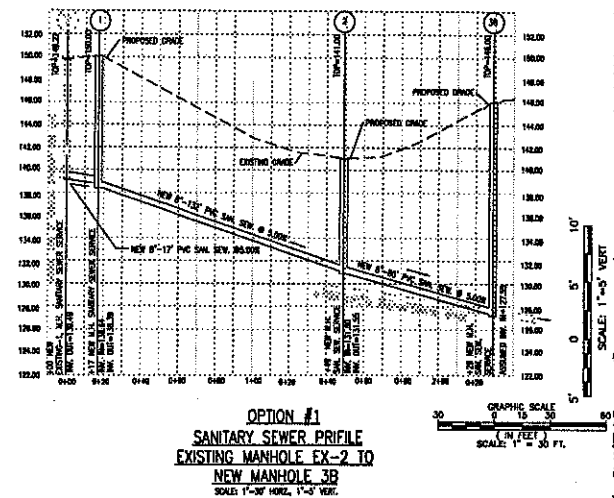
VIRGINIA UNIFORM CODING SYSTEM
for Erosion and Sediment Control Practices

NO.	TITLE	KEY	SYMBOL
3.02	TEMPORARY STONE CONSTRUCTION ENTRANCE	CE	
3.05	SILT FENCE	SF	
3.07	STORM DRAIN INLET PROTECTION	IP	

3.38	TREE PROTECTION	TP	
3.18	OUTLET PROTECTION	OP	

NOTE:
CONTRACTOR TO PROVIDE WATER TANK, TRUCK OR OTHER MEANS TO FACILITATE REMOVAL OF MUD AND DEBRIS FROM ALL CONSTRUCTION VEHICLES AND EQUIPMENT BEFORE LEAVING THE SITE. THE SEDIMENT-LOADED WATER WILL BE DISCHARGED TO A SEWERAGE TREAT PLANT.

NOTES:
1. SEE SHEET C-106 FOR EROSION/SEDIMENT CONTROL PLAN.
2. TOTAL DISTURBED AREA OF THE SITE = 2.29 ACRES.



ONSITE STORMWATER CALCULATIONS

I PRE-DEVELOPMENT

0.80 AC x 0.79 = 0.632	
0.877 AC x 0.71 = 0.623	
0.503 AC x 0.74 = 0.372	
1.87 AC	1.30
	1.31
	1.82 AC = 0.73 C

II POST-DEVELOPMENT

0.711 AC x 0.79 = 0.562	
0.679 AC x 0.74 = 0.502	
0.340 AC x 0.86 = 0.292	
0.500 AC x 0.76 = 0.380	
0.380 AC x 0.76 = 0.288	
1.82 AC	1.34
	1.34
	1.82 AC = 0.74 C

TOTAL Q
2.31 POST-DEVELOPMENT
- 1.31 PRE-DEVELOPMENT
= 1.00 QPS

TOTAL Q INCREASE FOR ENTIRE SITE OF 0.06 QPS

No.	Description	Date	App.

Drawn: _____
Checked: _____
Approved: _____
Issued: _____

SITE PLAN
FOR ARCHITECTURAL ADDITION
RAMSAY ELEMENTARY/FORD
NATURE CENTER
5700 Sanger Avenue
Alexandria, Virginia

PECK PECK & ASSOCIATES
8039 OLD BRIDGE ROAD
WOODBRIDGE, VA 22196
1-703-690-3121



ESI Peer Review

APPROVED

SPECIAL USE PERMIT NO. _____
DEPARTMENT OF PLANNING & ZONING _____

DIRECTOR _____ DATE _____
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES

SITE PLAN NO. _____

DIRECTOR _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

DATE RECORDED _____

INSTRUMENT NO. _____ DEED BOOK NO. _____ PAGE NO. _____

Alpha Corporation
21331 RIDGETOP CIRCLE
DULLES, VA 20166
(703) 458-0808

Proj. No: _____

Sheet Contents:
PHASE 2
EROSION CONTROL PLAN

Scale: 1" = 30'

Dwg. No. **C105**

CDD4 - COORD. DEVELOPMENT
WINKLER, CATHERINE C. / TR. ETAL
5600 SANGER AVE.
DB 763, PG. 334

*Seminary West Civic Association
Alexandria, VA*

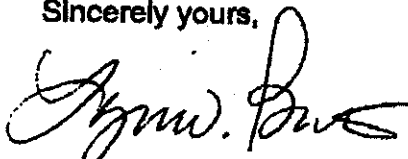
February, 2003

Alexandria Planning Commission
301 King St.
City Council Chambers
Alexandria, VA

To Whom It May Concern:

This letter is intended as a support and endorsement for the Jerome Buddie Ford Nature Center. We support the proposed renovation and expansion of the Jerome Buddie Ford Nature Center and are looking forward to the start of this year's activities. This facility is an excellent extension of our neighborhood and offers superb nature-based programs for all citizens of Alexandria.

Sincerely yours,



Lynn W. Bostain, President
Seminary West Civic Association

5695 Rayburn Avenue
Alexandria, VA 22311
703/379-2629

SM

APPLICATION for
DEVELOPMENT SPECIAL USE PERMIT with SITE PLAN
DSUP # 2002-0005

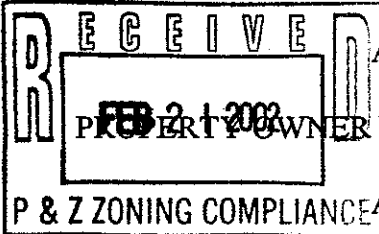
Ramsay School + Ford Nature Ctr.

PROJECT NAME: RAMSAY ELEMENTARY SCHOOL / FORD NATURE CENTER ADDITION

PROPERTY LOCATION: 5700 / 5650 SANGER AVENUE

TAX MAP REFERENCE: TAX MAP 28 ZONE: R12/RA/POS

APPLICANT Name: JERRY EASTRIDGE for Alex. City Public Schools



Address: 21351 RIDGETOP CIRCUS DULLES, VA 20166

Name: ALEXANDRIA CITY PUBLIC SCHOOLS

Address: 2000 N. BEAUREGARD ST. ALEXANDRIA, VA 22311

SUMMARY OF PROPOSAL: CITY OF ALEXANDRIA SCHOOLS PROPOSE

RENOVATIONS AND A SMALL ADDITION TO RAMSAY ELEM. SCHOOL & FORD NATURE CENTER

MODIFICATIONS REQUESTED: TO PERMIT EXPANSION OF

THE EXISTING NATURE CENTER IN CONTEXT OF THE MIX OF SITE USES.

SUP's REQUESTED: _____

THE UNDERSIGNED hereby applies for Development Site Plan, with Special Use Permit, approval in accordance with the provisions of the Zoning Ordinance of the City of Alexandria, Virginia.

THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article XI, Section 11-301 (B) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

THE UNDERSIGNED also attests that all of the information herein provided and specifically including all surveys, drawings, etc., required of the applicant are true, correct and accurate to the best of his knowledge and belief.

JERRY EASTRIDGE
ALPHA CORPORATION
Print Name of Applicant or Agent

[Signature]
Signature

21351 RIDGETOP CIRCUS
Mailing/Street Address

(703) 450-0800 (703) 450-0078
Telephone # Fax #

DULLES VA. 20166
City and State Zip Code

1/10/02
Date

DO NOT WRITE BELOW THIS LINE - OFFICE USE ONLY

Application Received: 2-21-02
Fee Paid & Date: \$ _____

Received Plans for Completeness: _____
Received Plans for Preliminary: _____

ACTION - PLANNING COMMISSION: 2-4-03 Recommend Approval 7-0

ACTION - CITY COUNCIL: 2/22/03PH--CC approved the Planning Commission recommendation. (Separate Motion)