

Docket Item #17-B
DEVELOPMENT SPECIAL USE PERMIT #2003-0003
BJ'S WHOLESALE CLUB

Planning Commission Meeting
June 3, 2003

ISSUE: Consideration of a request for a development special use permit, with site plan, for construction of five fueling stations with a 4,000 square foot bank, with drive through, and a parking reduction.

APPLICANT: BJ's Wholesale Club
by Erika Byrd

LOCATION: 101 South Van Dorn Street

ZONE: CRMU-M/Commercial Residential Mixed Use-Medium (CG/Commercial General pending for the southeastern portion of the site)

PLANNING COMMISSION ACTION, JUNE 3, 2003: On a motion by Ms. Fossum, seconded by Mr. Gaines, the Planning Commission voted to recommend approval of the development special use permit subject to all applicable codes and ordinances and staff recommendations, with amendments to conditions 4h, 4k, 4q, 18, 19 and 23 as outlined with the correspondence from Ms. Erika Byrd dated June 3, 2003. The Commission also amended condition 4g as previously agreed to by staff and the applicant and condition 8a and added condition 29 to prohibit storage of trailers, other than construction trailers. The motion carried on a vote of 7-0.

Reason: The Planning Commission agreed with the staff analysis. The Commission addressed an issue raised by a speaker by adding a new condition to prohibit the long term storage of trailers on the site except for construction trailers.

Speakers:

Mr. Stephen Vastaph spoke in support of the application, but raised an issue regarding trailers that had been parked on the site for an extensive period of time.

Ms. Erika Byrd, attorney, representing the applicant.

SUMMARY:

Staff is recommending approval of the development special use permit request to construct a gas station and a 4,000 sq.ft. bank at the BJ's Wholesale Club site at the intersection of Van Dorn Street and Stevenson Avenue. Staff is also recommending approval of the accompanying Master Plan amendment and rezoning request (MPA#2003-0003/REZ#2003-0003) being considered in conjunction with this request. The applicant has worked with staff to significantly improve the amount of open space, landscaping and screening for the site. The applicant has also agreed to provide high quality building materials for the bank and the canopy which will improve the appearance of the site and the Van Dorn streetscape. The proposed gas station and bank are similar to other existing commercial uses on Van Dorn Street.

The City did not initially support gas pumps at the site because it was not permitted under the existing CRMU-M/Commercial Residential zoning and the gas pumps were initially located at the northern portion of the site along the Duke Street frontage. In addition, staff did not support a rezoning of this large 9.6 acre site on Duke Street, which staff believes will be a large future redevelopment site.

The applicant initially requested a Master Plan amendment and rezoning from CRMU-M to CC/Community Commercial, a zone which is incompatible with the adjoining zones. In addition, the CC zoning category is intended for small sites located adjacent to low density residential. Staff recommended that the applicant amend its Master Plan and rezoning applications to request a rezoning to the CG/Commercial General zoning category, which is more consistent with use of the site and the adjoining zoning for the Van Dorn Plaza shopping center located just south of this site. Staff also recommended rezoning only a small portion of the site at the intersection of Van Dorn and Stevenson Avenue to CG-Commercial General. This enables the existing CRMU zoning to be retained for the remaining 8 acres of the site. The retention of the existing CRMU zone and the location and size of the proposed gas station will not preclude the long-term redevelopment of the site and most importantly the Duke Street frontage.

In addition to the zoning issue, a number of issues related to the site plan were identified. The applicant's initial site plan for the proposed improvements located the gas pumps at the northern portion of the site adjacent to the existing stormwater retention pond with the bank located in the southeast corner of the site. The applicant was advised that locating the gas pumps at the northern portion of the site raised a number of issues related to vehicular circulation, emergency vehicle access and visual impacts along Duke Street. The applicant proceeded to modify the site plan to locate the gas pumps to the southern portion of the site and relocating the bank to the eastern portion of the site adjacent to Van Dorn Street. The revised plan resolves the access and circulation issues, but did not fully address staff's concern for providing public benefit from the proposed

improvements. The following is a summary of modifications that staff recommended for the site plan, gas station and bank to improve site circulation and access, increase landscaping and open space and improve the visual appearance from adjacent public streets.

- Orient and locate the gas pumps and canopy in a manner that provide street presence at the corner of Stevenson Avenue and North Van Dorn Street. Provide a metal roof and brick columns that will enable the canopy to appear more as a building.
- Eliminate a significant amount of paving at the intersection of Van Dorn and Stevenson Avenue to provide additional open space, landscaping and screening.
- Provide additional landscaping and street trees adjacent to Van Dorn Street.
- Locate the bank building along the frontage of North Van Dorn Street to create street presence and opportunities for increased landscaping and screening for the existing surface parking lot.
- Provide high quality building materials such as brick, a pitched roof, vertical windows for the bank building to provide a traditional high quality building adjacent to Van Dorn Street.

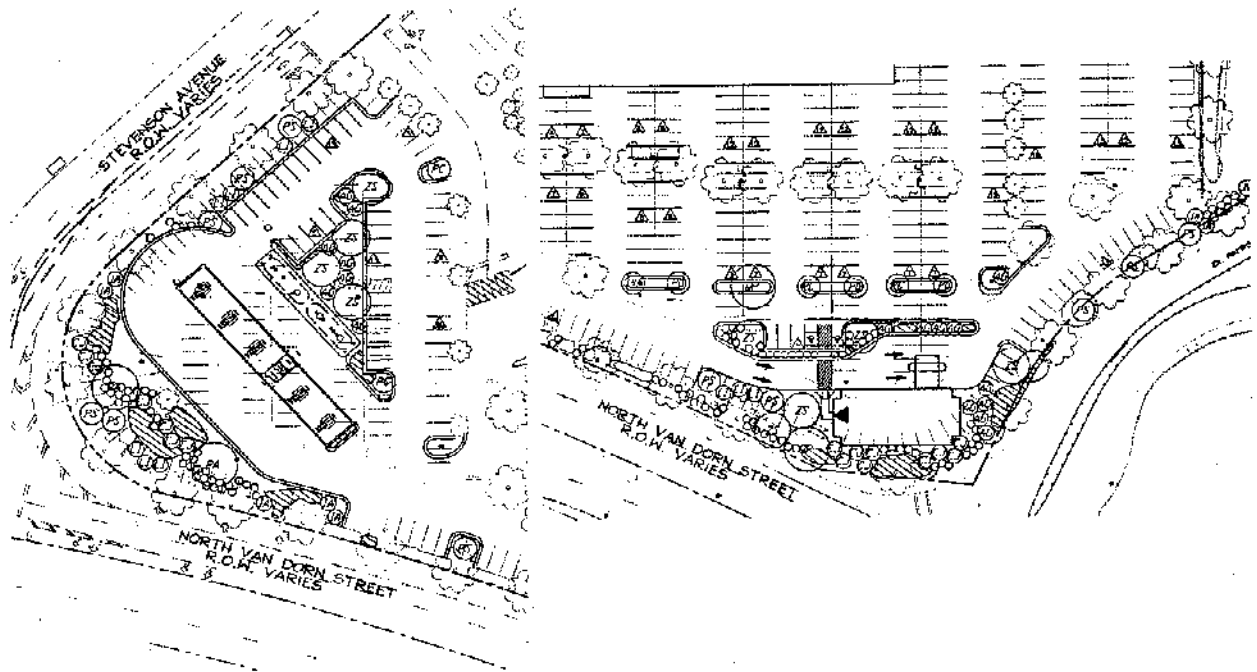
The applicant has worked with the City and met with members of the Holmes Run Committee to refine the plan so that it mitigates its impacts to surrounding areas and addresses the initial concerns of staff as outlined above. The plan has evolved into a plan which the community and the City now support. It is important as fundamental principle that projects seeking approval of a special use permit, provide a public benefit. To this extent, staff has found this proposal to be an opportunity to significantly improve and upgrade the landscaping/screening, increase open space and provide high quality building materials and design, which will prove a public benefit for the site and the Van Dorn Street corridor.

Proposed Gas Station and Bank:

As previously discussed, the applicant's original proposal was to locate the pumps at the northern portion of the site adjacent to the retention pond and locate the bank at the south of the site, which raised concerns that included the following:

- Inadequate access route from Duke Street causing delayed response times by emergency vehicles;
- Concern regarding on-site traffic circulation; and
- Adverse visual impacts along Duke Street.

To address these issues and to address the concerns raised regarding the lack of a clear public benefit, the applicant revised the site plan to relocate the gas pumps to the southeastern portion of the site. Although this resolved the issue of fire access, the revised plans did not fully address issues of urban design, visual screening, architectural treatment and access and cuing. Staff and the applicant continued to work through various options for siting the gas pumps to optimize circulation and provide areas for increased landscape buffer screening. The applicant also agreed to relocate the bank from the area near the retention pond to the area adjacent to Van Dorn Street.



Proposed Gas Station

Proposed Bank Pad Site

Relocating the gas station and bank resolved several issues:

- Limits the scope of the Master Plan amendment and rezoning to CG/Commercial general to a small portion of the site which is contiguous to Van Dorn Plaza shopping center which is zoned CG.
- Enhances vehicle access and circulation.
- Provides a significant buffer area to provide for increased landscape and screening adjacent to Van Dorn Street.
- Retains close-in parking near the store entrance.
- Provides a building presence on Van Dorn Street.

In addition to the items listed above, staff also pursued higher quality design options for the architectural design treatment of the canopy for the gas pumps. The 10' by 20' kiosk building is to be constructed with brick and the canopy is to be designed with a standing seam metal hip roof treatment. In addition, there will be significant landscape screening in the buffer area at the corner of the site.

It was recommended that the bank building be located adjacent to the street on North Van Dorn Street to provide a presence on the street and to screen the existing surface parking lot. In addition,

the bank will have increased landscaping with an entrance along the street frontage. The applicant has not identified a bank operator at the time of this application, and therefore no building elevation plans are available for staff review. However, staff is recommending that the facade treatment for the bank be constructed as a traditional building with a gable roof, punched windows and brick and precast materials.

Parking Reduction:

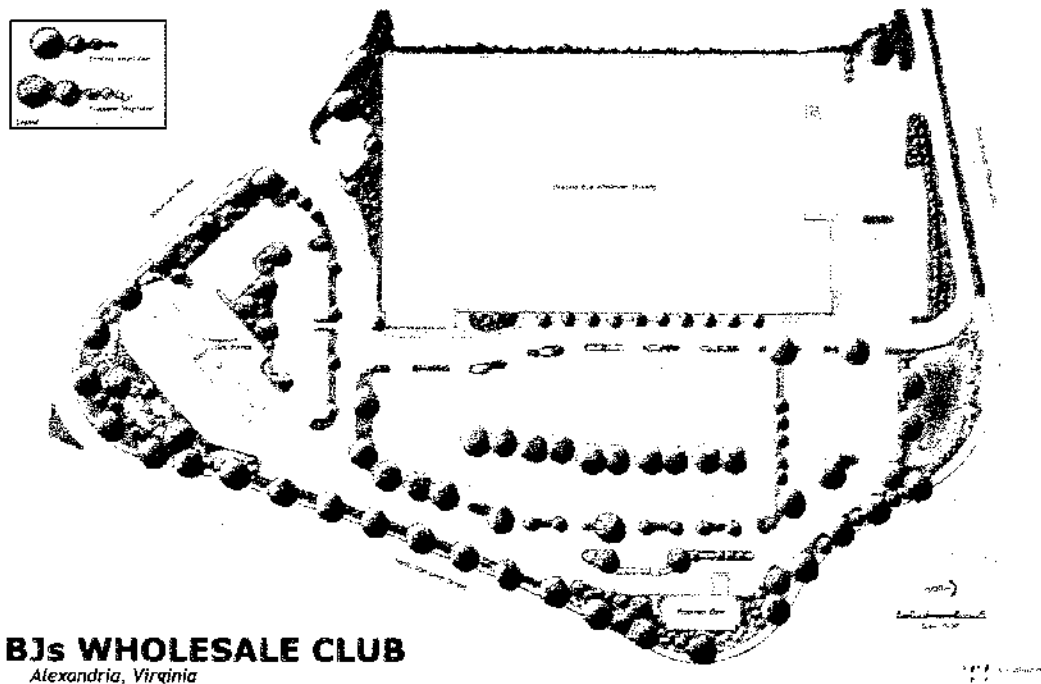
The proposed improvements of the gas station, bank and the additional landscaping all result in the loss of existing parking spaces. The applicant is requesting a parking reduction of 180 spaces in conjunction with this application. While this is a considerable technical reduction, staff believes that the current parking provided by the applicant exceeds the peak demand for parking resulting in an excessive amount of paving for the site.

The site currently contains 604 parking spaces, and the proposed improvements would increase the requirement to a total of 624 parking spaces as required by the Zoning Ordinance. In response to staff's request to provide increased green space and landscaping, the applicant has proposed to provide 444 parking spaces and there is no objection to the proposed parking reduction. Although a significant technical reduction, the membership club is not a typical retail use. The parking requirement is based on the 114,000 sq. ft. of space contained within the building; however, much of the space is devoted to storage/distribution of bulk merchandise.

A parking study to justify the reduction was requested to determine if the proposed parking reduction was appropriate. Parking surveys were conducted on Thursday, December 19, 2002, and Saturday, December 21, 2002. The surveys indicated that the peak parking occupancy rate was 35 % for the weekday and 57 % for Saturday. Thus, 65 % and 43 % of the parking was available on a weekday and 43 % on a Saturday during the peak holiday season. In addition, the applicant provided aerial surveys for Saturday, December 21, 2002, the last Saturday just before Christmas. The aerial photographs were taken during the mid-day shopping peak and indicate that a little more than half of the 601 parking spaces are being used on one of the busiest shopping days of the year. In contrast, the Landmark Shopping Center is parked to capacity. This illustrates that the standard retail parking may not necessarily be an appropriate method for determining the parking requirement for bulk sales clubs. The traffic consultant's parking analysis forecasts that the peak parking demand for BJ's, with the additional use, requires 395 parking spaces. The proposed gas station, bank and increased buffer and landscape areas displace 159 parking spaces resulting in 442 available parking spaces at the site. The analysis also states that typically, a perceived "full" parking lot is 10% vacant, therefore a 10 % "practical" factor was applied to the observed parking demand for the wholesale club to forecast parking demand. The study determined that a surplus of 48 parking spaces (or 11 %) is needed to meet parking requirements for all uses at the site. Based upon the parking study submitted by the applicant and random site inspections staff believes the proposed 442 parking spaces will accommodate the existing wholesale club and the proposed gasoline pumps and the bank. Therefore, the City is recommending approval of the parking reduction at the site.

Landscaping/Screening:

This application provides an opportunity to replace landscaping that has not done well and to provide additional areas of green space, plantings and screening of the existing buildings and parking lots that should significantly improve the appearance of the site.



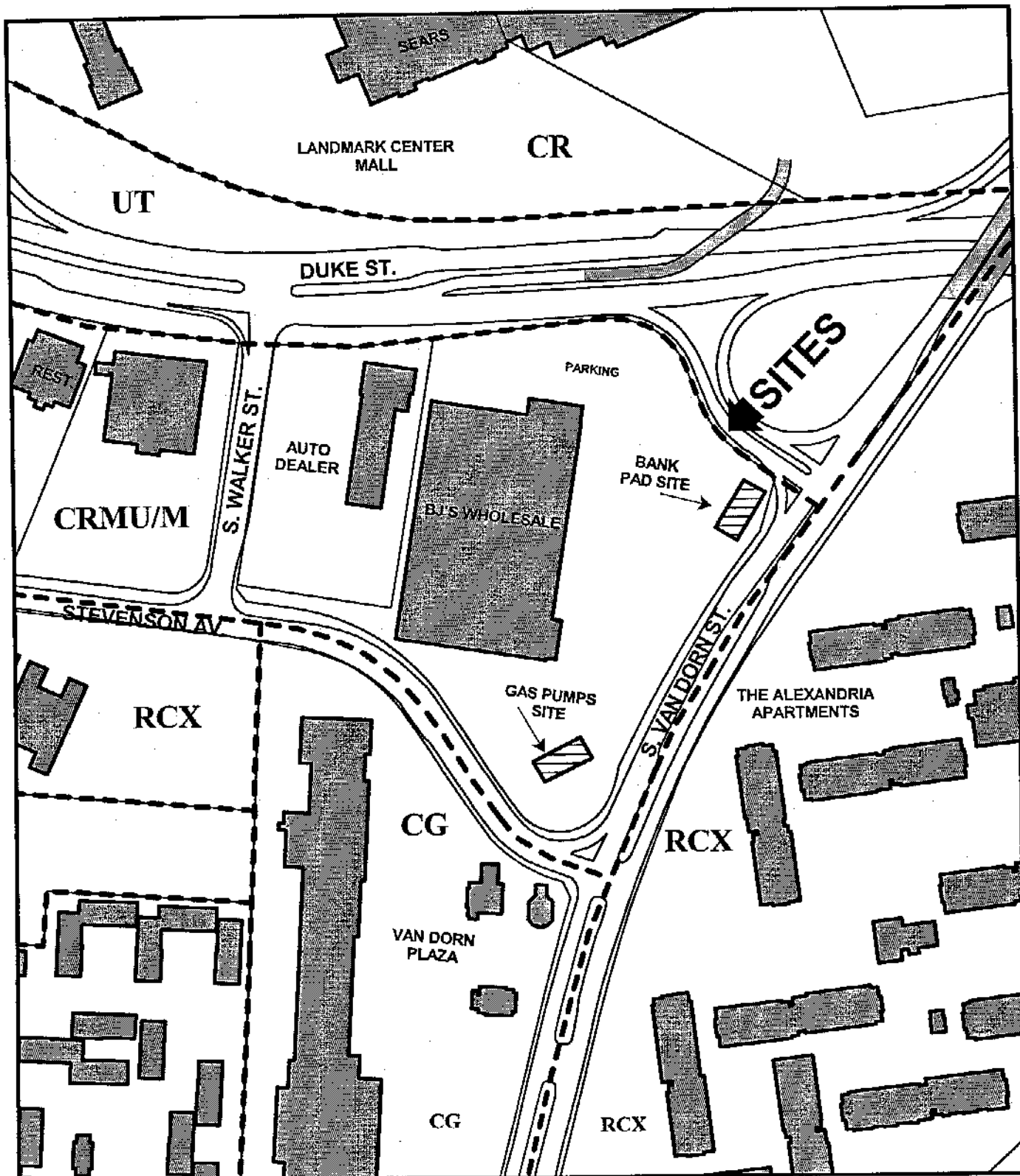
Overall Site Plan

In addition, a number of new conditions on the quality, quantity and maintenance of landscaping at the site are being recommended. The proposed landscape improvements will also have the benefit of significantly improving the appearance of the streetscape along North Van Dorn Street and Duke Street thereby enhancing the pedestrian environment.

Recommendation:

Staff supports the proposed gas pumps and bank at the BJ's Wholesale Club site. The concern related to the initial opposition to the Master Plan amendment and rezoning has been resolved by limiting the scope of the rezoning to the portion of the site that is to be occupied by the gas pumps. The proposed site plan has been substantially modified to provide for significant public benefit in conjunction with the proposed improvements. The additional open space, landscaping and trees will significantly enhance the appearance of the site. In addition, new conditions being proposed by staff will greatly improve the maintenance of landscaping at the site which has been a significant problem over the years. The location of a new bank building and canopy structure at the perimeter of the site

will provide activity and presence along the perimeter of the site and provides screening for the existing surface parking lot. Lastly, a parking management plan condition to better control the amount and location of the employee parking for the facility. Staff recommends approval of the proposed development special use permit application with the conditions as outlined within the staff report.



DSUP #2003-0003

06/03/03



7.a

STAFF RECOMMENDATION:

Staff recommends **approval** subject to compliance with all applicable codes and ordinances and the following conditions:

1. The special use permit shall be granted in accordance with the proffer conditions of REZ#2003-0003 to only the applicant or to any corporation in which the applicant has a controlling interest. (P&Z)
2. Architectural elevations for the kiosk building and canopy shall be included with the final site plan submission, and shall comply with the following requirements, to the satisfaction of the Director of Planning and Zoning:
 - a. The kiosk building exterior shall be constructed entirely of brick.
 - b. The columns exteriors for the canopy shall be brick.
 - c. The roof type for the canopy shall be a hip roof, that shall extend a minimum of 5 ft. above the top of the canopy fascia. The material for the roof shall be standing seam metal.
 - d. Free standing signs shall be prohibited. Signage on the canopy shall be permitted in accordance with the Zoning Ordinance. Any other signs shall be prohibited on the canopy.
 - e. Any mechanical equipment or appurtenances required for the kiosk building shall be recessed and/or screened from view. Details on the screening methods shall be provided on the final site plan. (P&Z)
3. The final architectural building elevations of the bank shall consist entirely of masonry (brick, stone or precast) and shall consist of vertical punched windows and a pitched (gable or hip) roof and shall be designed to appear as a building front from Van Dorn Street. (P&Z)
4. **(CONDITION REVISED BY PLANNING COMMISSION):** A revised landscape plan shall be provided with the final site plan to the satisfaction of the Directors of P&Z and RC&PA. At a minimum the plan shall provide the level and quality of landscaping depicted on the preliminary landscape plan and the plan shall be revised to also provide:
 - a. A second continuous row of seven (7) shade trees 30 ft on center on the southwestern portion of the site. The trees shall be a minimum 3-3½" caliper at the time of planting.
 - b. Where space is available, a continuous dense evergreen hedge around the entire southeastern and northeastern perimeter of the site. The plants shall be spaced a maximum 3 feet on-center and shall be a minimum height of 2'-0" at the time of installation. Where space is available, a continuous evergreen groundcover bed shall extend between the evergreen hedge and the adjoining sidewalk.
 - c. Where adequate space is available, the perimeter and interior tree species shall be revised to be shade trees such as London Plane, Willow Oak or Red Maple.

- d. Additional street trees shall be provided on Van Dorn Street between the existing street trees where possible to provide a street tree spacing of approximately 25 ft. on-center.
- e. Provide additional shade trees along the southern portion of the stormwater detention pond.
- f. Trees and groundcover or turf grass shall be planted within the newly constructed parking islands and around the gasoline station and bank. The planting area for all trees including within the islands and on top of the stormwater facility shall consist of a minimum of three feet of soil depth for the installation of the trees.
- g. All perimeter trees shall be planted in a continuous planting bed with aeration, drainage and irrigation systems. The planting bed shall be large enough to provide sufficient arable soil volume to support adequate moisture for the trees. **Planter islands for trees shall contain a minimum of 300 cubic feet of planting soil.**
- h. An automatic irrigation system shall be provided for all new landscaping and along the frontage of the site, to the satisfaction of the City Arborist.
- i. Trees shall be a minimum of 2½"-3"-3½" caliper at the time of planting.
- j. All trees shall be to be limbed up to six feet as they mature.
Trees shall not be planted under or near light poles.
The proposed shrubbery is to have a maximum height of 36 inches when it matures.
- k. The landscaping shall be installed as depicted on the final landscape plan prior to issuance of a certificate of occupancy permit for the gasoline station and or retail/bank building whichever is completed first. Upon review of the final landscape plan, additional plant material consisting of deciduous, evergreen and flowering plant materials may be required as determined by the Directors of P&Z and RP&CA.
- l. The final landscape plan shall be prepared by a licensed landscape architect.
- m. All materials' specifications shall be in accordance with the industry standard for grading plant material-The American Standard for Nursery Stock (ANSI Z60.1).
- n. Maintenance of all trees and landscape materials shall conform to accepted industry standards set forth by the Landscape Contractors Association, American Society of Landscape Architects, the International Society of Arboriculture, and the American National Standards Institute.
- o. Maintenance shall include, but not be limited to, pruning, watering, pest control, and removal and replacement of trees and shrubs as necessarily consistent with the conditions noted above.
- p. The applicant shall provide for an annual contract with a qualified landscape maintenance firm. Proof of an executed contract shall be provided to the offices of RP&CA and/or P&Z.
- q. All paving, including sub-grade, shall be removed and all grading and landscaping necessary for the gasoline station and retail/bank site as generally depicted on the preliminary plan shall be completed prior to any request for an occupancy permit

for the gasoline station. (P&Z) (RP&CA) (Police) (T&ES)(PC)

5. The applicant shall provide a parking management plan for employees that outlines methods to consolidate employee parking in the northern portion of the site to minimize impacts to retail patron parking and to encourage mass transit. At a minimum the plan shall provide the following:
 - a. The applicant shall provide bus and transit fare media at cost or discounted cost for all employees. The fare media should include Metrorail, Metrobus, DASH and other public transportation system fare media. The availability of the discounted fare media will be prominently advertised. The level of discount will be approved as part of the final parking management plan.
 - b. Carpooling will be promoted by employees by the provision of convenient carpool spaces within the parking lot. Such carpool spaces shall be marked.
 - c. The applicant shall provide on-site parking for construction workers without charge to the construction workers.
 - d. The applicant shall provide secure bicycle storage for employees.
 - e. The applicant shall require that its employees who drive to use off-street parking.
(P&Z)
6. The applicant shall provide a vehicular and delivery truck circulation plan. The plan shall be designed to minimize impacts on landscaping and pedestrian and vehicle circulation. The applicant shall provide for pedestrian safety where necessary by providing for pedestrian safety at major pedestrian crossing points across the main drive aisles, to the satisfaction of P&Z and T&ES. (P&Z)
7. The applicant shall provide a lighting plan within the project pursuant to a plan approved by the Director of T&ES in consultation with the Chief of Police; the lighting plan shall incorporate the following requirements and elements:
 - a. Show all existing and proposed street lights, site lights and building lights on the lighting plan. Indicate the type of fixture, and show mounting height, and strength of fixtures in Lumens or Watts. Provide manufacturers' specifications for the fixtures. Provide lighting calculations and a photometric plan with the final site.
 - b. The canopy lighting shall be recessed and/or shielded so as not to cause excessive illumination and spillover lighting beyond the confines of the canopy and shall not exceed a lighting level of up to 60 foot candles and directed onto the property so as not to interfere with street traffic or adjacent properties. The lighting levels at the site perimeter shall not exceed 2 foot candles. (P&Z)(T&ES)

8. **(CONDITION REVISED BY PLANNING COMMISSION):** The following restrictions shall apply for the gasoline station:
- a. No ~~temporary~~ banners, streamers, or similar advertising devices shall be displayed on the premises.
 - b. No outdoor display/sales shall be permitted adjacent to the pumps or kiosk building.
 - c. No sales of convenience store items such as prepackaged items, cigarettes, candy, gum, soda etc. at the kiosk building.
 - d. No outdoor vending machines shall be permitted in the area of the gas pumps.
 - e. No amplified sound shall be generated by the use and audible at the property line.
 - f. The fuel dispensing operation shall not operate beyond one (1) hour of closing of the main retail store.
 - g. No food, beverages or other materials shall be stored outside.
 - h. Wholesale sales of diesel fuel shall be prohibited. (P&Z)(PC)
9. Litter on the site and on public rights-of-way and spaces adjacent to or up to within 75 feet of the premises shall be picked up at least twice a day and at the close of business, and more often if necessary, to prevent an unsightly or unsanitary accumulation, on each day that the business is open to the public. Trash receptacles shall be provided on the interior of the site located in strategic areas throughout the parking lot and adjacent to building structures. No trash and debris shall be allowed to accumulate on the site outside of those containers.(P&Z)
10. The applicant shall attach a copy of the final released site plan to each building permit document application and will be responsible for ensuring that the building permit drawings are consistent and in compliance with the final released site plan prior to review and approval of the building permit by the Departments of Planning and Zoning and Transportation and Environmental Services. (P&Z)
11. The applicant shall be allowed to make minor adjustments if the changes do not result in a loss of parking and landscaping, or an increase in impervious area. (P&Z)
12. Temporary structures for construction shall be permitted. The period such structures are to remain on the site, the size and site arrangement of the structures shall be subject to the approval of the Director of Planning and Zoning. (P&Z)
13. Any inconsistencies between the various drawings submitted by the applicant shall be reconciled to the satisfaction of the Directors of Planning and Zoning and Transportation and Environmental Services. (P&Z)

14. All utility structures, such as transformers, switch boxes, cable and telephone pedestals, ventilation areas, arcaways, etc. shall be located to minimize visibility from the adjoining public streets to the greatest extent possible. The final location and screening of these items will be approved by the Director of Planning and Zoning prior to release of the final site plan. (P&Z)
15. Location surveys for all physical site improvements including landscaping for the entire project shall be submitted by the applicant and approved by the Director of Planning and Zoning prior to issuance of a certificate of occupancy permit. (P&Z)
16. A temporary informational sign shall be installed by the applicant on the site prior to the approval of the building permit for the project and shall be displayed until construction is complete or replaced with a marketing sign incorporating the required information; the sign shall notify the public of the nature of the upcoming project and shall provide a phone number for public questions about the project. (P&Z)
17. Developer to comply with the peak flow requirements of Article XIII of AZO. (T&ES)
18. **(CONDITION REVISED BY PLANNING COMMISSION): Within 3 years of the date of this approval, or upon termination of the developer's existing solid waste removal contract, whichever is earlier,** the developer agrees to deliver all solid waste, as defined by the Code of the City of Alexandria, to a refuse disposal facility designated by the Director of T&ES. The developer further agrees to stipulate in any future subleases ~~lease or property sales agreement~~ that subtenants ~~all tenants and/or property owners~~ shall also comply with this requirement. (T&ES) (PC)
19. **(CONDITION AMENDED BY PLANNING COMMISSION):** Provide four (4) ~~six (6)~~ City standard street cans along the public streets, to the satisfaction of the Director of T&ES. (T&ES)(PC)
20. The applicant is advised that all stormwater designs that require analysis of pressure hydraulic systems and/or inclusion and design of flow control structures must be sealed by a professional engineer, registered in the Commonwealth of Virginia. If applicable, the Director of T&ES may require resubmission of all plans that do not meet this standard. (T&ES)
21. Replace existing curb and gutter, sidewalks, and handicap ramps that are in disrepair or broken. (T&ES)

22. Prior to the release of the final site plan, provide a Traffic Control Plan for construction detailing proposed controls to traffic movement, lane closures, construction entrances, haul routes, and storage and staging. All Traffic Control Device design plans, Work Zone Traffic Control plans, and Traffic Studies shall be sealed by a professional engineer, registered in the Commonwealth of Virginia. (T&ES)
23. **(CONDITION REVISED BY PLANNING COMMISSION):** The applicant shall provide five (5) fifteen (+15) customer bicycle spaces to the satisfaction of the Director of T&ES. (T&ES)(PC)
24. Add the words "as originally designed." to the end of the first sentence of General Note #21 on sheet 2. (T&ES)
25. The applicant shall contact the Crime Prevention Unit of the Alexandria Police Department at 703-838-4520 regarding a robbery awareness program for all employees of the kiosk and bank. (Police)
26. No shrubs higher than 3 feet to be planted within 6 feet of walkways. (Police)
27. Lighting is to be a minimum of 2 foot candles maintained. (Police)
28. In accordance with the City's Affordable Housing Policy, the applicant shall make a contribution to the City's Housing Trust Fund of \$1.00 per gross square foot of new building area for all new additions or commercial development if larger than 3,000 gross square feet. The applicant shall pay the contribution to the City prior to the issuance of the certificate of occupancy in the case of commercial development. (Housing)
29. **(NEW CONDITION BY PLANNING COMMISSION):** Trailer(s) shall be permitted for delivery purposes only and shall not be stored and/or parked on the site, excluding construction trailers as approved by the Director of P&Z. (PC)

Special use permits and modifications requested by the applicant and recommended by staff:

1. Special use permit for gasoline pumps.
2. Special use permit for parking reduction.
3. Special use permit for the drive through bank facility.

Staff Note: In accordance with section 11-506(c) of the zoning ordinance, construction or operation shall be commenced and diligently and substantially pursued within 18 months of the date of granting of a special use permit by City Council or the special use permit shall become void.

DISCUSSION:

The applicant, BJ's Wholesale Club, Inc., is requesting a development special use permit, with site plan that includes:

- A one story, 4,000 sq. ft. bank along Van Dorn Street,
- Special use permit approval to construct a drive-through facility for the proposed bank.
- Five gas pumps.
- Proposed parking reduction.

The site is located south of Duke Street, west of Van Dorn Street, north of Stevenson Avenue and east of the Passport car dealership, and contains 9.6 acres of land and is currently zoned CRMU-M/Commercial Residential Mixed Use-Medium. In conjunction with this application, the applicant is also seeking approval of a Master Plan amendment and rezoning (MPA#2003-0003 and REZ#2003-0003) to rezone the area in the southeastern portion of the site at the corner of Stevenson Avenue and North Van Dorn Street.

Project Description

The site is currently occupied by a 120,895 sq. ft. warehouse like structure which contains the BJ's Wholesale Club, which provides various retail, food and services for its members. The building is located adjacent to the western portion of the site and is surrounded on the remaining three sides by surface parking lots. The tire facility and loading docks are located on the northern portion of the building.

The applicant is requesting approval to construct a 4,000 sq. ft. bank site at the northeast portion of the site adjacent to the intersection of Van Dorn Street and access ramps for Duke Street and a 3,500 sq. ft. canopy with a 200 sq. ft. kiosk building and five fuel dispenser islands at the southeastern portion of the site. The kiosk building will house the attendant who will be responsible facilitating purchases and monitoring of the gas pumps.

Primary access to the site is provided from Stevenson Avenue at a mid-block signalized intersection across from the Van Dorn Plaza shopping center. The other point of access is from an ingress ramp located off east bound Duke Street. There are no existing curb-cut access points from along Van Dorn Street and none are proposed with this application.

Zoning

The site's current zoning of CRMU-M/Commercial Residential Mixed Use-Medium does not permit gas pumps. The applicant has pending applications for a master plan amendment and rezoning to CG/Commercial General which does permit gas pumps.

A summary of the zoning characteristics for the project are shown below.

BJ's WHOLESALE CLUB		
Property Address:	101 North Beauregard Street	
Total Site Area:	418,176 sq.ft. or 9.6 acres 342,218 sq.ft. or 7.856 acres (CRMU-M) 75,958 sq.ft. or 1.744 acres (CG)(proposed)	
Zone:	CRMU-M, proposed rezoning to CG on 1.744 acre southeastern portion of site	
Current Use:	Retail	
Proposed Use:	Retail with the Addition of Gas Pumps and Bank.	
	<u>Permitted/Required</u>	<u>Proposed</u>
Floor Area	256,663 sq.ft. (CRMU-M) 37,979 sq.ft. (CG)	114,159 sq.ft. (existing) 4,000 sq.ft. (Bank) 3,500 sq.ft. (Canopy over gas pumps) 121,659 sq.ft. Total
FAR	0.75 (CRMU-M, single-use) 0.50 (CG)	0.35 0.05
Height	50'	35' (proposed for bank) 17' (proposed for canopy)
Open Space	none	NA
Parking	603 spaces (existing) 10 spaces (bank pad site) 5 spaces (gas pumps) 618 (does not include 6 loading spaces.)	444(Modification requested) *
*180 parking space reduction requested		

STAFF ANALYSIS:

Traffic:

One of the initial objections to the applicant's proposal to locate gas pumps at the site was intensification of the retail use at the site. A concern was that the new uses would result in increased vehicle trips to a site where there is already severe congestion along North Van Dorn Street and at the intersection of South Walker Street and Duke Street. The applicant prepared a Traffic Impact Study to analyze traffic impacts on the adjacent road network system at four key intersections:

- Van Dorn Street and Stevenson Avenue.
- Intersection along Stevenson Avenue at the entrances for BJ's Wholesale Club and Van Dorn Plaza shopping center.
- Stevenson Avenue and S. Walker Street.
- Walker and Duke Streets.

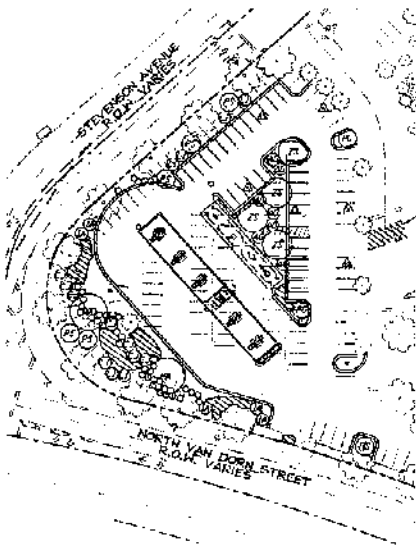
The results of the study indicate the proposed gas pumps and bank pad site would add another 104 AM peak trips and 259 weekday PM peak hour trips to the public street system upon completion of the project. The study concluded that with development of the site for the gas pumps and bank, the four key intersections continue to operate at the same overall levels of service as those experienced under background conditions without the proposed improvements. The study did indicate that there would be a minimal delay at the study intersections as a result of the proposed development.

Gas Station and Bank:

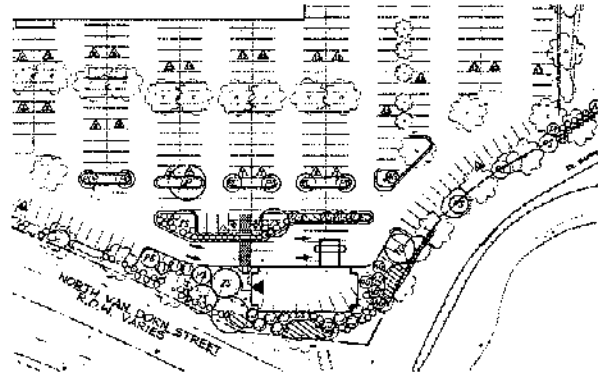
The applicant's original proposal was to locate the pumps at the northern portion of the site adjacent to the retention pond and locate the bank at the southern portion of the site raised several concerns that included:

- Inadequate access route from Duke Street causing delayed response times by emergency vehicles;
- Concern regarding on-site traffic circulation; and
- Adverse visual impacts along Duke Street.

To address these issues and the concern regarding the lack of a clear public benefit, the applicant revised the site plan to relocate the gas pumps to the southeastern portion of the site. Although this resolved the issue of fire access, the revised plans did not fully address issues of urban design, visual screening, architectural treatment and access and cuing. The applicant continued to work through various options for siting the gas pumps to improve circulation and provide areas for increased landscape buffer screening. The applicant relocated the bank from the area near the northern portion of the site to the eastern portion of the site adjacent to Van Dorn Street.



Proposed Gas Station



Proposed Bank Pad Site

Gas Station:

Locating the gas station at the southeast corner of the site resolved several issues:

- Limits the scope of the Master Plan amendment and rezoning to CG/Commercial general to a small portion of the site which is contiguous to Van Dorn Plaza shopping center which is zoned CG.
- Enhances vehicle access and circulation.
- Provides a significant buffer area to provide for increased landscape and screening adjacent to Van Dorn Street.
- Retains close-in parking near the store entrance.
- Provides a building presence on Van Dorn Street.

In addition to the items listed above, recommendations have been included that will require architectural design treatment of the canopy for the gas pumps. The 10' by 20' kiosk building is to be constructed of brick and the canopy is to be designed with a standing seam metal hip roof treatment. In addition, there will be significant landscape screening in the buffer area at the corner of the site.

Bank:

The building's proposed location provides street presence on Van Dorn Street. In addition, the bank will have increased landscaping with an entrance along the street frontage. The applicant has not identified a bank operator at the time of this application, and therefore no building elevation plans

are available for staff review. However, it is recommended that the facade treatment for the bank be constructed as a traditional building with a hip roof, punched windows and brick and precast materials. The bank's drive-thru is located on the parking lot side of the building where it is screened from view by the building. The proposed drive-thru facility requires approval special use permit approval. Staff is recommending approval because the location is internal and will not be visible from Van Dorn Street.

Landscaping

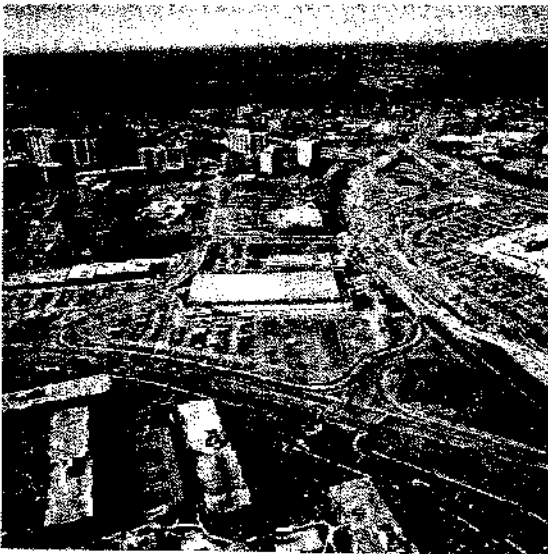
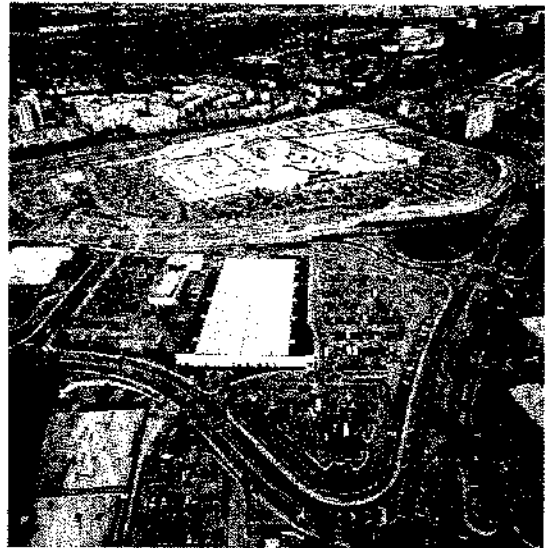
As part of this plan process, the applicant surveyed existing landscape materials at the site to prepare a new landscape plan to address many of the concerns regarding additional landscaping/screening that were identified by the community and staff. This application provides an opportunity to replace landscaping that has not done well, increase landscape buffering and to gain additional areas of green space to provide additional plantings. In addition, it is recommending a number of new conditions that insure improved quality, quantity and maintenance of landscaping materials at the site. The proposed landscape improvements will also provide numerous public benefits including significant improvements to the appearance of the streetscape along Van Dorn Street and Duke Street thereby enhancing the pedestrian experience.

Parking Reduction:

A parking reduction is proposed in conjunction with the requests for gas pumps and bank. The applicant is requesting a parking reduction of 180 parking spaces. There are approximately 601 parking spaces at the site not counting the 6 loading spaces. A total of 624 parking spaces are required for the existing use plus the proposed uses, the applicant is proposing to provide 444 parking spaces. Although this request represents a significant technical reduction, the membership club is not a typical retail use. The parking requirement is based on 114,000 sq. ft. of space contained within a building where much of the space is devoted to storage of bulk merchandise. The typical member does not shop as frequently at the store as with other retail or grocery stores. The parking requirement is aimed at conventional retail facilities and not bulk sales clubs where the number of memberships and sales would be a better determinant of parking requirements. The proposed improvements for a gasoline station, bank and additional landscape areas recommended by result in a loss of existing parking spaces.

A parking study was prepared to evaluate the proposed parking reduction. Parking surveys were conducted on Thursday, December 19, 2002 and Saturday, December 21, 2002. The surveys indicated that the peak parking occupancy rate was 35 percent for the weekday and 57 % for Saturday. Thus, 65 % of the parking was available on the weekday and 43 % on the Saturday during the peak holiday season. In addition, the applicant provided an aerial survey of the site on Saturday, December 21, 2002, the last Saturday just before Christmas. In preparation of this application, the applicant conducted parking surveys, including an aerial analysis to verify that much of the parking was not being utilized. An aerial survey of the site and areas was conducted on December 21, 2002,

the last Saturday just before Christmas and one of the busiest shopping days of the year. The aerial photographs show that less than half of the 604 parking spaces are being used during the mid-day shopping peak in contrast to the Landmark Shopping Center parking lot which is at capacity.



The aerial photographs were taken during the mid-day shopping peak and shows that a little more than half of the 601 parking spaces are being used on one of the busiest shopping days of the year. In contrast, the Landmark Shopping Center is parked to capacity. This illustrates that the standard retail parking may not necessarily be an appropriate method for determining the parking requirement for bulk sales clubs. The traffic consultant's parking analysis forecast that the peak

parking demand for BJ's, with the additional use, requires 395 parking spaces. The proposed gas station, bank and increased buffer and landscape areas displace 159 parking spaces resulting in a new supply of 442 parking spaces at the site. The analysis also states that typically, a perceived "full" parking lot is 10 % vacant, therefore a 10 % "practical" factor was applied to the observed parking demand for the wholesale club to forecast parking demand. The study determined that a surplus of 48 parking spaces (or 11 %) is needed to meet parking requirements for all uses at the site. Therefore, the proposed parking supply of 442 parking spaces would accommodate the existing wholesale club, gasoline pumps and the bank. Staff is recommending approval of the parking reduction at the site.

Staff Recommendation:

Staff recommends **approval** of the proposed development site plan application with the conditions outlined within the staff report.

STAFF: Eileen Fogarty, Director, Department of Planning and Zoning;
Jeffrey Farmer, Acting Chief, Development;
Gregory Tate, Urban Planner.

#20-21
6-14-03

BJ'S Wholesale Club

MPA/REZ#2003-003/DSUP#2003-003

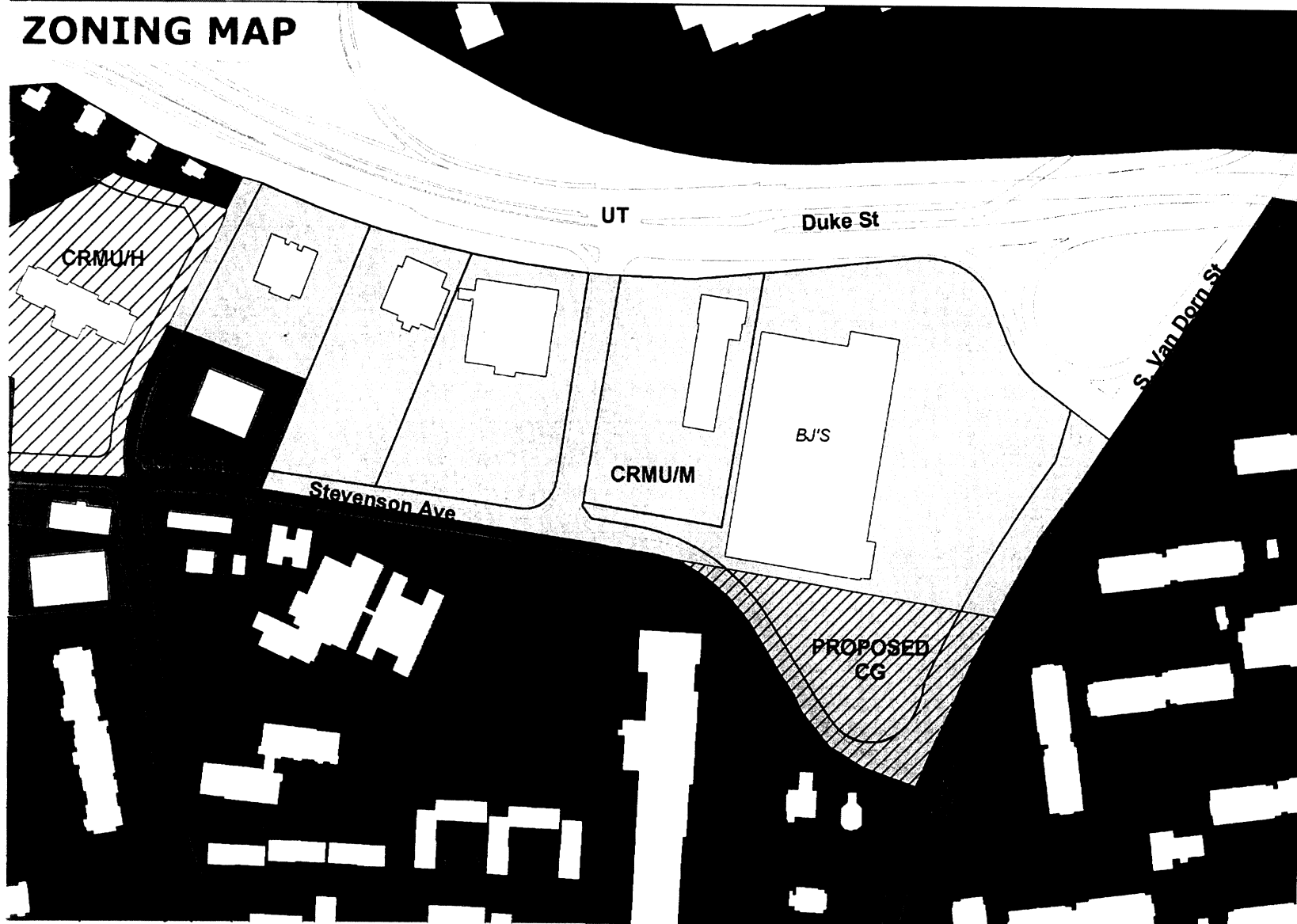


City of Alexandria -- Department of Planning & Zoning

BJ'S Wholesale Club

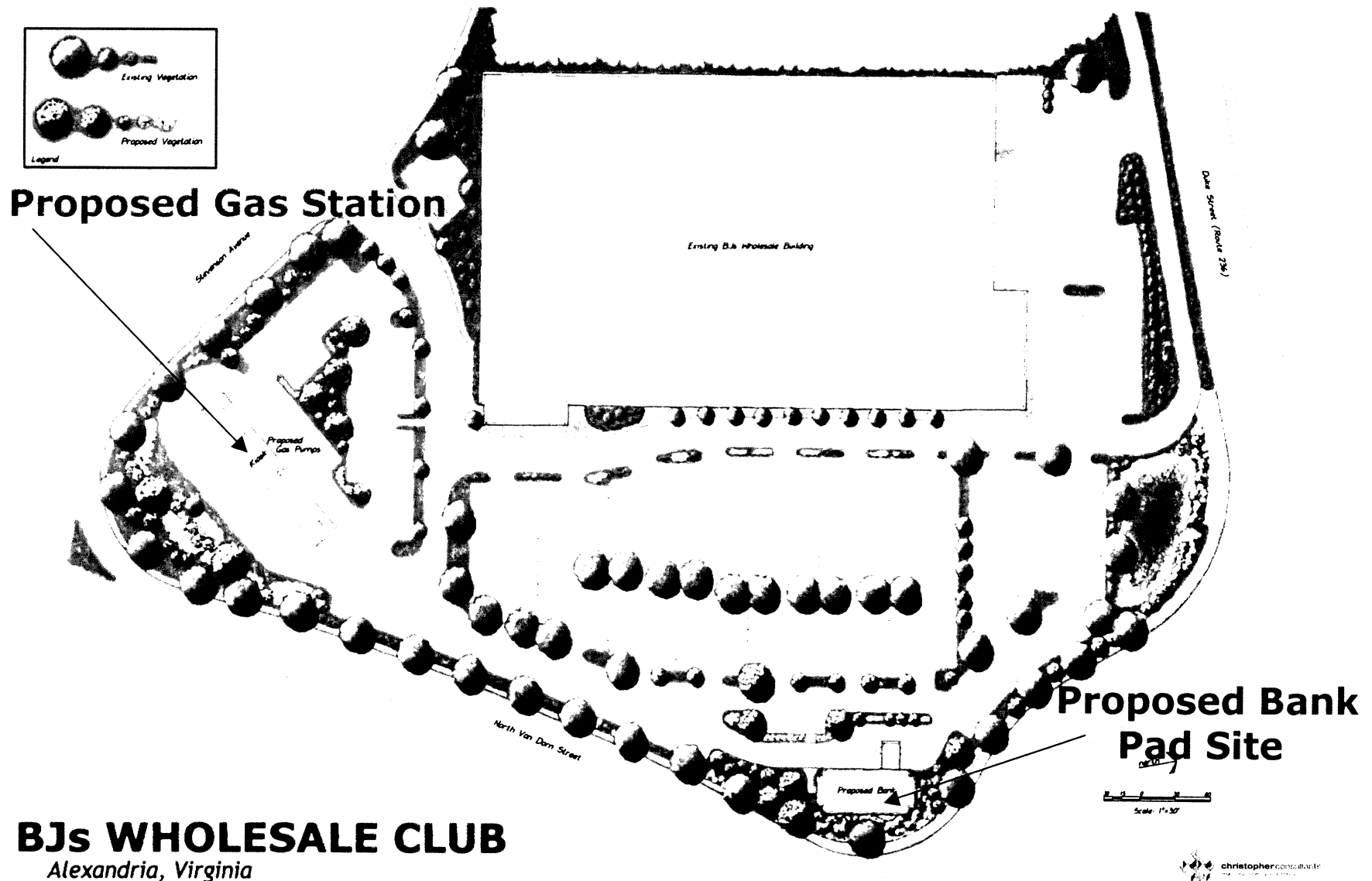
MPA/REZ#2003-003/DSUP#2003-003

ZONING MAP



BJ'S Wholesale Club

MPA/REZ#2003-003/DSUP#2003-003



BJ'S Wholesale Club

MPA/REZ#2003-003/DSUP#2003-003

PARKING

BJ's parking



P.C. Recommended Approval 7-0

- ❖ Limit scope of proposed Master Plan amendment/rezoning to CG to a small portion of the site contiguous with land zoned CG
- ❖ Building presence along Van Dorn Street
- ❖ Building design for gas station/bank screens existing surface parking
- ❖ Increased open space buffer areas and landscaping adjacent to Van Dorn Street and Duke Street
- ❖ Requirements for improved landscape maintenance

CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F - finding

Planning & Zoning

- F-1 The proposed sign depicted on the end of the gas pump canopy exceeds the wall sign limit. The maximum sign area allowed on the end of the canopy is 26 square feet. The proposed illuminated wall sign is approximately 30 square feet.
- C-1 The total area of all signs displayed on any new building or structure shall not exceed one square foot for each square foot of building width.

Transportation & Environmental Services:

- C- 1 Bond for the public improvements must be posted prior to release of the plan.
- C- 2 All downspouts must be connected to a storm sewer by continuous underground pipe.
- C- 3 The sewer tap fee must be paid prior to release of the plan.
- C- 4 All easements and/or dedications must be recorded prior to release of the plan.
- C- 5 Plans and profiles of utilities and roads in public easements and/or public right-of-way must be approved prior to release of the plan.
- C- 6 All drainage facilities must be designed to the satisfaction of T&ES. Drainage divide maps and computations must be provided for approval.
- C- 7 All utilities serving this site to be underground.
- C- 8 Provide site lighting plan to meet minimum city standards.
- C- 9 The applicant must comply with the Chesapeake Bay Preservation Act in accordance with Article XIII of the City's zoning ordinance for storm water quality control which includes requirements for pollutant load reductions and treatment of the Water Quality Volume Default (WQV).

- C-10 The applicant must comply with the City of Alexandria, Erosion and Sediment Control Code, Section 5, Chapter 4. This includes naming a "Certified Land Disturber" on the Erosion and Sediment Control sheets prior to release of the final Site Plan in accordance with Virginia Erosion and Sediment Control Law VAC §: 10

Code Enforcement:

- C-1 Applicant must provide Emergency Vehicle Easement to each site through the parking lot to the satisfaction of the Director of Code Enforcement.
- C-2 Hydrant coverage is inadequate for proposed project. The applicant shall provide fire hydrants at least 40 feet from each building or structure served. Show additional hydrants on plans.
- C-3 The developer shall provide a separate Fire Service Plan which illustrates: a) emergency ingress/egress routes to the site; b) on site fire hydrants spaced with a maximum distance of three hundred (300) feet between hydrants and the most remote point of vehicular access on site; c) emergency vehicle easements (EVE) around the building with a twenty-two (22) foot minimum width; f) all Fire Service Plan elements are subject to the approval of the Director of Code Enforcement.
- C-4 Separators are required for gasoline stations where gasoline is dispensed (USBC 2800.1: P-1002.7.1.2). Show location of Separators on plans.
- C-5 New construction must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-6 A soils report must be submitted with the building permit application.
- C-7 A fire prevention code permit is required for the proposed service station operation.
- C-8 The applicant must obtain a Certificate of Occupancy prior to occupancy (use) of the structure (USBC 115.1).

Health Department:

No comments received

Police Department:

- R-1 The applicant is to contact the Crime Prevention Unit of the Alexandria Police Department at 703-838-4520 regarding a security survey for the kiosk and bank buildings.
- R-2 Trees are not to be planted under or near light poles.

- R-3 All trees to be limbed up a minimum of 6 feet as they mature to allow for natural surveillance.
- R-4 No shrubs higher than 3 feet to be planted within 6 feet of walkways.
- R-5 Lighting is to be a minimum of 2 foot candles maintained.
- R-6 The proposed shrubbery is to have a maximum height of 36 inches when it matures.

Historic Alexandria (Archaeology):

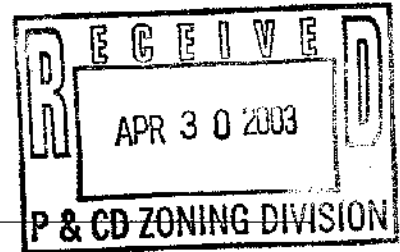
No comments

Parks & Recreation (Arborist):

- F-1 No landscape notes have been provided on the landscape plans.
- R-1 Provide for an irrigation system for planting areas.

Virginia American Water Company:

1. Hydraulic calculations will be completed to verify main sizes upon final submittal of the final site plan. Profiles will be required for hydraulic calculations.
2. When crossing sewer mains, water mains should maintain eighteen inches of vertical clearance.
3. Show sizes of proposed water main. Call out all wet taps, fittings, bends etc. on site plan.
4. On sheet 6, at the bank building, show a 90 degree bend on the water main instead of the tee is currently shown. If the bank building is to be sprinklered, show separate fire and domestic services.



WELLS & ASSOCIATES, LLC

TRAFFIC, TRANSPORTATION, and PARKING CONSULTANTS

MEMORANDUM

TO: Gregory Tate
City of Alexandria Planning and Zoning Department

Tom Culpepper
City of Alexandria Department of Public Works

CC: Phil Woodyatt
BJ's Wholesale Club

Erika Byrd
McGuire Woods, LLP

FROM: Christopher Kabatt, P.E.
Terence J. Miller

DATE: April 25, 2003

SUBJECT: BJ's Wholesale Club Parking Analysis Addendum;
Alexandria, Virginia

Introduction

This memorandum presents a parking analysis addendum for the BJ's Wholesale Club project located in Alexandria, Virginia. The subject site is located south of Duke Street, west of North Van Dorn Street, and north of Stevenson Avenue.

The site currently consists of 9.6 acres with a 116,895 square foot (SF) wholesale club. As outlined in the BJ's Wholesale Club Traffic Impact Study (TIS), prepared by Wells & Associates dated April 7, 2003, the applicant proposes to construct a 4,000 square foot bank with a two-lane drive through window and install five gasoline pumps which would sell discounted fuel to club members.

After receiving comments from the City of Alexandria, the site plan has been revised. Specifically, the orientation of the gasoline pumps and the bank has changed, as well as the amount of buffer and landscaping along the North Van Dorn Street and Stevenson Avenue frontage. Therefore, the parking analysis has been updated. A reduction of the revised site plan is attached.

2324

The April 7, 2003, TIS was used as the basis for this addendum. The amount of proposed parking spaces has changed due to the site plan modifications. The proposed development program and capacity analysis presented in the TIS remains valid.

Parking Analysis

As presented in the TIS, existing parking occupancy counts were conducted on Thursday, December 19, 2002, from 3:00 PM to 10 PM and on Saturday, December 21, 2002, from 10:00 AM to 10:00 PM by Wells & Associates at the BJ's Wholesale Club. These counts represent the seasonal peak parking occupancy for retail uses since they were obtained during the height of the holiday season.

As shown in Table 1, the holiday season counts indicated that the peak parking occupancy was 35 percent for the weekday and 57 percent for Saturday. Thus, 65 percent and 43 percent of the parking lot was available on a weekday and Saturday during the peak holiday season.

Currently, 601 parking spaces serve the existing BJ's Wholesale Club. The proposed gasoline pumps, bank, and buffer and landscaping improvements would displace 159 spaces, resulting in a new supply of 442 parking spaces.

Parking demand was forecasted for the existing BJs Wholesale Club, the pad site, and the gasoline pumps, based on existing demand and the City of Alexandria Parking Code. Typically a perceived "full" parking lot is 10 percent vacant, therefore a 10 percent "practical" factor was applied to the observed parking demand for the wholesale club to forecast demand. As shown in Table 1, a surplus of 48 parking spaces (or 11 percent) is anticipated, based on the forecasted parking demand. Thus, the future supply of 442 parking spaces would accommodate the existing wholesale club, the gasoline pumps proposed and pad site.

Table 1
BJ's Wholesale Club
Parking Tabulation (1)

Scenario	Size	Units	Parking Code (2, 3)	Number of Parking Spaces
Existing Provided				601
City Code Requirement (2) (3)				
Wholesale Club (Retail)	114,159 S.F.		1.20 per 230 S.F.	596
Tire Store	2,736		1.00 per 400 S.F.	<u>7</u>
				603
Observed Existing Parking Demand				
Peak Holiday Season Weekday Peak Hour Occupied Parking Spaces				213
Percent Occupied				35%
Peak Holiday Season Saturday Peak Hour Occupied Parking Spaces				345
Percent Occupied				57%
Proposed Parking				
Supply				442
Forecasted Demand				
Wholesale Club (Retail)	116,895 S.F.			345
Practical Factor (4)	10%			35
Bank with Drive Through	4,000 S.F.		1.00 per 400 S.F.	10
Gas Pumps	5 Pumps		1.00 Per Pump	<u>5</u>
Total Forecasted Demand				395
Surplus				48
Percent Surplus				11%
City Code Requirement				
Wholesale Club (Retail)	114,159 S.F.		1.20 per 230 S.F.	596
Tire Store	2,736		1.00 per 400 S.F.	<u>7</u>
Subtotal				603
Bank with Drive Through	4,000 S.F.		1.00 per 400 S.F.	10
Gas Pumps	5 Pumps		1.00 Per Pump	<u>5</u>
Total Required by Code				618
Shortfall				-176
Percent Shortfall				-28%

- Notes:
- (1) All parking spaces are on-site, surface spaces and only 42 are compact spaces. No standing or tandem spaces are proposed.
 - (2) Based on The Zoning Ordinance of the City of Alexandria, Virginia, effective June 24, 1992.
 - (3) BJ's Wholesale Club is located in Parking District 3.
 - (4) Practical Factor assumes full parking lot is 10 percent vacant.

2726

Q:\Projects\1501 - 2000\1911 by Alexander\1911 DSUP\1911 DSUP.dwg

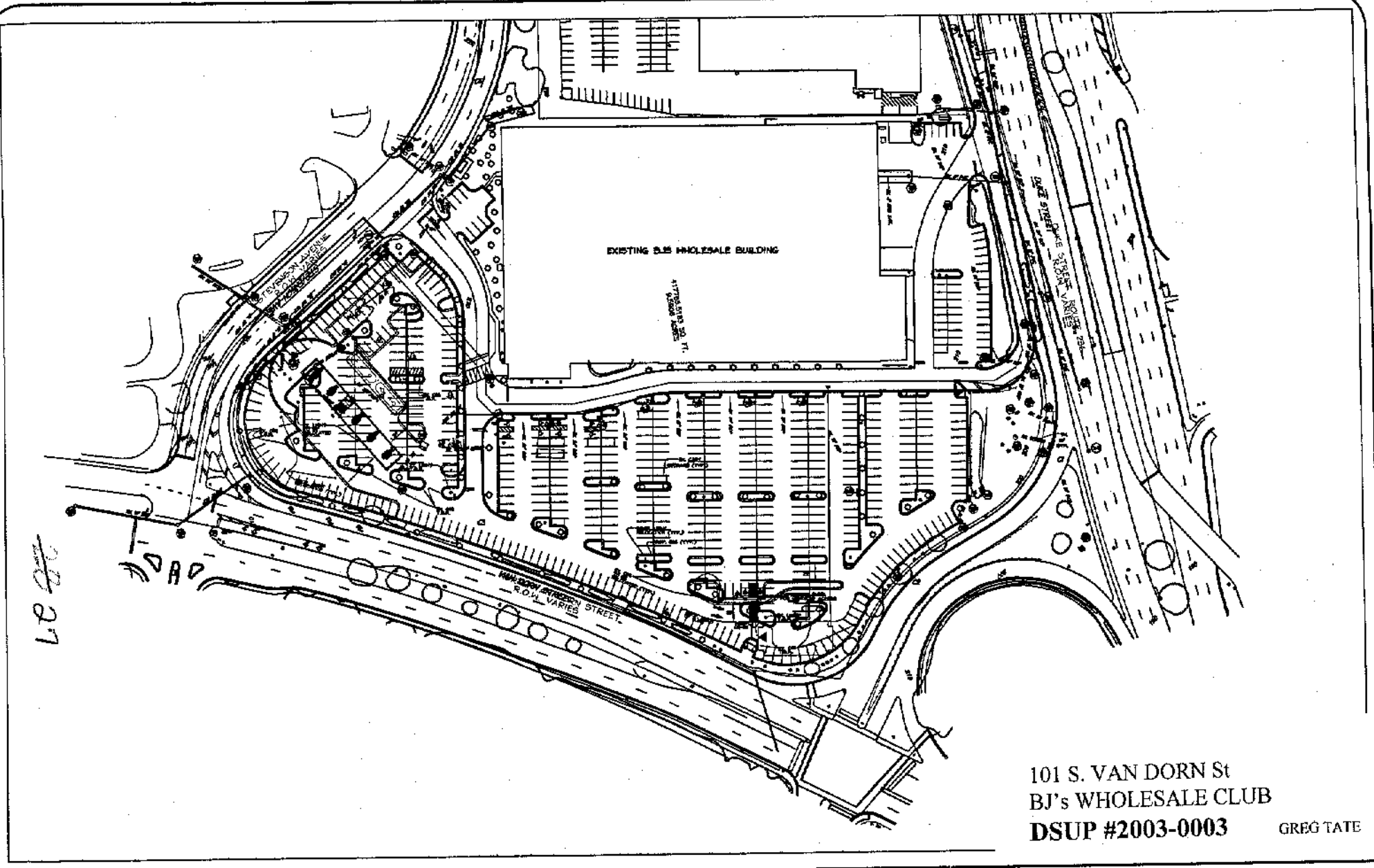


Figure 1
Site Plan

Prepared By: Christopher Consultants, Ltd.



101 S. VAN DORN St
BJ's WHOLESALE CLUB
DSUP #2003-0003

GREG TATE

BJ's WHOLESALE CLUB SPECIAL USE PLAN AMENDMENT PROPOSED DRIVE-THRU BANK AND GAS PUMPS CITY OF ALEXANDRIA, VIRGINIA

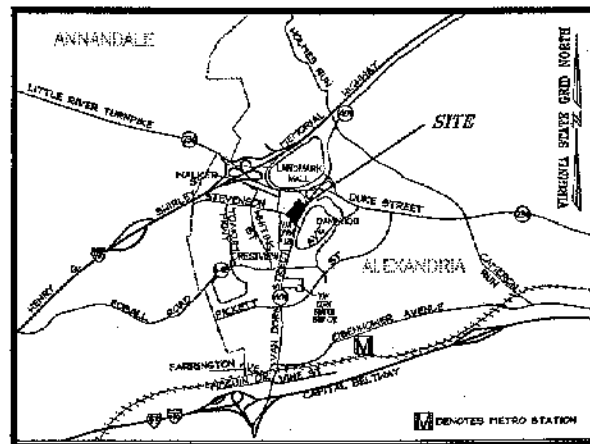
PREPARED BY:



christopher consultants
engineering • surveying • land planning
christopherconsultants, llc

SHEET INDEX

No.	TITLE
1.	COVER SHEET
2.	GENERAL NOTES
3.	EXISTING CONDITIONS PLAN
4.	OVERALL SITE PLAN
5.	SITE PLAN
6.	SITE PLAN
7.	DEVELOPMENT SITE SECTIONS
8.	LANDSCAPE PLAN
9.	LANDSCAPE PLAN
10.	LANDSCAPE DETAILS
11.	FIRE SERVICE PLAN
12.	CONTEXT MAP PLAN
13.	DISPENSER CANOPY
14.	VEHICULAR AND TRUCK SERVICE PLAN



VICINITY MAP

SCALE 1" = 2000'

DEVELOPMENT SPECIAL USE PERMITS (DSUP) REQUESTED

1. GAS PUMPS
2. DRIVE THROUGH BANK
3. PARKING REDUCTION

PROFESSIONAL SEAL AND SIGNATURE	DATE	REVISION
	8-19-03	PER CITY PLANNING DEPT'S COMMENTS

DATE: FEBRUARY 27, 2003

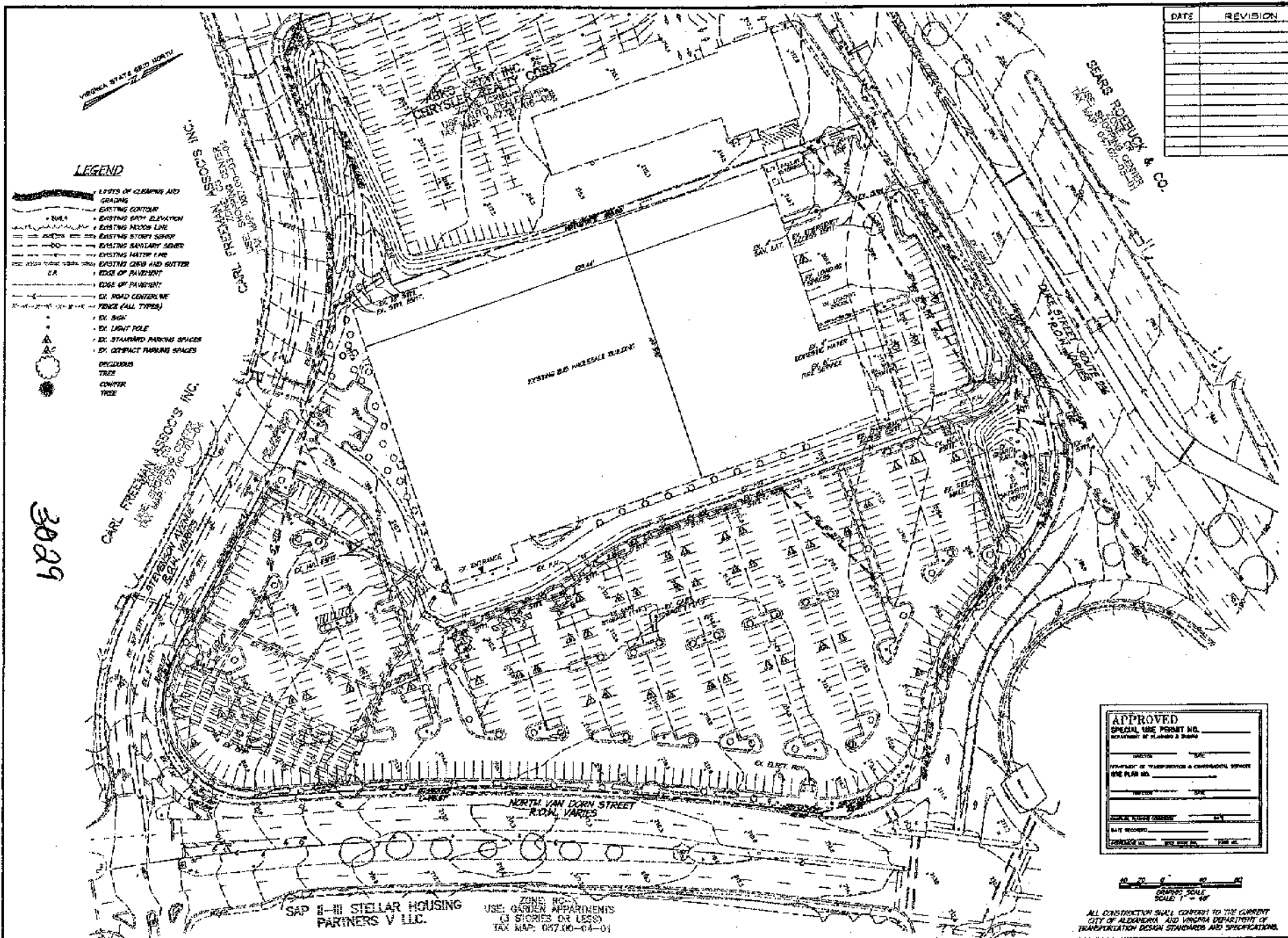
APPROVED	
SPECIAL USE PERMIT NO. _____	
DATE OF PERMIT: _____	
APPROVED BY:	DATE:
REVIEWED BY: _____	
DATE RECEIVED: _____	
APPROVED BY:	DATE:

OWNER
CARL M. FREEMAN ASSOCIATES, INC.
11325 SEVEN LOCKS ROAD
POTOMAC, MARYLAND 20854

DEVELOPER
BJ's WHOLESALE CLUB
ONE MERCER ROAD
P.O. BOX 9601
NATICK, MASSACHUSETTS 01760
(508) 551-7400

TRAFFIC ENGINEER
WELLS & ASSOCIATES, LLC.
1420 SPRING HILL ROAD
SUITE 600
MCLEAN, VIRGINIA 22102

CIVIL ENGINEER
christopher consultants, llc.
9900 MAIN STREET
FOURTH FLOOR
FAIRFAX, VIRGINIA 22031
(703) 273-6620



CARL FREEMAN ASSOCIATES INC.

ENGINEERING, ARCHITECTURE, LAND PLANNING

USE: SHOPPING CENTER

1000 MAIN STREET, SUITE 100, ALEXANDRIA, VA 22304

STEVENSON AVENUE

ROW VARIES

MATCHLINE "A" - SEE SHEET 5

MATCHLINE "B" - SEE SHEET 5

EXISTING BJS WHOLESALE BUILDING

DUKE STREET VARIES ROUTE 236

VIRGINIA STATE GRID NORTH

SEARS ROEBUCK & CO.
USE: SHOPPING CENTER
1000 MAIN STREET, SUITE 100, ALEXANDRIA, VA 22304

DATE	REVISION
4-25-09	REVISED LAYOUT PER CITY COMMENTS
5-1-09	PER CITY DESIGN LETTER DATED 5-1-09

- LEGEND**
- EX. CONTOUR
 - EX. WOODS LINE
 - EX. STORM SEWER
 - EX. SANITARY SEWER
 - EX. WATER LINE
 - EX. GUTTER
 - EX. EDGE OF PAVED/DIRT
 - EX. FENCE (ALL TYPES)
 - EX. DECIDUOUS TREE
 - EX. CONTOUR
 - LOTTS OF CONSTRUCTION
 - PROPOSED ELEVATION
 - PROPOSED STORM SEWER
 - PROPOSED SANITARY SEWER
 - PROPOSED WATER LINE
 - PROPOSED CURB AND GUTTER
 - TEST PIT BENCHMARK
 - COMPACT PARKING SPACES
 - PARKING SPACES
 - TO BE REMOVED
 - EXISTING LIGHT POLE

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY OF ALEXANDRIA AND VIRGINIA DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS AND SPECIFICATIONS.

christopher consultants
engineering, architecture, land planning
1000 MAIN STREET, SUITE 100, ALEXANDRIA, VA 22304
REGISTERED - ME 10212, NC 10212, VA 10212



SITE PLAN

BJ's WHOLESALE CLUB
DRIVE-THRU BANK
AND GAS PUMPS
CITY OF ALEXANDRIA, VIRGINIA

APPROVED
SPECIAL USE PERMIT NO. _____
DEPARTMENT OF PLANNING & ZONING

DATE: _____
BY: _____

SEAL: _____
DATE: _____
BY: _____

PROJECT NO. _____

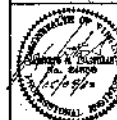
NOTE
THE PAD SITE LOCATED IN THE EASTERN PORTION OF THE SITE SHALL BE REVERTED TO BE A BANK WITH A DRIVE-THRU OR ANY OTHER USE PERMITTED IN THE CORPUS LANE. PLANNING AND CONSTRUCTION OF THE BANK PAD SITE, ASSOCIATED LANDSCAPING AND DRIVE-THRU LANE SHALL BE AT THE OWNER'S SOLE DISCRETION. INSTALLATION OF THE PUELLING STATION IN THE SOUTHERN PORTION OF THE SITE SHALL CONSTITUTE VESTIGURE OF THIS AMENDED DEVELOPMENT SPECIAL USE PERMIT.

33 32

MATCHLINE "B" - SEE SHEET 5

NORTH VAN DORN STREET
ROW VARIES

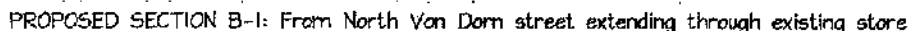
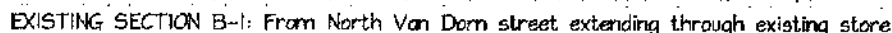
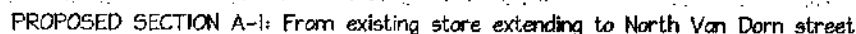
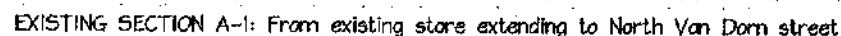
christopher consultants
engineering • surveying • land planning
christopher consultants, inc.
2000 27th Avenue South, Suite 100 • Birmingham, Alabama 35204-3607
205.273.6800 • Fax 205.273.7926



DEVELOPMENT SITE SECTIONS

BBJ's WHOLESALE CLUB
DRIVE-THRU BANK
AND GAS PUMPS
CITY OF ALEXANDRIA, VIRGINIA

SCALE: AS NOTED
DATE: FEBRUARY 27, 2005
DESIGN: JR
DRAWN: BRFC
CHECKED: EM
PLANT: 11



1. These sections have a horizontal scale of $1''=20'$ and a vertical scale of scale $1''=10'$.

2. Refer to Sheet 4, 'Overall Site Plan', for position of cut sections.

APPROVED
SPECIAL USE PERMIT NO. _____
DEPARTMENT OF PLANNING & ZONING

PRECEDENCE NO. _____

SUBJECT: TRANSPORTATION & PARADISELAND SERVICE
TYPE PLAN NO. _____

PRECEDENCE NO. _____

CITY OF LOS ANGELES

DATE RECEIVED _____

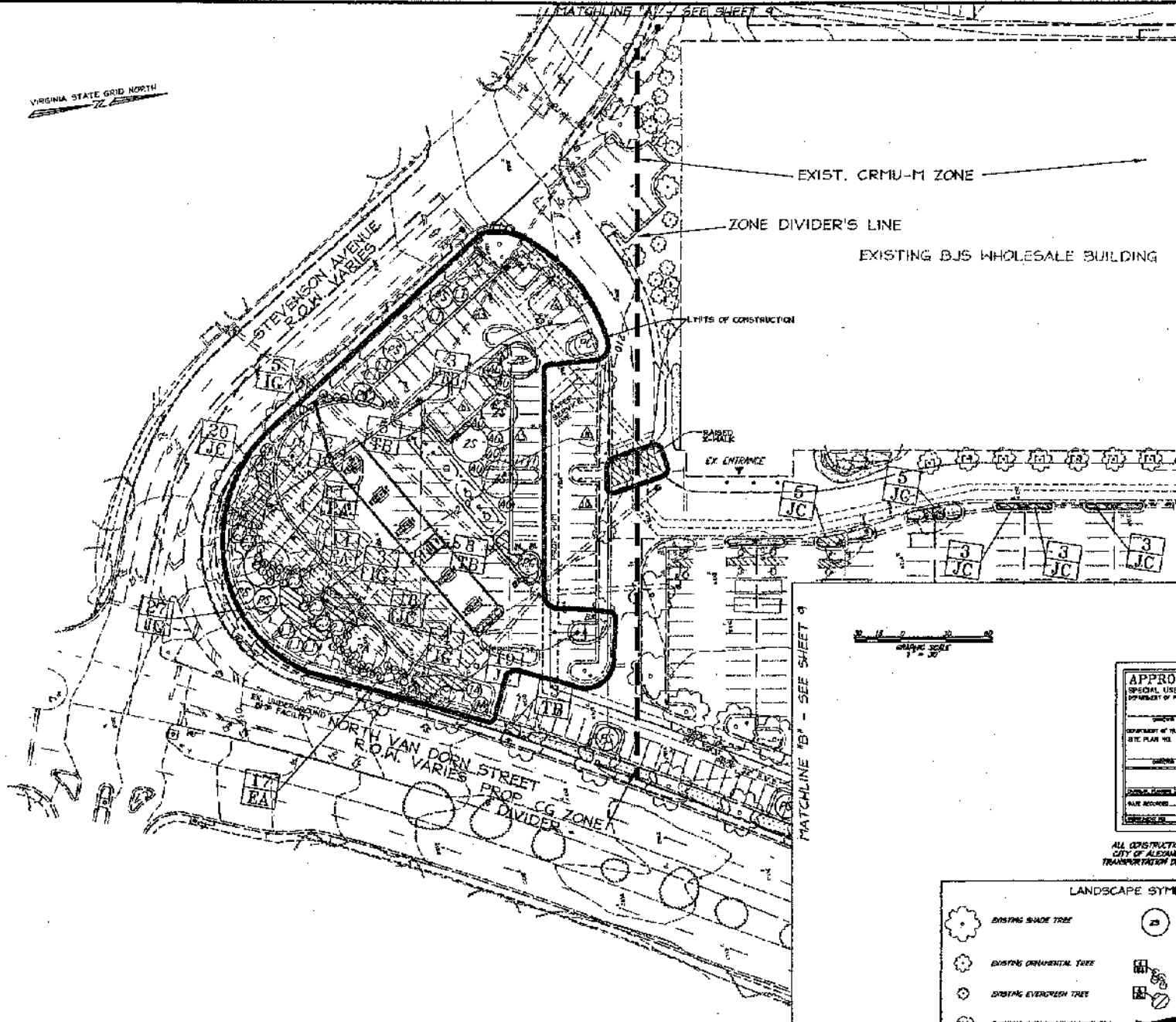
PERMIT NO. _____

4000 MAIN ST. _____

PAGE 4/3

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT
CITY OF ALEXANDRIA AND VIRGINIA DEPARTMENT OF
TRANSPORTATION DESIGN STANDARDS AND SPECIFICATIONS

VIRGINIA STATE GRID NORTH



DATE	REVISION
8-28-02	REVISE LANDSCAPE
8-28-02	PER CITY COMMENTS
8-28-02	PER CITY REVIEW LETTER
8-28-02	DATED 8/28/02
8-28-02	ADD LANDSCAPE # 10000

MATCHLINE 'B' - SEE SHEET 9

MATCHLINE 'B' - SEE SHEET 9



APPROVED	
SPECIAL USE PERMIT NO. _____	
OFFICIAL OF PLANNING & ZONING _____	
DEPARTMENT OF TRANSPORTATION & INFRASTRUCTURE, SERVICES _____	
SITE PLAN NO. _____	
DATE RECEIVED _____	
APPROVED BY _____	

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY OF ALEXANDRIA, AND VIRGINIA DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS AND SPECIFICATIONS.

LANDSCAPE SYMBOLS	
	EXISTING SHADE TREE
	EXISTING ORNAMENTAL TREE
	EXISTING EVERGREEN TREE
	EXISTING SHRUBS/GROUNDCOVERS
	PROPOSED SHADE TREES
	PROPOSED ORNAMENTAL TREES
	PROPOSED EVERGREEN TREES
	PROPOSED SHRUBS/GROUNDCOVERS
	LYTES OF CONSTRUCTION

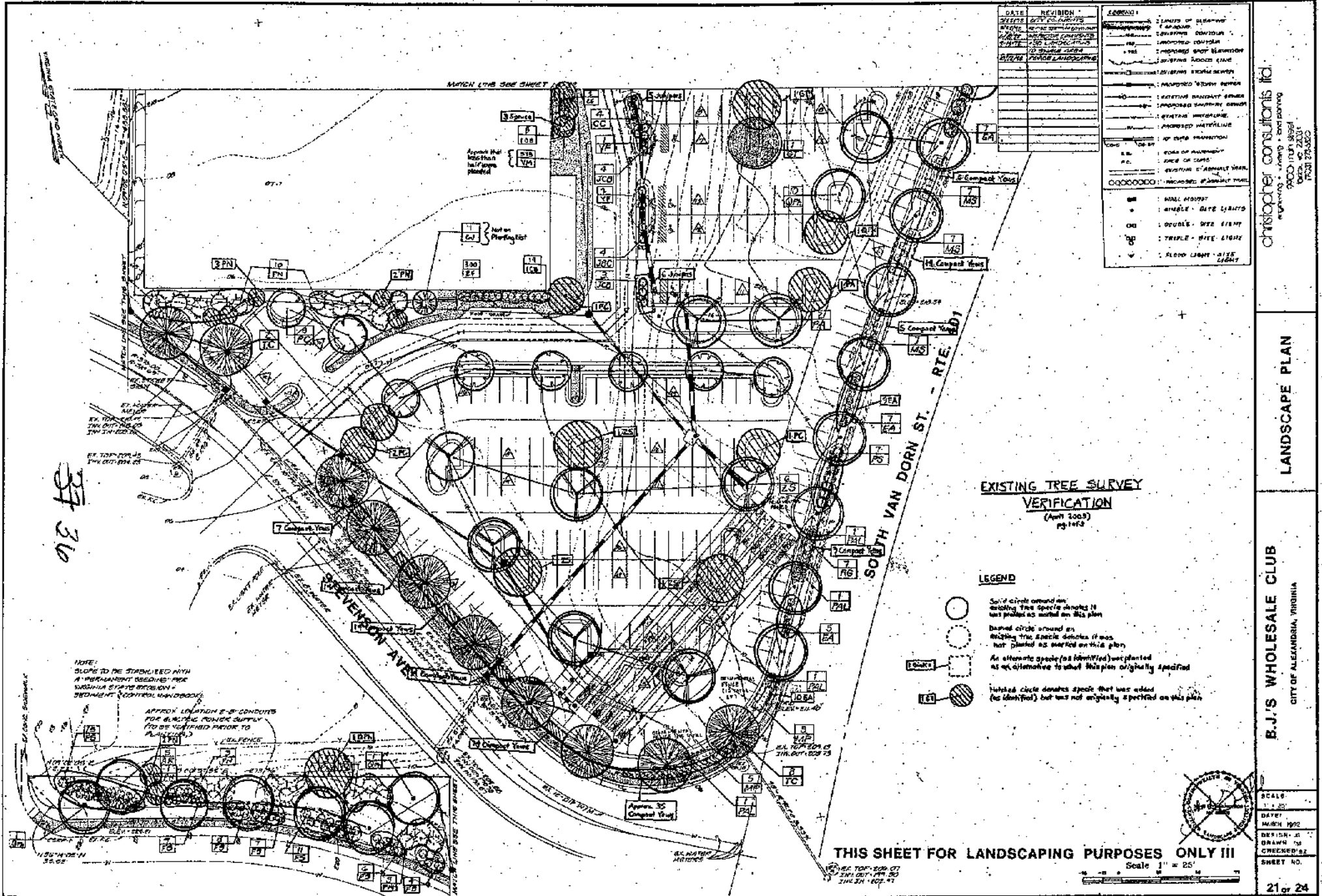
christopher consultants
Engineering - Surveying - Land Planning
10000 Old Dominion Blvd., Suite 100
Alexandria, VA 22304-3997
703.270.5500 • Fax 703.270.7665



LANDSCAPE PLAN

BJ's WHOLESALE CLUB
DRIVE-THRU BANK
AND GAS PUMPS
CITY OF ALEXANDRIA, VIRGINIA

SCALE
1" = 30'
DATE
FEBRUARY 27, 2003
DESIGN: JR
DRAWN: RR
CHECKED:
SHEET NO.

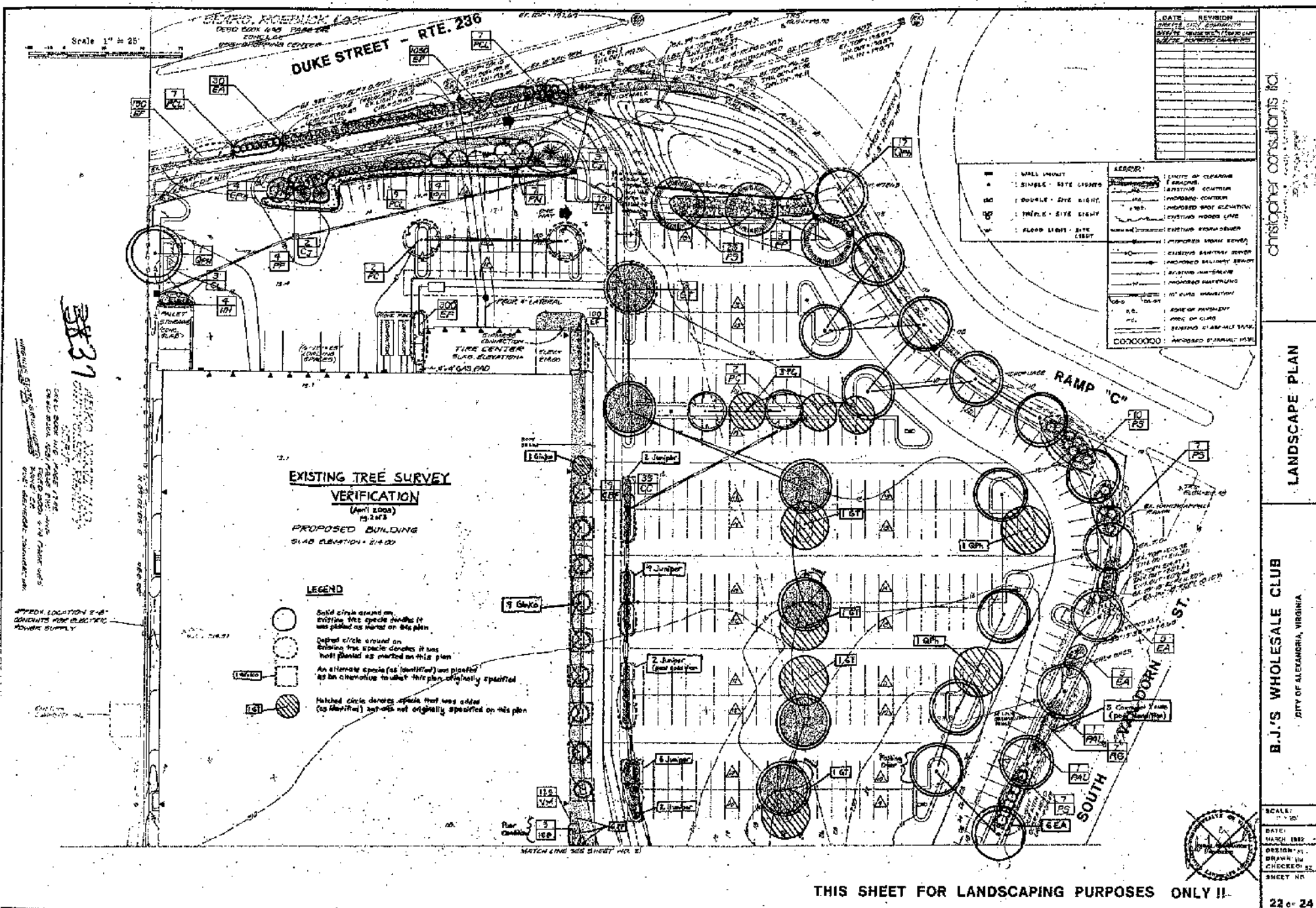


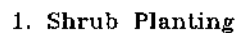
christopher consultants, inc.
1000 11th Street
Baltimore, MD 21201
Phone: 410.527.5500

LANDSCAPE PLAN

B.J.'S WHOLESALE CLUB
CITY OF ALEXANDRIA, VIRGINIA

SCALE:
DATE:
MARCH 1992
DESIGN: J. J. J. J.
DRAWN: J. J. J. J.
CHECKED: J. J. J. J.
SHEET NO.



PLANTING LIST
R.J. VAN DER VEE[illegible][illegible]

APPROVED

SPECIAL USE PERMIT NO. 10
DEPARTMENT OF PLANNING & ZONING

SUBJECT _____ DATE _____

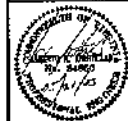
FOR DEPOSIT OF TRANSDUCERS IN DEVELOPMENTAL PURPOSES
SITE PLAN NO. _____

FUTURE _____ BACK _____

SPECIAL PLANNING COMMISSION _____ DATE _____

DATE RECEIVED _____ CITY WORK NO. _____ PLAN NO. _____

christopher consultants
engineering • surveying • land planning
christopher consultants, inc.
5600 maple woods (royal town) suites 100 25001-3907
703.273.1616 • fax 703.273.7652



LANDSCAPE DETAILS

BJ's WHOLESALE CLUB
DRIVE-THRU BANK
AND GAS PUMPS
CITY OF ALEXANDRIA, VIRGINIA

SCALE	N/A
DATE	FEBRUARY 27, 2008
DESIGN BY	DR. J. R. RAY
CHECKED BY	
SHEET NO.	

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY OF ALEXANDRIA AND VIRGINIA DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS AND SPECIFICATIONS.

~~54~~ 40



EX. EMERGENCY
KODAK PENT.

EX. 4 _____
DOMESTIC WATER
EX. 5 _____

DUKE STREET - ROUTE
R.O.W. VARIES

SAN 8-8 STELLAR HOLDING
PARTNERS V LLC

[illegible][illegible]

christopher consultants
engineering • surveying • land planning
christopherconsultants.co.uk
10000 north 28th Street Scottsdale, Arizona 85253-3907
TEL: 480.343.1300 FAX: 480.343.1302

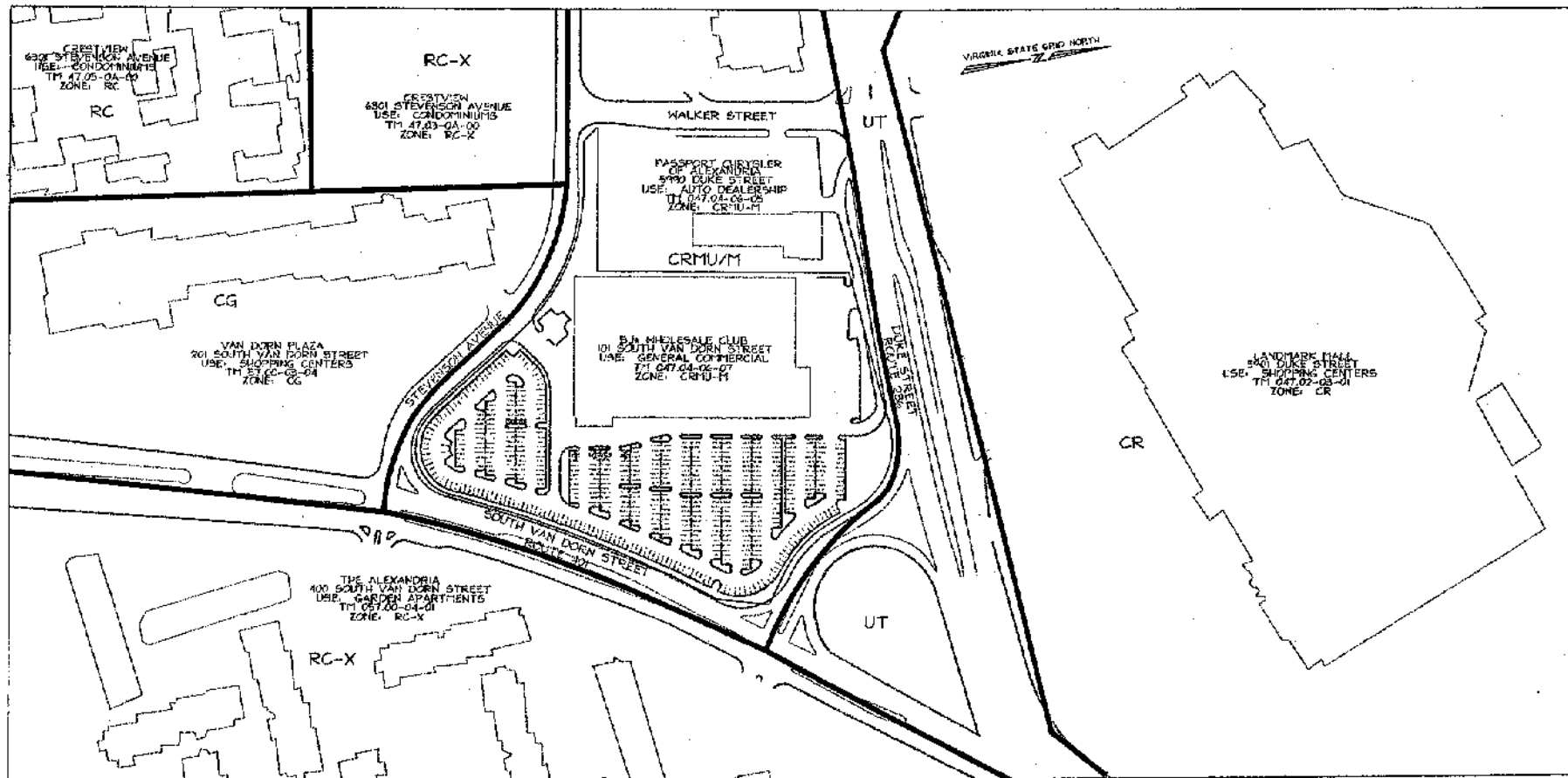


FIRE SERVICE PLAN

BJ's WHOLESALE CLUB
DRIVE-THRU BANK
AND GAS PUMPS
 CITY OF ALEXANDRIA, VIRGINIA

APPROVED	
SPECIAL USE PERMIT NO.	
DEPARTMENT OF REVENUE - FORM 1	
DATE	BY
REVENUE OF TRANSPORTATION & COMMUNICATIONS, SURFACE AND PLUM REG.	
SECTION	TYPE
REVENUE OF TRANSPORTATION & COMMUNICATIONS, SURFACE AND PLUM REG.	
DATE RECEIVED	
REVENUE OF TRANSPORTATION & COMMUNICATIONS, SURFACE AND PLUM REG.	REVENUE OF TRANSPORTATION & COMMUNICATIONS, SURFACE AND PLUM REG.

SCALE:	1"=50'
DATE:	FEBRUARY 27, 2003
DRAWN BY:	EM
CHECKED BY:	JOHN
SHEET No.	



christopher consultants
engineering • surveying • land planning
1000 NORTH AVENUE, SUITE 1000 • ALEXANDRIA, VA 22304-4807
TEL: 703.775.1000 • FAX: 703.775.1001

CONTEXT MAP

BJ's WHOLESALE CLUB
DRIVE-THRU BANK
AND GAS PUMPS
CITY OF ALEXANDRIA, VIRGINIA

SCALE: 1"=100'

DATE: FEBRUARY 27, 2005

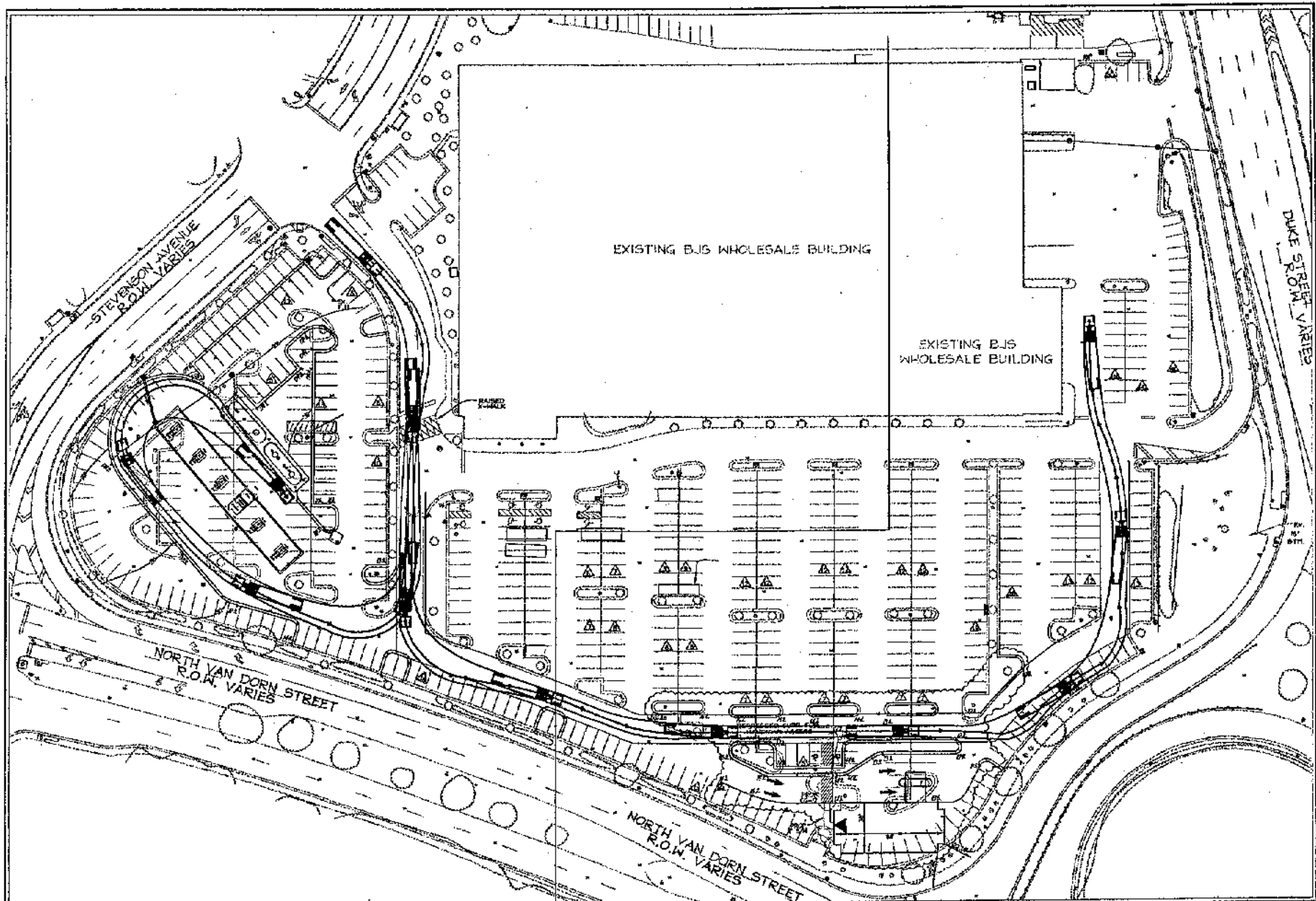
DESIGN: EPI

DRAWN: CJP

CHECKED: CJP

SHEET NO. 12 of 14

44 43



REVISIONS		
BY	DATE	REMARKS

SCALE: Schmitt
 DATE: 05-08-2003
 DESIGNED BY: M. R. A.
 DRAWN BY: M. R. A.
 CHECKED BY: PLK
 PROJECT NO: 2003
 PROJECT NAME: BJS Wholesale

Vehicular and Truck Service Plan

Sheet #
14 of 14

Plan Prepared by:
Christopher
Consultants

WELLS & ASSOCIATES, LLC.
 PROFESSIONAL ENGINEERS, PLANNERS, AND ARCHITECTS
 88 Van Dorn Blvd., Suite 200, Madison, Wisconsin 53703
 Phone: 608/271-2222 Fax: 608/271-2222
 1110 Jackson Road, Suite 200, Janesville, Wisconsin 53401
 Phone: 608/785-0772 Fax: 608/785-0772

McGuireWoods LLP
1750 Tysons Boulevard
Suite 1800
McLean, VA 22102
Phone: 703.712.5000
Fax: 703.712.5050
www.mcguirowoods.com

Erika L. Byrd
Direct: 703.712.5480

McGUIREWOODS

ebyrd@mcguirowoods.com
Direct Fax: 703.712.5288

June 3, 2003

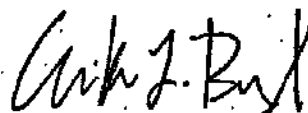
VIA FACSIMILE AND REGULAR MAIL

Eric Wagner, Chairman Alexandria Planning Commission
Members of the Alexandria Planning Commission
301 King Street
Alexandria, VA 22314

Dear Mr. Wagner:

Attached is a letter which includes all the modified condition language which the Applicant has agreed upon with Staff. There are no outstanding or unresolved issues with regard to BJ's applications with Staff. If you have any questions, please do not hesitate to call me.

Very truly yours,



Erika L. Byrd

ELB/ep
Enclosures

cc: Jeff Famer, City of Alexandria Planning & Zoning
Gregory Tate, City of Alexandria Planning & Zoning

McGuireWoods LLP
1750 Tysons Boulevard
Suite 1800
McLean, VA 22102
Phone: 703.712.5000
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Erika L. Byrd
Direct: 703.712.5480

McGUIREWOODS

ebyrd@mcguirewoods.com
Direct Fax: 703.712.5288

June 3, 2003

VIA FACSIMILE

Mr. Jeff Farmer
City of Alexandria Office of Planning & Zoning
301 King Street
Room 2100
Alexandria, Virginia 22313

Gregory Tate
Alexandria Planning and Zoning Department
301 King Street
Alexandria, Virginia 22314

Re: Revised condition language agreed upon between Staff and BJ's Wholesale Club for
DSUP #2003-0003

Dear Jeff and Gregory:

As we have discussed, BJ's Wholesale Club agrees to modify the following conditions:

"4. h. An automatic irrigation system shall be provided for all new landscaping and along the frontage of the site, to the satisfaction of the City Arborist.

k. The landscaping shall be installed as depicted on the final landscape plan prior to issuance of a certificate of occupancy permit for the gasoline station and or retail/bank building whichever is completed first. Upon review of the final landscape plan, additional plant material consisting of deciduous, evergreen and flowering plant materials may be required as determined by the Directors of P&Z and RP&CA.

q. All paving, including sub-grade, shall be removed and all grading and landscaping necessary for the gasoline station and retail/bank site as generally depicted on the preliminary plan shall be completed prior to any request for an occupancy permit for the gasoline station. (P&Z) (RP&CA) (Police) (T&ES)

In addition, BJ's has agreed with Transportation & Environmental Services to modify the following conditions:

18. "18. Within 3 years of the date of this DSUP approval, or upon termination of the developer's existing solid waste removal contract, whichever is earlier, the developer agrees to deliver all solid waste, as defined by the Code of the City of Alexandria, to a refuse disposal facility designated by the Director of T&ES. The developer further agrees to stipulate in any future subleases lease or property sales agreement that all

June 3, 2003

Page 2

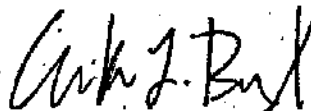
~~subtenants tenants and/or property owners shall also comply with this requirement.~~
(T&ES)

19. Provide ~~four (4) six (6)~~ City standard street cans along the public streets, to the satisfaction of the Director of T&ES. (T&ES)

23. The applicant shall provide five (5) ~~fifteen (15)~~ customer bicycle spaces to the satisfaction of the Director of T&ES. (T&ES)"

BJ's Wholesale Club is in agreement with all other DSUP conditions, and is appreciative of the time and effort given by Staff in the review of this application.

Sincerely,



Erika L. Byrd

ELB/ep

cc: Phil Woodyatt, Development Manager, BJ's Wholesale Club, Inc.
Kevin Washington, christopher consultants
Chris Kabatt, Wells & Associates

APPLICATION for
DEVELOPMENT SPECIAL USE PERMIT with SITE PLAN
DSUP # 2003-0003

PROJECT NAME: BJs Wholesale Club

PROPERTY LOCATION: 101 S. Van Dorn Street

TAX MAP REFERENCE: 47.00-06-06-01 ZONE: CRMU-M

APPLICANT Name: BJs Wholesale Club, Inc.

Address: 1 Mercer Road, Natick, MA 01760

PROPERTY OWNER Name: Carl M. Freeman Associates, Inc.

Address: 11325 Seven Locks Road, Potomac, MD 20854

SUMMARY OF PROPOSAL: Addition of five fueling stations and a
4,000 square foot pad site for retail

MODIFICATIONS REQUESTED: _____

SUP's REQUESTED: DSUP Amendment, parking reduction, rezoning, Master Plan
amendment, auto-oriented use

THE UNDERSIGNED hereby applies for Development Site Plan, with Special Use Permit, approval in accordance with the provisions of the Zoning Ordinance of the City of Alexandria, Virginia.

THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article XI, Section 11-301 (B) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

THE UNDERSIGNED also attests that all of the information herein provided and specifically including all surveys, drawings, etc., required of the applicant are true, correct and accurate to the best of his knowledge and belief.

Erika L. Byrd

Print Name of Applicant or Agent

McGuireWoods LLP

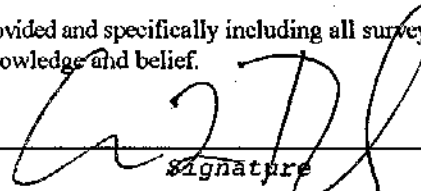
1750 Tysons Boulevard, Suite 1800

Mailing/Street Address

McLean, VA 22102

City and State

Zip Code


signature

703-712-5480

Telephone #

703-712-5288

Fax #

February 27, 2003

Date

DO NOT WRITE BELOW THIS LINE - OFFICE USE ONLY

Application Received: _____

Received Plans for Completeness: _____

Fee Paid & Date: \$ _____

Received Plans for Preliminary: _____

ACTION - PLANNING COMMISSION: _____

ACTION - CITY COUNCIL: _____

\$847
55

Development Special Use Permit with Site Plan (DSUP) # 2003-0003

All applicants must complete this form.

Supplemental forms are required for child care facilities, restaurants, automobile oriented uses and freestanding signs requiring special use permit approval.

1. The applicant is the (check one):

☐ Owner ☐ Contract Purchaser

☒ Lessee ☐ Other: _____

State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership in which case identify each owner of more than ten percent.

BJs is a publicly traded corporation

If property owner or applicant is being represented by an authorized agent such as an attorney, realtor, or other person for which there is some form of compensation, does this agent or the business in which the agent is employed have a business license to operate in the City of Alexandria, Virginia?

☐ Yes. Provide proof of current City business license

☒ No. The agent shall obtain a business license prior to filing application, if required by the City Code.

4948

156

NARRATIVE DESCRIPTION

2. The applicant shall describe below the nature of the request in detail so that the Planning Commission and City Council can understand the nature of the operation and the use, including such items as the nature of the activity, the number and type of patrons, the number of employees, the hours, how parking is to be provided for employees and patrons, and whether the use will generate any noise. If not appropriate to the request, delete pages 4-7.
(Attach additional sheets if necessary)

see attached statement of justification

Development Special Use Permit with Site Plan (DSUP) # 2003-0003

3. How many patrons, clients, pupils and other such users do you expect?
Specify time period (i.e., day, hour, or shift).

approximately 583 customers per day at fueling stations

approximately 542 customers at proposed retail pad site per day

4. How many employees, staff and other personnel do you expect?
Specify time period (i.e. day, hour, or shift).

1-2 employees, 3 shifts per day at fueling stations

approximately 5-8 employees at any given time

5. Describe the proposed hours and days of operation of the proposed use:

Day	Fueling Stations Hours	Day	Retail Pad Site Hours
7 days/wk	6:00 a.m. to 1/2 hour after closing hour of wholesale club	7 days/wk	9:00 a.m. - 9:00 p.m.

6. Describe any potential noise emanating from the proposed use:

A. Describe the noise levels anticipated from all mechanical equipment and patrons.

incidental noise generation only - no increase in noise

detectable from periphery of the property

B. How will the noise from patrons be controlled?

n/a

7. Describe any potential odors emanating from the proposed use and plans to control them:

See attached Summary of Fueling Station Operations and Safety Plan

5150

X 58

Development Special Use Permit with Site Plan (DSUP) # 2003-0003

8. Provide information regarding trash and litter generated by the use:

A. What type of trash and garbage will be generated by the use?

incidental trash from motorists fueling vehicles

B. How much trash and garbage will be generated by the use?

a minimal amount of trash from motorists fueling

C. How often will trash be collected?

daily or more often as needed

D. How will you prevent littering on the property, streets and nearby properties?

management from wholesale club will supervise operation of
fueling stations

9. Will any hazardous materials, as defined by the state or federal government, be handled, stored, or generated on the property?

☒ Yes. ☐ No.

If yes, provide the name, monthly quantity, and specific disposal method below:

See attached Summary of Fueling Station Operations and Safety Plan

10. Will any organic compounds, for example paint, ink, lacquer thinner, or cleaning or degreasing solvent, be handled, stored, or generated on the property?

☒ Yes. ☐ No.

If yes, provide the name, monthly quantity, and specific disposal method below:

See attached Summary of Fueling Station Operations and Safety Plan

58
159 51

Development Special Use Permit with Site Plan (DSUP) # 2003-0003

11. What methods are proposed to ensure the safety of residents, employees and patrons?

See attached document to #9 above

ALCOHOL SALES

12. Will the proposed use include the sale of beer, wine, or mixed drinks?

☐ Yes. ☒ No.

If yes, describe alcohol sales below, including if the ABC license will include on-premises and/or off-premises sales. Existing uses must describe their existing alcohol sales and/or service and identify any proposed changes in that aspect of the operation.

PARKING AND ACCESS REQUIREMENTS

13. Provide information regarding the availability of off-street parking:

- A. How many parking spaces are required for the proposed use pursuant to section 8-200 (A) of the zoning ordinance?

See supplemental application/justification for parking reduction

- B. How many parking spaces of each type are provided for the proposed use:

429 Standard spaces

42 Compact spaces

10 Handicapped accessible spaces.

 Other.

52

60

Development Special Use Permit with Site Plan (DSUP) # 2003-0003

- C. Where is required parking located? (check one) ☒ on-site ☐ off-site.

If the required parking will be located off-site, where will it be located:

n/a

Pursuant to section 8-200 (C) of the zoning ordinance, commercial and industrial uses may provide off-site parking within 500 feet of the proposed use, provided that the off-site parking is located on land zoned for commercial or industrial uses. All other uses must provide parking on-site, except that off-street parking may be provided within 300 feet of the use with a special use permit.

- D. If a reduction in the required parking is requested, pursuant to section 8-100 (A) (4) or (5) of the zoning ordinance, complete the PARKING REDUCTION SUPPLEMENTAL APPLICATION.

included

14. Provide information regarding loading and unloading facilities for the use:

- A. How many loading spaces are required for the use, per section 8-200 (B) of the zoning ordinance? none

- B. How many loading spaces are available for the use? no new loading required

- C. Where are off-street loading facilities located? n/a
existing loading spaces adjacent to Duke Street entrance

- D. During what hours of the day do you expect loading/unloading operations to occur?

n/a

- E. How frequently are loading/unloading operations expected to occur, per day or per week, as appropriate?

n/a

15. Is street access to the subject property adequate or are any street improvements, such as a new turning lane, necessary to minimize impacts on traffic flow?

Because proposed improvements are minor, existing access and road network are adequate to accommodate changes

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McGUIREWOODS

ebyrd@mcguirewoods.com
Direct Fax: 703.712.5288

February 27, 2003

VIA HAND DELIVERY

Eileen Fogarty
Director, Department of Planning & Zoning
City of Alexandria
City Hall, Room 2100
301 King Street
Alexandria, Virginia 22314

RE: Statement of Justification for Supplemental Parking Reduction Application for BJ's (SUP Amendment) located at 101 S. Van Dorn Street (the "Site")

Dear Ms. Fogarty:

This letter is a statement of justification for BJ's' parking reduction request. As you can see on the attached tabulation, with the proposed improvements to the Site, BJ's is requesting a reduction in the amount of 120 on Site spaces, and a reduction of 137 spaces from those required by the City's Zoning Ordinance.

Current Site conditions include 601 parking spaces which serve the existing BJ's Wholesale Club. When Special Use Permit #2554 was approved in 1992, adequacy of the parking supply was indeed an issue. At that time, BJ's submitted extensive traffic/parking data and analysis to support the assertion that the proposed number of parking spaces would be more than adequate. The results of that analysis revealed that the proposed number of spaces proposed with the Wholesale Club would provide ample parking availability. BJ's believes that those predictions have absolutely been proved true.

To quantify the over-supply of on-Site parking, BJ's and Wells & Associates, traffic engineers, conducted parking studies in 2002. Parking occupancy counts were conducted on Tuesday, July 30, 2002 and Saturday, August 3, 2002, from 10:00 a.m. to 9:00 p.m. (for summertime counts) and on Thursday, December 19, 2002 and Saturday, December 21, 2002, from 10:00 a.m. to 10:00 p.m. (for peak holiday season counts).

Summertime counts indicate that the peak parking occupancy is only 28% on a weekday and 38% of a Saturday (typically the peak day of the week). Thus, 72% of the parking lot is vacant on a summertime weekday and 62% is vacant on a typical summertime Saturday. Holiday counts indicate that the peak parking occupancy was 35% on a weekday and 57% on a Saturday. Thus, 65% of the parking lot was vacant on the Thursday before Christmas and 43% was vacant the Saturday before Christmas.

The improvements being proposed, 5 fueling stations and a 4,000 square foot retail pad site would displace 120 on site spaces and increase parking demand (based on the Alexandria Zoning Ordinance requirements) by 15 spaces. Applying the reduction in available spaces with

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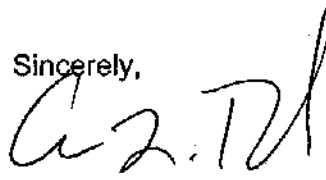
602

the slight increase in parking demand, the number of parking spaces will still exceed the demand (see attached tabulation which calculates the number of spaces with the proposed improvements, increase in demand, and observed demand for the Wholesale Club).

The fueling pumps will, practically speaking, create no new parking demand. The pumps are for fueling only, and the sales kiosk is for fuel sales only – no incidental retail sales and no mini mart or similar facility is proposed. Customers would simply pull up to the pumps, fill their tanks, then exit the Site. The new retail pad site is currently planned for a bank. Whether the pad site is a bank or other retail, it is very likely that future potential customers would have some amount of combined trips/parking with the existing wholesale club.

For these reasons, and in conjunction with the Development Special Use Plan Amendment application for the Site, I respectfully request Staff's favorable review of this parking reduction request.

Sincerely,



Erika L. Byrd

ELB/ep

cc: Gregory Tate, Alexandria Planning Commission
Tom Culpepper, Deputy Director, Transportation and Environmental Services,
Alexandria

fax 703 712-5050
Missy Schukraft

Special Use Permit # _____

PARKING REDUCTION SUPPLEMENTAL APPLICATION

Supplemental information to be completed by applicants requesting special use permit approval of a reduction in the required parking pursuant to section 8-100(A)(4) or (5).

1. Describe the requested parking reduction. (e.g. number of spaces, stacked parking, size, off-site location)
see attached tabulation

2. Provide a statement of justification for the proposed parking reduction.
see attached statement of justification

3. Why is it not feasible to provide the required parking? Existing and proposed parking far exceeds current demand and demand once proposed improvements are installed - see statement of justification.

4. Will the proposed reduction reduce the number of available parking spaces below the number of existing parking spaces? ☒ Yes. ☐ No.
5. If the requested reduction is for more than five parking spaces, the applicant must submit a Parking Management Plan which identifies the location and number of parking spaces both on-site and off-site, the availability of on-street parking, any proposed methods of mitigating negative affects of the parking reduction. See attached statement of justification
6. The applicant must also demonstrate that the reduction in parking will not have a negative impact on the surrounding neighborhood.
See attached statement of justification

p:\zoning\pc-appl\96-new\parking 7/96

Supplemental Application

Parking Reduction

54
64

Parking Tabulation

Existing Provided: 601

Existing Required: 603

Proposed Provided: 481

Proposed Required: 618

Total Square Feet of Spaces Requested with Reduction: 120 spaces to be removed

137 spaces reduced from Zoning
Ordinance requirements

- No stacking or tandem spaces
- Only 42 parking spaces are compact
- All surface, on-site spaces
- Supply far exceeds demand both currently and with proposed additions

Table 1
BJ's Wholesale Club
Trip Generation Analysis

Land Use	ITE Code	Size	Units	Weekday PM Peak Hour			Weekday Average Daily Trips	Saturday PM Peak Hour		
				In	Out	Total		In	Out	Total
Bank with Drive Through (1) Pass-By Trips (2)	912	4,000 S.F. 47%		110	109	219	1,084	86	83	169
New Trips Generated By Bank				52	51	103	509	40	39	79
				58	58	116	574	46	44	89
Gasoline Station (3) Internal Reduction	NA	10 VFPS (4) 50%		100	100	200	1,167	106	106	212
New Trips Generated By Fueling Station (5)				50	50	100	583	53	53	106
				50	50	100	583	53	53	106
Total New Trips				108	108	216	1,158	98	97	195

Notes:

- (1) Based on Institute of Transportation Engineers' Trip Generation, 6th Edition.
- (2) Based on Institute of Transportation Engineers' Trip Generation Handbook, March 2001.
- (3) Based on 7,000 Gallons Per Day and 12.0 Gallons Average Per Customer.
- (4) Vehicle Fueling Positions (VFPS).
- (5) Based on a Conservative Assumption that only 50% of Fueling Station Trips are shared with the Wholesale Club (Internal Trips). Actual survey indicate that up To 94% of Fueling Station Trips are shared trips with the Wholesale Club.

February 27, 2003

VIA HAND DELIVERY

Eileen Fogarty
Director, Department of Planning & Zoning
City of Alexandria
City Hall, Room 2100
301 King Street
Alexandria, Virginia 22314

RE: Development Special Use Permit Amendment ("DSUPA") Application for BJ's Wholesale Club located at 101 S. Van Dorn Street (the "Site")

Dear Ms. Fogarty:

This letter is a statement of justification for a DSUPA for BJ's Wholesale Club. BJ's intends to amend the existing SUP #2554.

BJ's hereby requests amendments to the existing SUP Approvals in three ways:

1. Add a pad site on the Duke Street side of the Site for a 4,000 square foot bank with a two lane drive through;
2. Add five gasoline pumps on the northeastern edge of the center which would sell discounted fuel only to members of BJ's; and
3. Improve the landscaping of the entire center.

It will also be necessary to obtain a parking reduction as a result of these two new uses because of displaced parking spaces. The physical changes to the Site would appear generally as shown on the enclosed DSUPA plats. In addition, the applicant is enclosing conceptual renderings of the fueling stations. The proposed pad site is currently planned to be a bank with drive-through, although the applicant would like to retain the flexibility of having general retail.

Fueling Stations

In order to receive the benefit of the gasoline discount, a customer would have to have a BJ's membership card when purchasing the fuel. No outdoor sales or displays is proposed at the pumps. A very small kiosk is necessary simply to house a payment clerk and restrooms.

It is extremely important to BJ's to be able to offer the amenity and convenience of gasoline to its customers. This service is one of many that BJ's, along with its competitors, offers to its membership. As an emerging retail movement, gas pumps are now located at 61 of

61 59

61

the 147 BJ locations. In order to remain viable and competitive, and to aid in membership retention, BJ's also offers such services as travel consulting, optical services, film developing, cell phone service, automobile sales, security system sales, to name a few. The sale of gasoline is simply an extension of the retail sales contained in the main building of the wholesale club. BJ's currently has an automotive center which sells tires, and if it were possible to sell gasoline inside the main building, BJ's would enclose the use, but for safety reasons the pumps must be located outside.

The operation of the gas pumps as described herein is clearly distinguishable from a traditional "gas station". As proposed, the customer base for purchasing fuel at a discount is strictly limited to BJ members. Data collected reveals that 90% and above of all gas purchasers also visit the wholesale club during the same trip, which has the beneficial side effect of eliminating other off-site trips that those same members now must make to purchase gasoline.

Additional Pad Site

The addition of the pad site would increase the FAR on Site in the amount of 7,500 square feet. The FAR after construction of the pad site would be .3 while the existing zoning of the Site would permit up to .75 FAR and up to .5 FAR would be permitted under the proposed zoning change to Community Commercial. At the urging of City Staff in preliminary meetings on this proposal, BJ's has relocated or "flip-flopped" the two proposed additions on Site so that now the pad-site is located adjacent to Duke Street and the fueling station is proposed adjacent to Stevenson Avenue.

Landscaping

The Applicant has heard concern at the adequacy of on-Site landscaping from City Staff and the community. While BJ's has never been cited by the City for any landscaping deficiencies, they are prepared to take action and improve on-Site landscaping. As part of the DSUPA application extensive new landscaping is proposed to both screen and buffer the new pad site and fueling stations and improve overall Site aesthetics.

Traffic/Parking

Included in this broader application for a DSUPA are: 1) a supplemental application for parking reduction, 2) a supplemental application for an auto-oriented use, 3) a rezoning application, and 4) a Master Plan amendment. BJ's' traffic engineering consultant has prepared an analysis of traffic engineering (e.g., adequacy of surrounding existing road network, adequacy of parking, internal Site circulation, etc.) with the proposed Site improvements. The traffic/parking analysis will demonstrate that the proposed improvements:

- 1) can be accommodated on-Site with a parking reduction because on-Site parking supply far exceeds parking demand;
- 2) will generate a very small increase in trips based on extensive data collected at other wholesale club locations where fueling stations were installed subsequent to the wholesale club being operational.

Based on a preliminary analysis subject to additional Site data collection and data evaluation, the Site with the proposed improvements will function well and:

- 3) the existing surrounding road network and existing Site access will continue to be adequate;
- 4) internal Site circulation (vehicular and pedestrian) will function well with the addition of the proposed improvements.

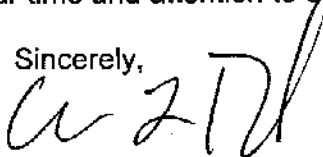
Community Support

To better assess the community's input on the proposal, BJ's embarked upon a community outreach effort and conducted an extensive survey of its customers. As of today, over 294 surveys completed by Alexandria residents have been collected. Of those, over 99% are supportive of BJ's proposal to construct the fueling stations. Generally speaking, survey results indicate overwhelming support with individual responses citing 1) the benefits of competition in fuel prices, and 2) the valuable amenity to BJ's members to be able to purchase discounted fuel.

Conclusion

Based on the foregoing reasons, and on behalf of BJ's Wholesale Club, I respectfully request Staff's favorable review of these applications. We look forward to working with City Staff on the applications and appreciate your time and attention to our requests.

Sincerely,



Erika L. Byrd

ELB/ep

cc: Gregory Tate, Urban Planner, City of Alexandria

SUMMARY OF FUELING STATION OPERATION AND SAFETY PLANS

Describe any potential odors emanating from the proposed use and plans to control them:

The only potential odor that could emanate from the proposed use would be that consistent with gasoline vapor. There are three points within the entire petroleum system where gasoline vapors could be released. The system has been designed to address each of these points. The proposed system has been designed with both Stage I and Stage II vapor recovery. Stage I vapor recovery is designed to contain the vapors generated during fuel deliveries. Stage I vapor recovery creates a closed system between the delivery truck and the underground storage tank (UST). All vapors that are displaced as the fuel enters the UST are transferred directly back into the delivery truck. Stage II vapor recovery is designed to control the vapors generated while customers are fueling their vehicles. The proposed Stage II system utilizes vacuum assist technology to transfer the vapors displaced during vehicle fueling. The vapor is transferred from the vehicle fuel tank back to the UST. Stage I and Stage II vapor recovery address the first two points within the system. The third point is associated with the UST vent. The UST vent is equipped with double poppet vent cap. The use of this vent cap allows us to keep the system closed to the atmosphere under normal operations. If the UST were to experience a dramatic change in pressure, the vent cap would allow air to enter the tank or vapor to be released to equalize the pressure in the system.

Will any hazardous materials, as defined by the state or federal government, be handled, stored, or generated on the property?

Yes, the proposed use would require the handling and storage of gasoline on the property.

No hazardous materials will be generated or disposed of on the property.

The maximum quantity of gasoline that could be stored on site at any given time would be 40,000 gallons. The gasoline would be stored on site in two (2) 20,000 gallon double-wall fiberglass underground gasoline storage tanks, 1-20,000 gallon regular gasoline tank and 1-8,000 gallon/12,000 gallon regular/supreme gasoline compartmental tank.

Will any organic compounds, for example paint, ink, lacquer thinner, or cleaning or degreasing solvent, be handled, stored, or generated on the property?

No

What methods are proposed to ensure the safety of the residents, employees and patrons?

The proposed station has been designed with state-of-the-art equipment and to meet and/or exceed all applicable federal, state and local requirements. The following information outlines the stations safety features:

- Fiberglass Double-Walled Brine Monitored Tanks – Fiberglass is inherently corrosion proof and the annular space is filled with brine (freeze resistant liquid solution). The level of the brine is monitored continuously and should any change in the level of the brine occur, the attendant is notified. It should be noted that the level of the brine is designed such that a breach in the inner wall of the tank would result in the brine entering the tank rather than the gasoline entering the annular space. This transfer of liquid results in two alarms. The first is a liquid alarm do to a loss of brine and the second is a product level alarm do to an increase of liquid inside the tank.
- Triple-Walled Underground Piping – All product piping is flexible double-walled piping that runs through an additional containment pipe.
- Piping Containment Sumps – The product piping has been designed such that all connections are contained within piping sumps. The piping has been designed to slope to the containment sumps, therefore should a breach in any of the piping occur, gasoline would drain into one of the sumps. All of the sumps (3 piping sumps located at the tanks and 1 piping sump under each dispenser) have liquid sensors that notify the attendant should any liquid (water or gasoline) be present in any of the sumps.
- Line Leak Detector – The gasoline lines are equipped with line leak detectors that can detect a pressure drop resulting from a breach in the piping and immediately activate a flow restriction device that prevents fuel from continuing to be pumped to the dispensers.
- Additional Safety Devices – The station is equipped with 3 overfill prevention devices (2 mechanical and 1 electronic). The fill ports are equipped with spill prevention buckets, the dispenser hoses are equipped with breakaway valves and the dispensers are equipped with shear valves.
- PLB (Positive Limiting Barrier) – The concrete dispenser apron is designed with grooves in the concrete that can contain as much as 30 gallons of gasoline and can be immediately cleaned up by the attendant using the on-site spill containment kit.
- Fire Suppression System – The station will be equipped with an overhead fire suppression system that can be automatically and/or manually activated.
- Emergency Shutoffs – The station will be equipped with emergency shutoff switches that are located inside and outside the kiosk.

- Employee Training – All station employees and all levels of the clubs management are required to attend a First Responder Training Course. The course is designed to train and educate the employees on emergency response procedures. Procedures such as proper spill kit use, what to do and who to notify in the event of an alarm, proper use of the emergency stops and fire suppression system, and proper deployment of drain mats and containment booms.
- Fuel Deliveries - Fuel deliveries are limited to the stations hours of operation so that an attendant will always be present during the unloading of the gasoline into the underground storage tanks.
- Veeder-Root TLS-350R Monitoring System – The station is monitored 24 hours a day 365 days a year by a state-of-the-art monitoring system. This monitoring system continuously monitors the level of gasoline in the tank and can detect a 0.1-gallon per hour loss of gasoline. In addition, the system monitors all piping sumps, dispenser sumps, and the annular space of each tank. The system is equipped with a high level alarm that alerts the fuel delivery truck driver when the tank reaches 90% of its capacity.
- Stormwater Management – The station is equipped with a canopy over the dispensing apron that has been designed to minimize the amount of stormwater coming in contact with the apron. The stormwater that comes in contact with the canopy is drained directly into the sites stormwater drainage system.

Special Use Permit # _____

AUTOMOBILE ORIENTED USES SUPPLEMENTAL APPLICATION

Supplemental information to be completed by applicants requesting special use permit approval of an automobile oriented use (e.g., automobile repair garage, car wash, auto or trailer sales).

1. What type of automobile oriented use do you propose?

- ☐ automobile or motor vehicle parking or storage lot.
- ☐ automobile or trailer rental or sales.
- ☒ automobile service station. (fuel sales only)
- ☐ automobile repair, including car wash.
- ☐ other: _____

2. What types of repairs do you propose to perform?

None

3. How many of each of the following will be provided?

0 hydraulic lifts or racks

0 service pits

0 service bays

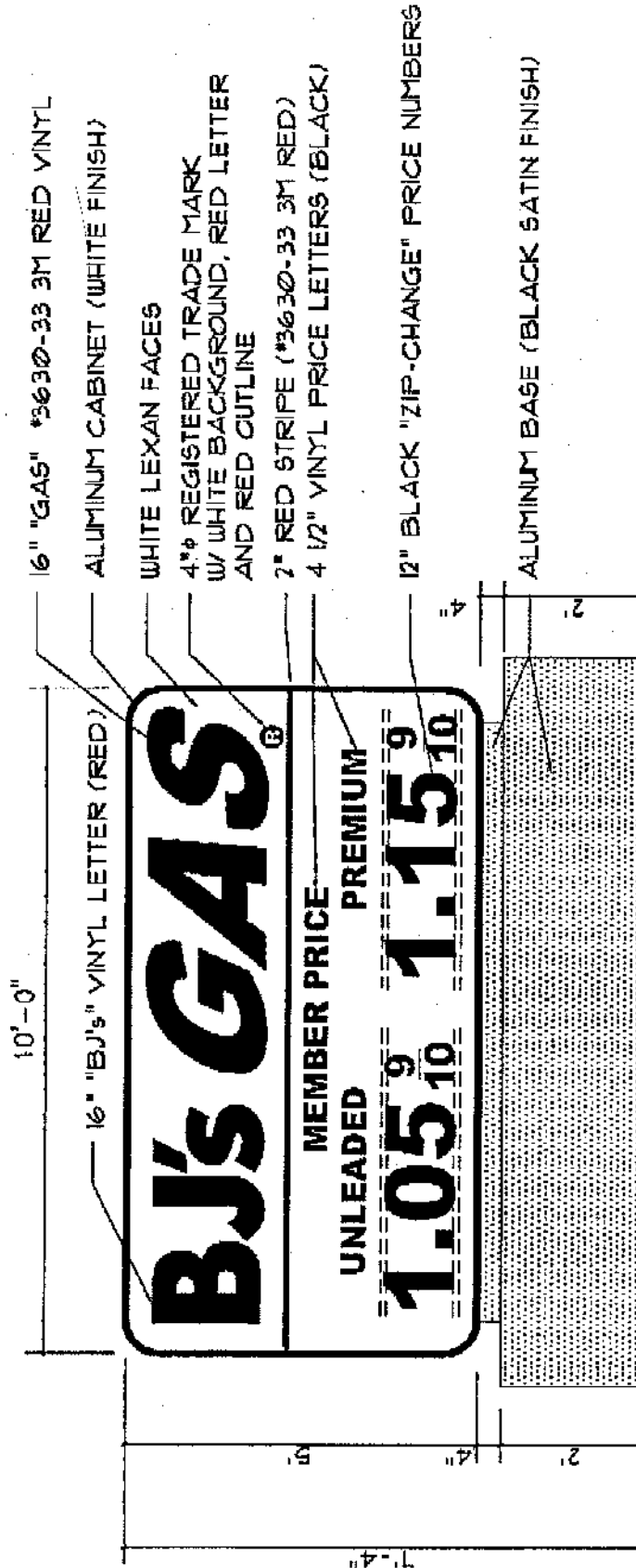
4. How many vehicles will be parked on-site at any one time. Please provide information on the type (i.e., for sale, customers, employees, or repairs)?

None

5. Will a loudspeaker or intercom system be used outside of the building? ☐ Yes. ☒ No.

Please note all repair work must occur within an enclosed building.

90 45 45 45



DOUBLE-FACED MONUMENT GAS PRICE SIGN

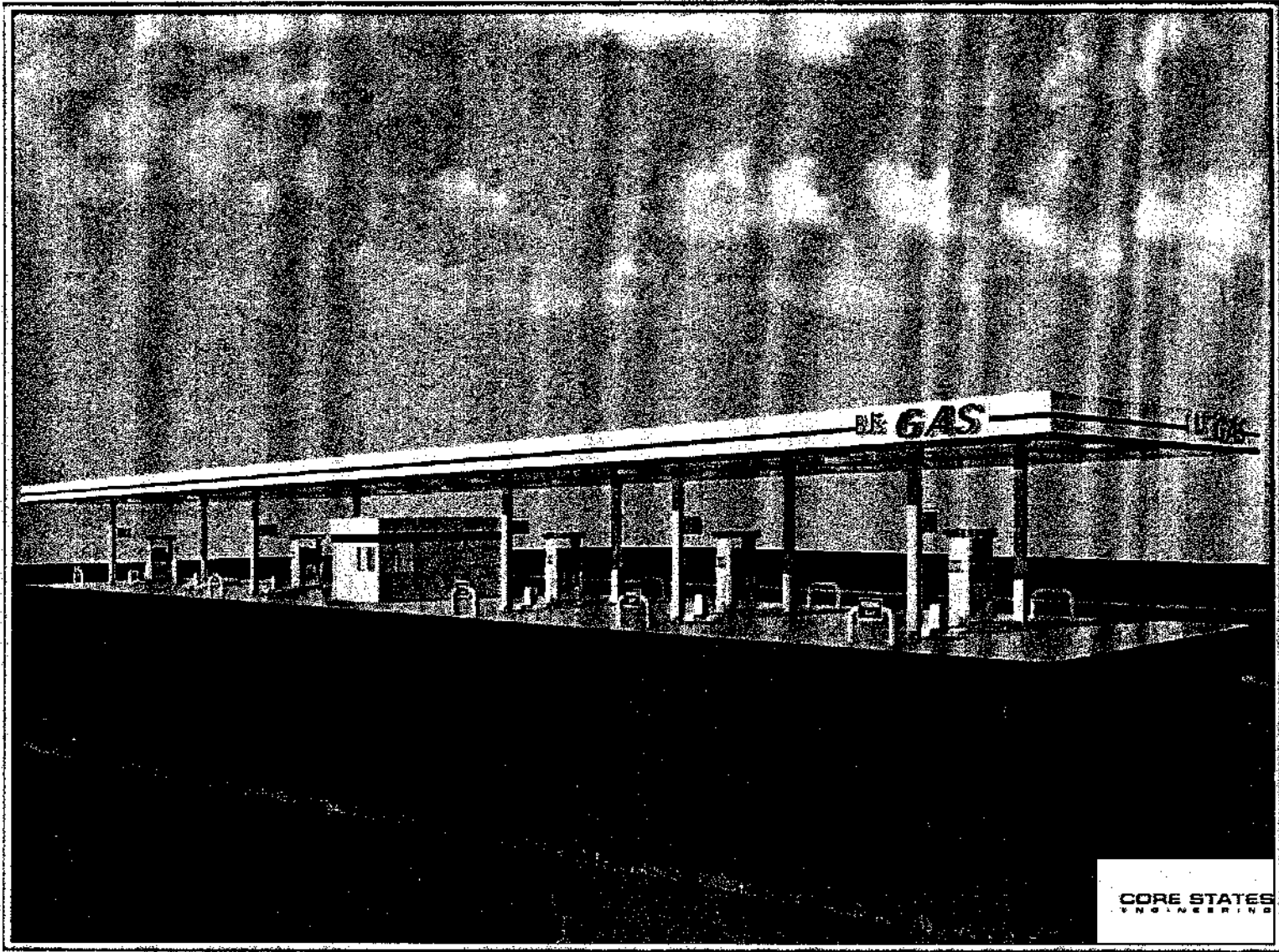
DATE	REVISION	BY

BJ's
WHOLESALE CLUB

DESIGN DEPARTMENT

BJ's Wholesale Club, Inc.
One Mercer Road
P.O. Box 9621
Natick, MA 01906-1601
(508) 631-1400

TITLE MONUMENT SIGN		PROJECT PROTOTYPE GAS STATION		Dwg. # MS-2	
SCALE NO SCALE	DRAWN BY L.M.	DATE 01/11/07	CADD FILE Gas MONU		



DSUP#2003-0003

IB 67

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McGuireWoods LLP
1750 Tysons Boulevard
Suite 1800
McLean, VA 22102-4215
Phone: 703.712.5000
Fax: 703.712.5050
www.mcguirewoods.com
Erika L. Byrd
Direct: 703.712.5480

ebyrd@mcguirewoods.com
Direct Fax: 703.712.5288

McGUIREWOODS

May 20, 2003

Eric Wagner
Planning Commissioner
301 King Street
Alexandria, Virginia 22314

DSUP 2003-0003
Docket Item #17-B

Re: Application for a Development Special Use Permit # 2003-0003 by BJ's Wholesale Club (the "Applicant") at 101 South Van Dorn Street Scheduled for the June 3, 2003 Planning Commission Hearing

Dear Commissioner Wagner:

On behalf of BJ's Wholesale Club I wanted to inform you of BJ's desire to renovate and rejuvenate its existing center located at 101 S. Van Dorn Street. BJ's is proposing to increase its open space and is planning on planting extensive new landscaping throughout its almost ten acre site. To keep the center viable, BJ's is also requesting permission to allow for a 4000 square foot pad site that would be a bank or general retail. In addition, BJ's proposes a rezoning of a small area of the site from CRMU-M to CG to allow for the addition of gas pumps. BJ's has added these fueling stations at approximately half of its stores nationwide for the sale of discounted gas to BJ's members. BJ's, like its wholesale club competitors around the county, is developing this new retail concept which has proven to be an important feature for club membership retention. I have attached a reduction of the proposed site plan for your review.

The Applicant has been working with Staff since last summer on these applications and with the community (the Holmes Run Civic Association) since the end of last year. Through our efforts working with Staff and the community we have been able to address such site design issues as landscaping, parking and traffic circulation. We believe we have worked through the details necessary for the City to approve the proposed application and expect to receive a favorable recommendation for support of our applications from Staff.

The Applicant would be very happy to meet with you to discuss any questions that you might have about the applications prior to the Planning Commission hearing. I will be contacting you once the Staff Report is published to offer to schedule a meeting to discuss the application. If you would like to meet prior to that time or have any questions about the applications, please feel free to call me at 703-712-5480.

Very truly yours,


Erika L. Byrd

ELB/ep
Enclosure

cc: Eileen Fogarty, Director, Department of Planning & Zoning
Gregory Tate, Alexandria Planning and Zoning Department
Phil Woodyatt, BJ's Wholesale Club
Carson Lee Fifer, Jr., Esquire, McGuireWoods LLP

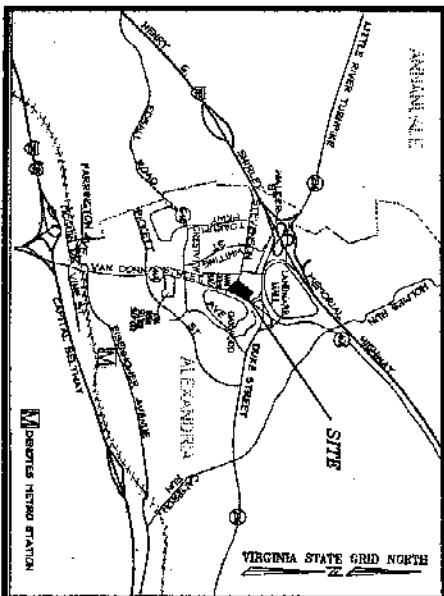
THE

1. COVER SHEET
2. GENERAL NOTES
3. EXISTING CONDITIONS PLAN
4. OVERALL SITE PLAN
5. SITE PLAN
6. SITE PLAN
7. DEVELOPMENT SITE SECTIONS
8. LANDSCAPE PLAN
9. LANDSCAPE PLAN
10. LANDSCAPE DETAILS
11. FIRE SERVICE PLAN
12. CONTEXT MAP PLAN
13. DISPENSER CANOPY
14. VEHICULAR AND THICK SERVICE PLAN

PREPARED BY:



christopher consultants
 engineering • surveying • land planning
 christopher consultants, inc.



VICINITY MAP

SCALE 1" = 2000'

OWNER
CARL M. FREEMAN ASSOCIATES, INC.

11325 SEVEN LACES ROAD
POTOMAC, MARYLAND 20854

DEVELOPER
BJ's WHOLESALE CLUB

P.O. BOX 9601
NATICK, MASSACHUSETTS 01760
(508) 551-7400

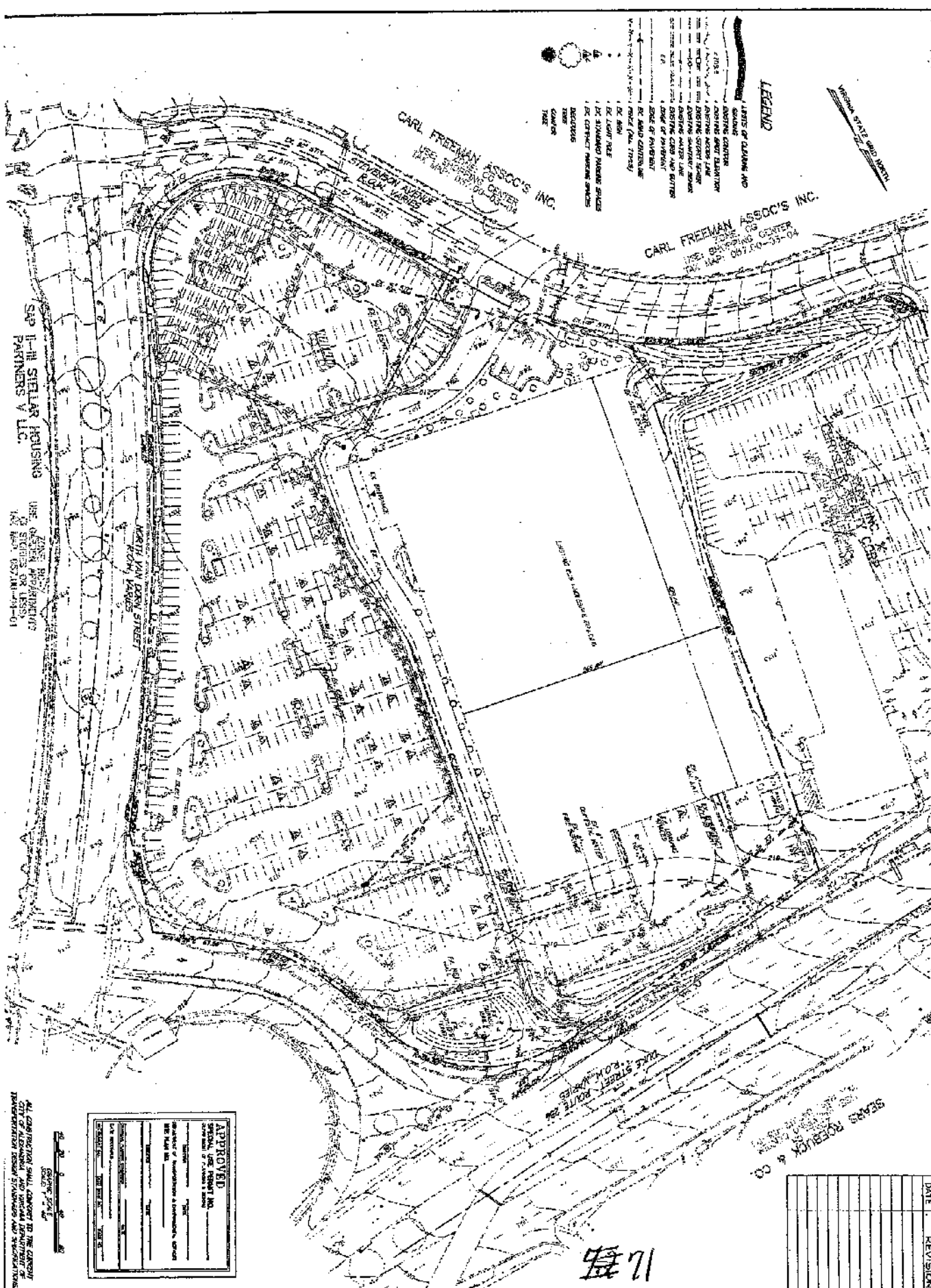
**TRAFFIC ENGINEER
WELLS & ASSOCIATES, LLC.**

1420 SPRING HILL ROAD
SUITE 600
MCLEAN, VIRGINIA 22102

CIVIL ENGINEER
christopher consultants, ltd.

9800 MAIN STREET
FOURTH FLOOR
FAIRFAX, VIRGINIA 22031

[illegible][illegible]



SAP II-III STELLAR HOUSING
 1000 N. STELLAR AVE
 ALEXANDRIA, VA 22304
 (703) 461-1001

ALL CONSTRUCTION SHALL CONFORM TO THE LATEST
 EDITIONS OF THE CITY OF ALEXANDRIA ZONING AND SUBDIVISION
 ORDINANCES.

APPROVED	
CITY OF ALEXANDRIA	
DATE: _____	
BY: _____	
TITLE: _____	
PROJECT: _____	
SHEET NO. _____	
TOTAL SHEETS _____	
SCALE: _____	

3 of 14

BJ's WHOLESALE CLUB
 DRIVE-THRU BANK
 AND GAS PUMPS
 CITY OF ALEXANDRIA, VIRGINIA

EXISTING CONDITIONS
 PLAN

christopher consultants
 engineering surveying and planning
 1000 N. STELLAR AVE
 ALEXANDRIA, VA 22304
 (703) 461-1001

VIRGINIA STATE GRID NORTH

72 ~~73~~

christopher consultants
engineering • surveying • land planning
christopher consultants, llc
5900 main street fourth floor • lehigh va 22051-3007
703-273-9920 fax 703-273-7628

BJ's WHOLESALE CLUB
DRIVE-THRU BANK
AND GAS PUMPS
CITY OF ALEXANDRIA, VIRGINIA

OVERALL SITE PLAN

MPA 2003-0003
REZ 2003-0002
DSUP 2003-0003
BJ's Wholesale
Club
Decklet Ham#

17-A
17B

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

We would like to have gas pumps
at BJ's for us to use. We need
competition here in Alexandria

I hope you will consider my comments when reviewing BJ's application.

Name CHARLES and Martha Hottle

Address 48 S. FRENCH ST.

City ALEXANDRIA ZIP 22304

Signature Charles Hottle Martha Hottle

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

We are in favor of a WELL DESIGNED
gas station at BJ's. Thanks!

I hope you will consider my comments when reviewing BJ's application.

Name Alan + Cynthia Rolfe

Address 309 Yorkum Pky #906

City Alexandria VA ZIP 22304

Signature Alan J Rolfe

#73

MPA 2003-0003
REZ 2003-0002
DSUP 2003-0003

BJ's Wholesale
Club

Docket Item #
17-A
17-B

5.20.2003

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

THIS WOULD BE WONDERFUL FOR US MEMBERS
WHO LIVE IN AN AREA WHERE GAS PRICE
GOING IS RAMPANT!! REGULAR GAS IN
DELAWARE LAST WEEK WAS \$1.32 PER GALLON.

I hope you will consider my comments when reviewing BJ's application.

Name HILARY A. NOTTLE

Address 4524 BROOKSIDE DRIVE

City ALEXANDRIA, VA. ZIP 22312

Signature Hilary A. Nottle

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

we would like the convenience
of getting gas and shopping in
one place plus saving money as well.

I hope you will consider my comments when reviewing BJ's application.

Name Ronald and Mrs. J. Collins

Address 5819 Colfax Ave

City Alexandria, VA ZIP 22311

Signature Esther J. Collins

75 74

MPA 2003-0003
REZ 2003-0002
DSUP 2003-0003
BJ's Wholesale
Club
Docket # 17-A
Item 17 B

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

It will be good help for
all customers

I hope you will consider my comments when reviewing BJ's application.

Name S. M. Shakhawat Hossain

Address 4440 Old Columbia Pike

City Annandale, Va ZIP 22003

Signature S. M. Shakhawat Hossain

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

we need cheaper gas!
please let them install pumps

I hope you will consider my comments when reviewing BJ's application.

Name Mary Sparks

Address 2404 Bretter Place

City Alexandria VA ZIP 22311

Signature Mary Sparks

46 75

MPA 2003-0003
Rez 2003-0002
DSUP 2003-0003

BJ's Wholesale
Club

Docket Item #17-A
17-B

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

Please support

I hope you will consider my comments when reviewing BJ's application.

Name Gerald P. Cohen
Address 4003 Carson Place
City Alexandria, VA 22304 ZIP _____
Signature [Signature]

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

Please allow them to provide
this service

I hope you will consider my comments when reviewing BJ's application.

Name _____
Address _____
City _____ ZIP _____
Signature [Signature]



Thomas R. Deyulis, Jr.
103 Browns Mill Dr.
Alexandria, VA 22304-6447

MPA 2003-0003
REZ 2003-0002
DSUP 2003-0003
BJ's Wholesale
Club
DOCKET Item #
17A
17B

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

*Please help your people so that pays
you back when you need them*

I hope you will consider my comments when reviewing BJ's application.

Name Victor S. Andrawis

Address 6331 Beryl Rd.

City Alexandria, Va ZIP 22312

Signature Victor Samuel Andrawis

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

*Since I do all my shopping
there its convenient and you
can't beat their prices*

I hope you will consider my comments when reviewing BJ's application.

Name Joe Kraft Apt. 1232

Address 4600 Duke Street

City Alexandria, VA 22304

ZIP

Signature

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NLPA 2003-0003
REZ 2003-0002
DSUP 2003-0003

BJ's Wholesale
Club
Docket Item #

17A
17B

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

This business would be a fine addition to Alexandria.

I hope you will consider my comments when reviewing BJ's application.

Name Mr. William Turner
Address 6204 Everglades Dr.
City Alexandria, VA 22312-1109 ZIP
Signature William Turner

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

It will be the best for the community and practical for everyone.

I hope you will consider my comments when reviewing BJ's application.

Name Eduardo Ramirez
Address 6401 Hawk View Lane
City Alexandria VA ZIP 22312
Signature Eduardo Ramirez

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MPA 2003-0003
REZ 2003-0002
DSUP 2003-0003

BJ's Wholesale
Club
Docket Item #

17 A

17 B

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

I fully support this proposal and believe
it would be a great asset to our
community

I hope you will consider my comments when reviewing BJ's application.

Name NICHOLAS ARLETH

Address 5800 MERTON CT #182

City ALEXANDRIA VA ZIP 22311

Signature 

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:


THE SUBJECT ACTION WOULD BE A GREAT
ECONOMICAL BENEFIT FOR ALEXANDRIA
RESIDENTS

I hope you will consider my comments when reviewing BJ's application.

Name Mr. Joseph Spund

Address Apt 806
5500 Holmes Run Pkwy

City Alexandria, VA 22304 ZIP

Signature 

~~88~~ 79

MPA 2003-0003
REZ 2003-0002
DSUP 2003-0003

BJ's Wholesale
Club
Docket Item #
17A
17B

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

*Will cut back on people driving out
of the area for lower prices -
Revenue for the city.*

I hope you will consider my comments when reviewing BJ's application.

Name *Mattie Sutton Cloud*

Address *442 N. Arminstead St. # 101*

City *Alex* ZIP *22312*

Signature *Mattie Sutton Cloud*

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

*I am a member of B.J.'s and support
gas pumps at this location -*

I hope you will consider my comments when reviewing BJ's application.

Name *Elizabeth C. Kersey*

Address *4104 Summit Pl.*

City *ALEX., VA* ZIP *22312*

Signature *Elizabeth C. Kersey*

MPA 2003-0003
REZ 2003-0002
DSUP 2003-0003

BJ's Wholesale
Club

Docket Item #
17A
17B

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

Please approve the BJ's gas station to help the community to have affordable gas service.

I hope you will consider my comments when reviewing BJ's application.

Name Iris Andrawis
Address 6331 Benyl Rd.
City Alexandria, Va. ZIP 22312
Signature Iris Andrawis

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

I hope you will approve.
We need gas reductions.
I'm retired 31 TX,

I hope you will consider my comments when reviewing BJ's application.

Name WILLIAM BYRNE
Address 5120 DONOVAN DRIVE
City ALEX., VA. ZIP 22304
Signature William Byrne

MPA 2003-0003
RE2 2003-0002
DSUP 2003-0003

BJ's Wholesale
Club

Docket Item
#17-A
17-B

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

Give us a chance to buy cheaper
gasoline. Bp is a great business
asset. Thanks you.

I hope you will consider my comments when reviewing BJ's application.

Name K. Sharpe
Address 211 E. Miller Avenue
City Alexandria ZIP 22301
Signature Kathy L. Sharpe

MPA 2003-0003
KEZ 2003-0002
DSUP 2003-0003

BJ's Wholesale
Club

Docket Item #

17-A

17-B

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

IT WILL LOWER & KEEP GAS PRICES LOW IN ALEX.
IT WILL MEAN ONE STOP FOR SHOPPING & GAS NOT TWO
THE LESS STOPS THE LESS CARS ON THE ROADS!! TAX INCOME!!

I hope you will consider my comments when reviewing BJ's application.

Name MR. JAMES D. BRIGHT

Address 538 DUNCAN AVE.

City ALEXANDRIA VA. ZIP 22301

Signature James D. Bright

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

We need a cost effective gas
station installed at BJ's ASAP!!
Thank You

I hope you will consider my comments when reviewing BJ's application.

Name Sherry Thaddeus

Address 500 Cherokee Avenue

City Alexandria VA ZIP 22312

Signature Sheryl Thaddeus

8/4/83

MPA 2003-0003

REZ 2003-0002

DSUP 2003-0003

BJ's Wholesale
Club

Docket Item #
17-A
17-B

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

Please permit BJ's Wholesale Club to install gas pumps at 101 S. Van Dorn St. It will help my budget to be able to buy quality gasoline there.

I hope you will consider my comments when reviewing BJ's application.

Name _____



John E. Giles

1333 Ivanhoe St.
Alexandria, VA 22304-1508

Address _____

City _____

ZIP _____

Signature _____

John E. Giles

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

I would like to see this project completed so that many can benefit from this service that BJ's provides to the area.

I hope you will consider my comments when reviewing BJ's application.

Name _____



Bibiano M. Barnes Cloonan
Capt, USAF
5128 Grimm Dr
Alexandria, VA 22304-8652

Address _____

City _____

CHARTER MEMBER

ZIP _____

Signature _____

Bibiano M. Cloonan

85 84

NPA 2003-0003
REZ 2003-0002
DSUP 2003-0003
BJ's Wholesale
Club

Docket Item #
17-A
17-B

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

I have a large family. I welcome any opportunity to save money. BJ's will offer its members the opportunity to make their \$ go further.

I hope you will consider my comments when reviewing BJ's application.

Name Rosolyn B Squire

Address 973 N Pegram Street

City Alexandria ZIP 22304

Signature Rosolyn B Squire

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

Adjacent to
BJ's is a responsible citizen whose members deserve the potential benefit of bulk purchasing of motor fuel.

I hope you will consider my comments when reviewing BJ's application.

Name BJ STOLL

Address 6424 VALE ST

City ALEX, VA ZIP 22312

Signature BJ Stoll

8/28/05

MPA 2003-0003
REZ 2003-0002
DSUP 2003-0003
BJ's Wholesale
Club
Docket Item #
17-A
17-B

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

I believe that a gas pump at BJ's would provide healthy competition among the competition.

I hope you will consider my comments when reviewing BJ's application.

Name _____

Address _____

City _____

Signature _____



Joseph A. Mainey Sr.
P.O. Box 11202
Alexandria, VA 22312-0202

ZIP _____

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

It would be a very welcome service in my area.

I hope you will consider my comments when reviewing BJ's application.

Name M. APRIL KENNEDY

Address 203 YOKUM PKWY #414

City ALEXANDRIA VA

ZIP 22304

Signature M. April Kennedy

87 86

MPA 2003-0003
REZ 2003-0002
DSUP 2003-0003

BJ's Wholesale
Club

Docket Item #
17-A
17-B

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

I am in favor of the proposal
to sell gas at B.J.'s.

I hope you will consider my comments when reviewing BJ's application.

Name William R. Jarne

Address 6214 Berlee Dr.

City Alexandria VA ZIP 22312

Signature William R. Jarne

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

RECOMMEND APPROVAL - will benefit all
Alexandria residents so we don't have to go
to Fairfax Co. to purchase gas.

I hope you will consider my comments when reviewing BJ's application.

Name Charles E. Kenyon & Carol B. Kenyon

Address 600 Crestwood Dr.

City Alexandria ZIP 22302

Signature Charles E. Kenyon -
Carol B. Kenyon

MPA 2003-0003

REZ 2003-0002

DSUP 2003-0003

BJ's Wholesale
Club

Docket Item #

17-A

17-B

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

I am in full support of gas being provided @ BJ's
as the rising cost of gas @ the local stations makes it almost
impossible to even travel to places as close as Delaware.

I hope you will consider my comments when reviewing BJ's application.

Name Barbara F. King

Address 6306 Phyllis Ln

City Alex, Va ZIP 22310

Signature Barbara F. King

88 88

BJ's Wholesale
Docket Item
17-A + 17B

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

We need cheaper gas in the
area prices are out of control

I hope you will consider my comments when reviewing BJ's application.

Name Paula Weaver

Address 8 E Morris Ave #202

City Alexandria VA ZIP 22301

Signature Paula Weaver

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

Please Vote yes for BJ's request
for a permit to install gas pumps
at the store

I hope you will consider my comments when reviewing BJ's application.

Name Mrs. Lorraine Taylor Kapper

Address 404 No. Alfred St.

City Alex, Va ZIP 22314

Signature Mrs. Lorraine Taylor Kapper

45 89

45

BJ's Wholesale
Docket Item
17-A & 17-B

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

Please approve this proposal.

I hope you will consider my comments when reviewing BJ's application.

Name *BARBARA & Tommy BROWNING*

Address *Mr. & Mrs. Tommy Browning*

4109 Olympic Way
Alexandria, VA 22312-1118

City

Signature *Barbara Browning*
Tommy Browning

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

*I would like the opportunity to
buy quality, affordable gasoline
6-10 cents below the average at
BJ's Wholesale Club.*

I hope you will consider my comments when reviewing BJ's application.

Name *Shelly Witak*

Address *4854 W. Braddock Rd. #2*

City *Alexandria, VA* ZIP *22311*

Signature *Shelly Witak*

95 90

46

BJ's Wholesale
Docket Item
#17-A + 17-B

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

I fully support this permit.
The advantages it will bring to
our city are tremendous

I hope you will consider my comments when reviewing BJ's application.

Name _____

Address _____

City _____ ZIP _____

Signature Brian & Sami



Brian & Sami Sloboda
2601 Park Center Dr. C811
Alexandria, VA 22302

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

I support the above

I hope you will consider my comments when reviewing BJ's application.

Name Ruth Kane

Address 510 W. Windsor Ave

City Alex ZIP 22302

Signature Ruth E. Kane

92 91

49

BJ's Wholesale

Docket Item
17-A & 17-B

Dear Mayor Kerry Donley,

As a resident of Alexandria I would like to share my thoughts on the proposed gas pumps at BJ's Wholesale Club at 101 South Van Dorn Street:

Want access to lower than average priced gas

I hope you will consider my comments when reviewing BJ's application.

Name _____

Address _____

City _____ ZIP _____

Signature *Edie Dersch*

Dear Councilwoman Joyce Woodson,

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

I live near BJ's in the Landmark area and I am a retired federal employee. I could certainly benefit from lower gas prices.

I hope you will consider my comments when reviewing BJ's application.

Name *Edith M. Bibb*

Address *250 S. Reynolds St #707*

City *Alexandria, VA* ZIP *22304*

Signature *Edith M. Bibb*

93 92

48

BJ's Wholesale
Club
Docket Item
#17-A + 17B

Dear Councilwoman Redella Pepper,

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

Great idea for us seniors.

I hope you will consider my comments when reviewing BJ's application.

Name RUTH DUTY
Address 5862 COLFAX AVE
City ALEXANDRIA ZIP 22311
Signature Ruth Duty

Dear Mayor-Elect William Euille,

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

Please endorse the BJ proposal - retail competition benefits everyone. Your help is appreciated.

I hope you will consider my comments when reviewing BJ's application.

Name ROBERT STEGEMAN
Address 2181 JAMIESON AVE #1907
City Alexandria VA ZIP 22314
Signature Robert Stegeman

99 93

49

BJ's Wholesale

Docket Item
17-A +
17-B

Dear Councilwoman Redella Pepper,

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

Please endorse the BJ proposal - retail competition benefits everyone. Your help is appreciated.

I hope you will consider my comments when reviewing BJ's application.

Name ROBERT SEGEHAN

Address 2181 JAMIESON AVE #1907

City Alexandria VA

ZIP 22314

Signature *[Signature]*

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

I feel this service is needed

I hope you will consider my comments when reviewing BJ's application.

Name Richard Fahlen

Address P.O. Box 9733

City Alex. VA

ZIP 22304

Signature *[Signature]*

9594
50

BJ's Wholesale
Club
Docket Item #
17-A
17-B

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

I live near BJ's in the Landmark area. I am a retired federal employee and could certainly benefit from lower gas prices.

I hope you will consider my comments when reviewing BJ's application.

Name EDITH M. BIBB

Address 250 S. Reynolds St #707

City Alexandria, VA ZIP 22304

Signature Edith M. Bibb

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

Cheaper gas prices much needed. The convenience of getting gas while shopping at BJ's reduces # of autos on roads and in Alexandria. Please allow the addition of gas pumps.

I hope you will consider my comments when reviewing BJ's application.

Name ANITA STOCKMAN

Address 4113 MORIN ST

City ALEXANDRIA ZIP 22312

Signature Anita M. Stockman

9/5/95

BJ's Wholesale
Club

Docket Item
#17-A
17-B

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

BJ's gas pump is a great idea
saving money for many people
Please support it

I hope you will consider my comments when reviewing BJ's application.

Name NAUEL GERGEY
Address 107 YOKUM Pkwy #105
City Alexandria ZIP VA 22304
Signature [Signature]

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

I hope you will consider my comments when reviewing BJ's application.

Name AMY Le
Address 2364 HUNTER SQUARE COURT
City RESTON VA ZIP 20191
Signature Amy Le

9796
52

BJ's Wholesale
Club
Docket Item
#17-A
17-B

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

I would like to be able to
buy gas here at 8 to 10¢
pump average

I hope you will consider my comments when reviewing BJ's application.

Name Elise Dersch
Address 3518 Paul St
City Alexandria Va ZIP 22311
Signature Elise Dersch

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

Great idea for us seniors.

I hope you will consider my comments when reviewing BJ's application.

Name LUTH DUTY
Address 5862 COLFAX AVE
City ALEXANDRIA ZIP 22311
Signature Luth Duty

BJ's Wholesale
Club
Docket Item
#17-A
17-B

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

THAT WOULD BE NICE FOR US RESIDENTS
AND ALSO, IT'S GOING TO BE LESS MONEY
THAN THE GAS STATIONS NEARBY! THANK YOU

I hope you will consider my comments when reviewing BJ's application.

Name RUDOLFO A. RAMISCAL

Address 1020 HARRISON CIRCLE

City ALEXANDRIA VA ZIP 22304

Signature Rudolfo A. Ramiscal

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

After seeing the BJ's plans I
feel this will be an attractive
(casual) facility

I hope you will consider my comments when reviewing BJ's application.

Name DON MOTTE

Address 5115 Bellemeade Lane

City Alexandria VA ZIP 22311

Signature Don Motte

99 98

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

*The BJ's in Waldorf offers gas - and when I
there I can get less than 10¢ a gallon. The
residents of Alexandria should have some
opportunities.*

I hope you will consider my comments when reviewing BJ's application.

Name

Terr Dykes

Address

111 Cameron Park Pl

City

Alexandria VA

ZIP

22304

Signature

[Signature]

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

*I support this and would
like to see this happen*

I hope you will consider my comments when reviewing BJ's application.

Name

Di Barbosa

Address

5980 Richmond Hwy #405

City

Alex, VA.

ZIP

22303

Signature

[Signature]

*99
too*

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

Please Grant this

I hope you will consider my comments when reviewing BJ's application.

Name Rhonda Sampson

Address 6301 Stevenson Ave #202

City Alexandria, VA ZIP 22304

Signature Rhonda

TO: Alexandria Planning Commission Members

As a resident of the City of Alexandria I would like to share the following comments on the proposal to permit BJ's Wholesale Club to install gas pumps at the store located at 101 South Van Dorn Street:

I hope you will consider my comments when reviewing BJ's application.

Name _____

Address _____

City _____ ZIP _____

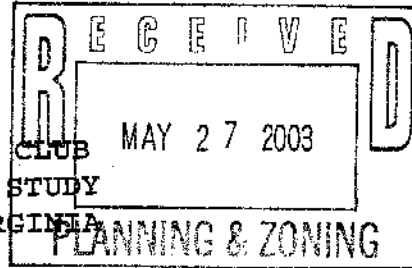
Signature _____

Mrs. Ruth C. Penn

303 Park Rd.
Alexandria, VA 22301-2737

21
6-14-03

BJ'S WHOLESALE CLUB
TRAFFIC IMPACT STUDY
ALEXANDRIA, VIRGINIA



Prepared for:
BJ's Wholesale Club

Prepared by:
Wells & Associates, LLC

April 7, 2003

**BJ'S WHOLESALE CLUB
TRAFFIC IMPACT STUDY
ALEXANDRIA, VIRGINIA**

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BJ'S WHOLESALE CLUB
TRAFFIC IMPACT STUDY
ALEXANDRIA, VIRGINIA

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BJ'S WHOLESALE CLUB
TRAFFIC IMPACT STUDY
ALEXANDRIA, VIRGINIA

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<u>Appendix</u>	<u>Title</u>
A.	Existing Traffic Counts
B.	Existing Levels of Service
C.	Background Future Levels of Service (Project Buildout, 2008)
D.	Diverted Link Trip Assignments
E.	Gasoline Pumps Internal Trip Memorandum
F.	Total Future Levels of Service (Project Buildout, 2008)

INTRODUCTION

This report presents the results of a traffic impact analysis of BJ's Wholesale Club in support of the development special use permit amendment and supplemental parking reduction applications. The subject site is bounded by Duke Street on the north, North Van Dorn Street on the east and Stevenson Avenue on the south, in Alexandria, Virginia as shown on Figure 1.

Currently, the site consists of 9.6 acres with a 116,895 square foot wholesale club. BJ's Wholesale Club proposes to construct a 4,000 square foot bank with a two-lane drive through window on the Duke Street side of the property and install five gasoline pumps on the northeastern edge of the center which would sell discounted fuel only to members of BJ's. For purposes of this traffic analysis, this development was assumed to be completely built and occupied by the year 2008.

A traffic study scoping meeting was held with City of Alexandria staff on March 3, 2003. Based on this meeting, the tasks undertaken in this study included the following:

1. Review BJ's Wholesale Club's proposed development plans and other background data.
2. A field reconnaissance of existing roadway and intersection geometrics, traffic controls, traffic signal phasings/timings, and speed limits.
3. Counts of existing traffic at three off-site intersections, the site driveway on Stevenson Avenue opposite the Van Dorn Plaza access, and the site access from Duke Street.
4. Analysis of existing levels of service at each of the key intersections.
5. Counts of the number of occupied parking spaces on site.
6. Background future traffic volumes were forecasted based on existing traffic counts and background traffic growth.

7. Background levels of service were calculated at each key intersection based on background traffic forecasts, existing traffic controls, and existing intersection geometrics.
8. The number of AM peak hour and PM peak hour trips that will be generated by the proposed gasoline pumps and bank were estimated based on trip generation rates obtained from Institute of Transportation Engineers (ITE) trip generation rates/equations.
9. Total future traffic forecasts were identified based on background traffic forecasts plus site traffic assignments.
10. Total future levels of service were calculated at each key intersection based on total future traffic forecasts, existing traffic controls, and existing intersection geometrics.

Sources of data for this analysis included traffic and parking counts conducted by Wells & Associates, the Institute of Transportation Engineers (ITE), the Virginia Department of Transportation, the City of Alexandria, Vanesse & Associates, Inc., and BJ's Wholesale Club.

The conclusions of this traffic impact study are as follows:

1. *The study intersections currently operate at overall acceptable levels of service during the AM and PM peak hours.*
2. *Under background conditions, the four key intersections would continue to operate at overall acceptable levels of service during the AM and PM peak hours.*

3. The proposed bank pad site and gasoline pumps will add another 104 AM peak hour trips and 259 weekday PM peak hour trips, to the public street system upon project completion.
4. With the development of the bank and the gasoline pumps, the four key intersections would continue to operate at the same overall levels of service as those experienced under background conditions without the proposed development. A minimal increase in delay at the study intersections would be experienced with the proposed development.

BACKGROUND DATA

Public Road Network

Existing Network. Regional access to BJ's Wholesale Club is provided by Interstate 395, Duke Street (VA Route 236), and Van Dorn Street (VA Route 401). Local access is provided by Stevenson Avenue and Duke Street. Existing intersection lane use and traffic control at key intersections in the site vicinity are shown on Figure 2.

Duke Street (VA Route 236). Duke Street is a six-lane divided roadway, with grade separation at Van Dorn Street. Duke Street extends east-west from Old Town Alexandria west to an interchange with I-395. VA Route 236 continues west past I-395 as Little River Turnpike.

Van Dorn Street (VA Route 401). Van Dorn Street is a four-lane, median divided road in the site vicinity. Van Dorn Street extends from Franconia north to King Street (VA Route 7) in Alexandria, with grade separated interchanges at I-95/495, Eisenhower Avenue, and Duke Street.

Stevenson Avenue. Stevenson Avenue is a four-lane road within the immediate site vicinity. The intersections with Van Dorn Street, BJ's and Van Dorn Plaza access, and Walker Street operate under signal control. Separate eastbound and westbound left turn lanes on Stevenson Avenue are located at the site access intersection.

Walker Street. Walker Street is a north-south roadway that connects Duke Street and Stevenson Avenue. The intersections with Duke Street and Stevenson Avenue operate under signal control.

Site Access Concept

Access to the BJ's Wholesale Club site is currently provided via a one-way, inbound driveway on eastbound Duke Street and a full movement driveway on Stevenson Avenue opposite the Van Dorn Plaza access, as shown on Figure 3. There are currently no changes to the access to the wholesale club proposed.

Existing Traffic Volumes

Existing AM and PM peak hour traffic counts were conducted, during the height of the holiday season¹, on Thursday, December 19, 2002, by Wells & Associates at the following intersections:

1. Duke Street (VA Route 236)/Walker Street.
2. Stevenson Avenue/Walker Street.
3. Stevenson Avenue/BJ's Wholesale Access.
4. Stevenson Avenue/N. Van Dorn Street (VA Route 401).

The through traffic volume on the BJ's Wholesale Club access from Duke Street was also counted during peak hours.

The results are included in Appendix A and summarized on Figure 4. Figure 4 indicates that Stevenson Avenue presently carries 409 eastbound AM peak hour trips and 782 westbound PM peak hour trips, just west of the BJ's access.

Existing Parking Occupancy Counts

Existing parking occupancy counts were conducted on Thursday, December 19, 2002, from 3:00 PM to 10 PM by Wells & Associates at the BJ's Wholesale Club. These counts represent the seasonal peak parking occupancy for retail uses since they were obtained during the height of the holiday season. The parking occupancy counts were recorded in 30 minute increments. The results are included in Appendix A.

¹ Sales data from BJ's Wholesale Club demonstrates the peak sales time coincides with the Christmas shopping season.

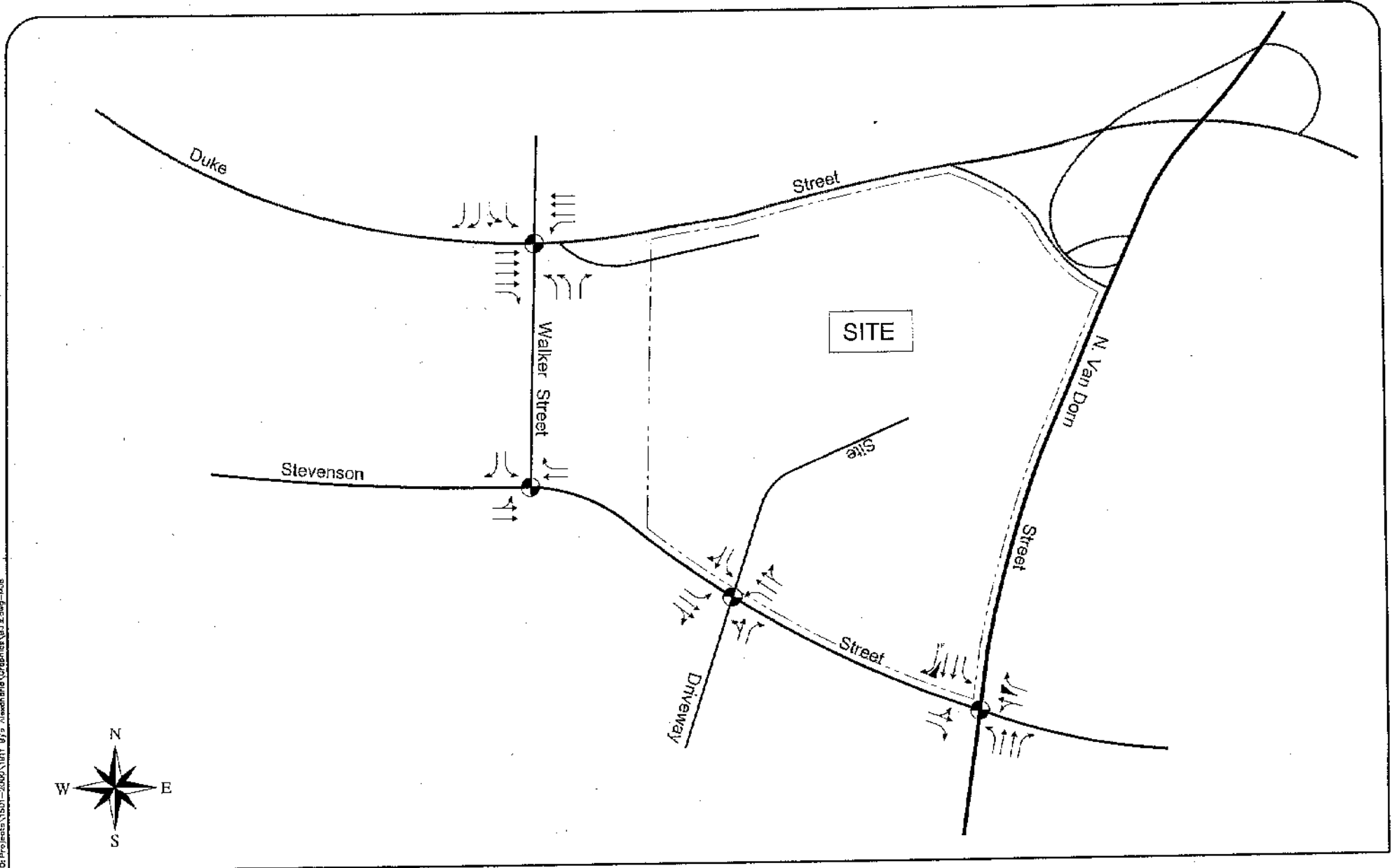


Figure 2
Existing Lane Use and Traffic Control

- ← Represents One Travel Lane
- ⊙ Signalized Intersection
- ⊥ Stop Sign

2000\Projects\Bj's Wholesale Club\Site Plan_Reduced-MJ3

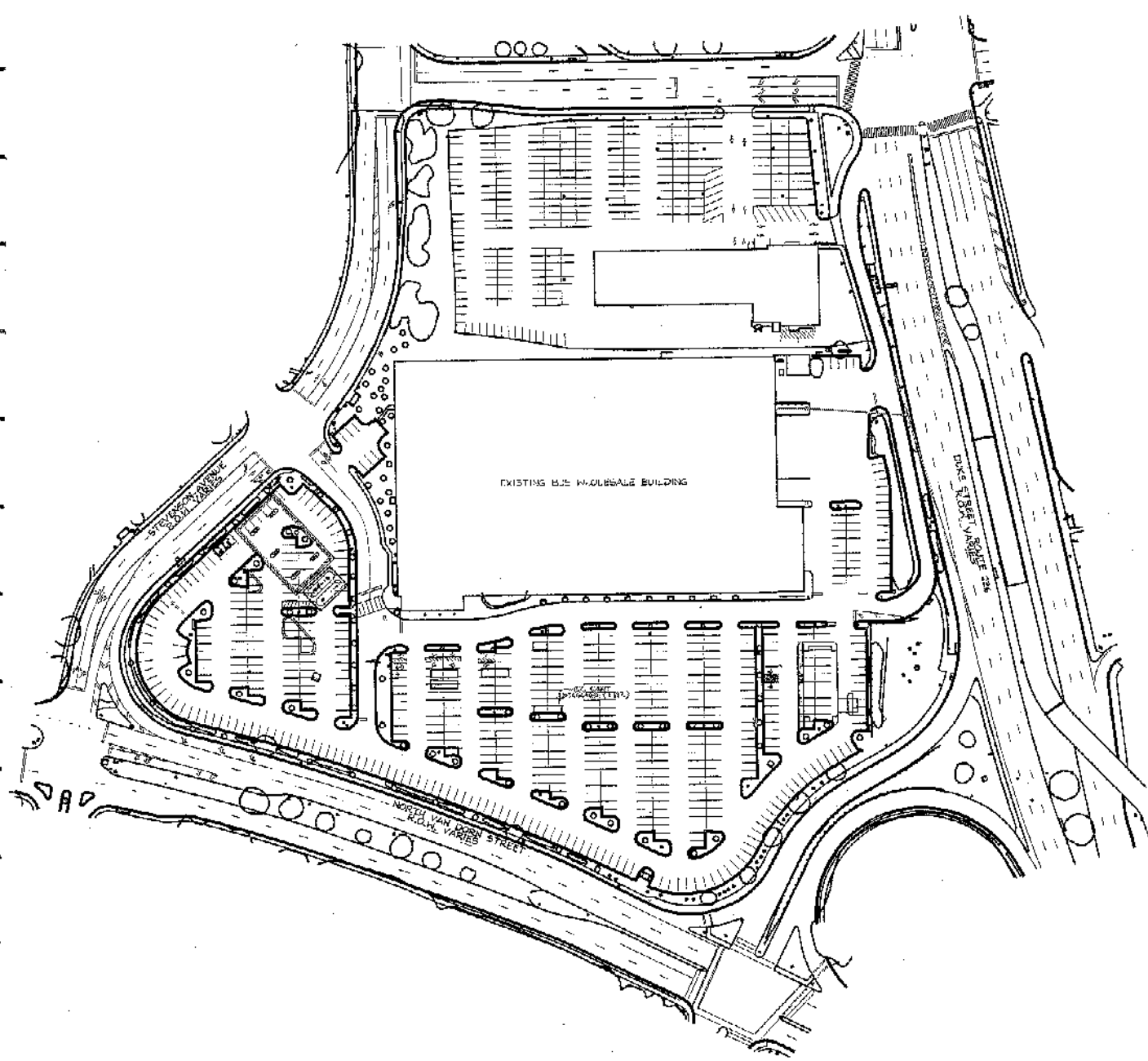


Figure 3
Site Plan Reduction

North
Schematic

Bj's Wholesale Club
Alexandria, Virginia

WELLS & ASSOCIATES, LLC.
TRAFFIC, TRANSPORTATION, and PARKING CONSULTANTS

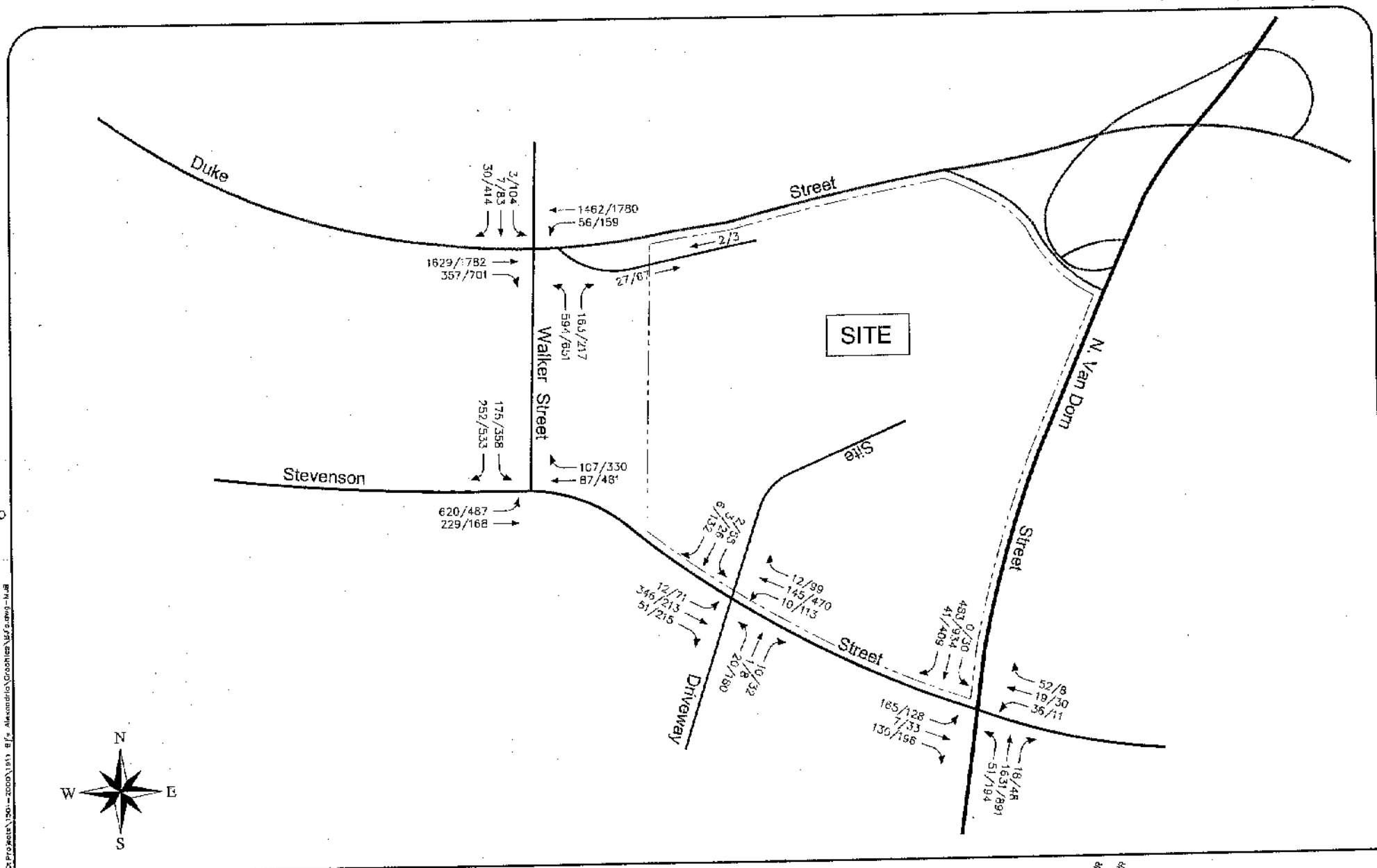


Figure 4
Existing Weekday Peak Hour Traffic Counts

ANALYSIS

Project Impact Area

Based on a traffic study scoping meeting with the City of Alexandria staff, the BJ's Wholesale Club impact area includes the following intersections:

1. Duke Street (VA Route 236)/Walker Street.
2. Stevenson Avenue/Walker Street.
3. Stevenson Avenue/BJ's Wholesale Access.
4. Stevenson Avenue/N. Van Dorn Street (VA Route 401).

Existing Levels of Service

Existing peak hour levels of service were estimated at the four existing key intersections listed above based on the existing lane usage and traffic control shown on Figure 2, the existing traffic volumes shown on Figure 4, and the Highway Capacity Manual 2000 analysis procedures. The results are presented in Appendix B and summarized in Table 1.

Table 1 indicates that the four key intersections currently operate at acceptable levels of service (LOS "D" or better), during the commuter AM and PM peak hours. These results are conservative since the existing traffic counts were taken during the height of the Christmas shopping season.

Background Traffic Growth Rate

Background traffic growth was estimated at 2 percent per year compounded, as directed by staff. This growth rate was applied to all movements at the key intersections in the study area through the year 2008. Background traffic growth was estimated at approximately 10 percent over this 5-year period. The background traffic growth at the study intersections are shown on Figure 5.

Table 1
BJ's Wholesale Club
Intersection Level of Service Analysis (1) (2)

Intersection	Control	Existing - 2003		Background - 2008		Total Future - 2008	
		AM	PM	AM	PM	AM	PM
1. Duke Street / Walker Street	SIGNAL	C (26.8)	D (47.8)	C (27.3)	D (50.0)	C (27.5)	D (52.6)
2. Stevenson Avenue / Walker Street	SIGNAL	B (18.9)	C (33.5)	C (22.0)	D (45.2)	C (22.7)	D (51.9)
3. Stevenson Avenue / BJ Entrance	SIGNAL	B (17.0)	C (30.7)	B (17.8)	D (36.4)	B (19.0)	D (38.5)
4. Stevenson Avenue / N. Van Dorn Street	SIGNAL	C (26.5)	C (25.8)	D (42.0)	C (28.7)	D (42.6)	C (30.2)

Notes:

(1) Based on Highway Capacity Software (Version 4.1c).

(2) Numbers in parenthesis, (), represent control delay in seconds per vehicle for signalized intersections.

Background Traffic Forecasts

The background traffic growth shown on Figure 6 was added to counts of existing traffic to yield the future background traffic volumes shown on Figure 6.

Background Future Levels of Service

Future peak hour levels of service without the proposed bank pad site and gasoline pumps were estimated at the key intersections in the study area based on the existing lane usage and traffic control shown on Figure 2, the background traffic forecasts shown on Figure 6, and the Highway Capacity Manual 2000 analysis procedures. The results are presented in Appendix C and summarized in Table 1.

As shown on Table 1, the four key intersections would continue to operate at overall acceptable levels of service, during the AM and PM peak hours.

Site Trip Generation Analysis

The number of trips that will be generated by the BJ's Wholesale Club proposed gasoline pumps and bank pad site were estimated based on adjusted ITE trip generation rates. For purposes of this traffic impact analysis, five gasoline pumps with 10 vehicle fueling positions and a 4,000 square foot bank with a two-lane drive through window were assumed.

As shown in Table 2, the development plan as proposed will generate 174 total AM peak hour trips and 419 total PM peak hour trips, upon completion.

According to ITE, in some cases the driveway volume at a particular land use is different from the amount of traffic added to the adjacent street system. Uses such as banks and gasoline stations attract a portion of their trips from traffic that is already on the road network. Trips associated with these land uses are divided into three types:

- Primary trips,

Diverted Link trips,
Internal synergy trips.

Diverted Link Trips. Diverted link trips are trips attracted to the site from the roadways in the area near the site but require a diversion from one roadway to another to gain access to the site. In this case, a driver already on Duke Street or North Van Dorn Street may "divert" to the access drive on Duke Street and Stevenson Avenue to visit the bank.

Typical diverted link trip percentages for various land uses are published by ITE in the Trip Generation Handbook. According to ITE, on average, a diverted link trip rate of 26 percent could be expected for a bank with a drive through window during the PM peak hour. In accordance with VDOT standards and to provide a conservative assessment, a diverted link rate of 15 percent was applied to the bank the AM and PM peak hours trips. The diverted link trip assignments are shown in Appendix D

Internal Synergy Trips. Some of the vehicle-trips to the gasoline pumps will be shared with the wholesale club, or internal trips. Based on actual surveys presented in the Vanesse & Associates memorandum shown in Appendix E, up to 94 percent of the vehicle-trips associated with membership club gasoline pumps share their trips with the wholesale club. A conservative assumption, however, that only 50% of the gasoline pumps trips would come from the wholesale club was used for all the time periods.

Primary Trips. Primary trips are trips made for the specific purpose of visiting the particular land use. Primary trips remain after the pass-by and internal synergy trips are removed from the total trips. Therefore, as shown in Table 2, the pad site and the gasoline pumps would generate 104 primary AM peak hour trips and 259 primary PM peak hour trips, upon completion.

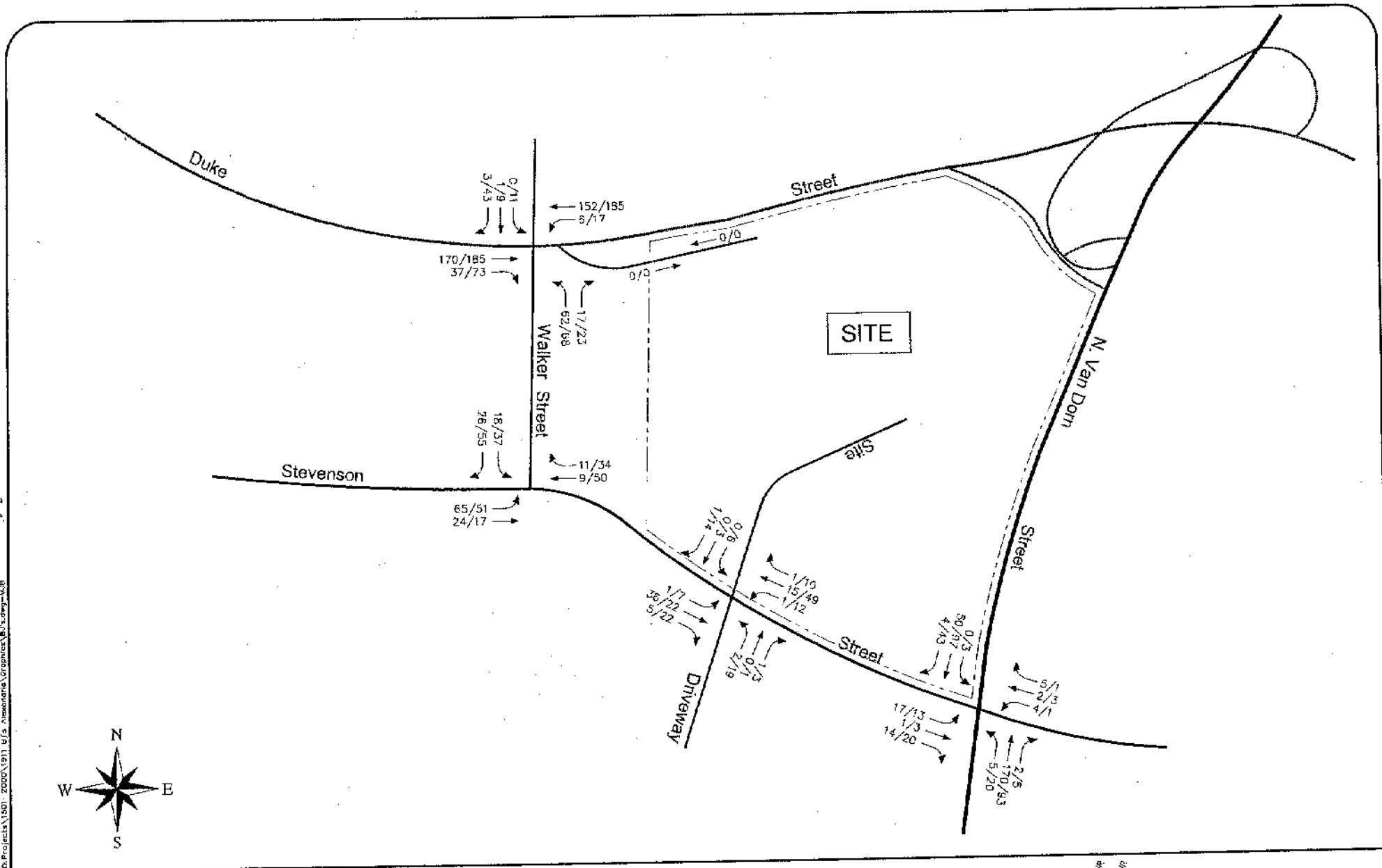


Figure 5
Background Traffic Growth

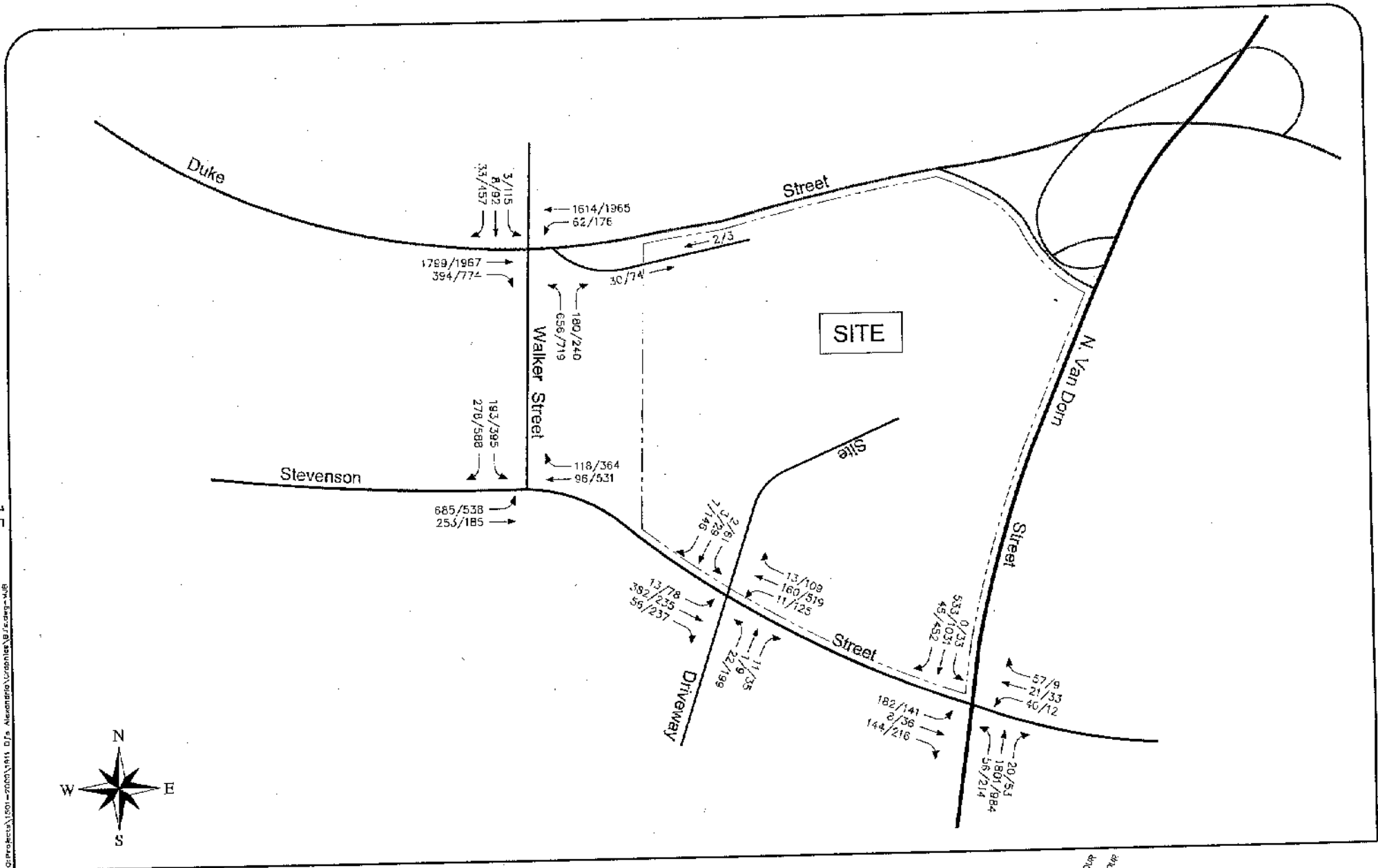


Figure 6
Background Future Peak Hour Traffic Forecasts

Table 2

BJ's Wholesale Club
Trip Generation Analysis

Land Use	ITE Code	Size	Units	Weekday AM Peak Hour			Weekday PM Peak Hour			Weekday Average Daily Trips
				In	Out	Total	In	Out	Total	
Bank with Drive Through (1)	912	4,000 S.F. 15%/15%/15%		28	23	51	110	109	219	1,084
Pass-By Trips (2)				4	4	8	17	16	33	163
New Trips Generated By Bank				24	19	43	94	93	186	921
Gasoline Station	NA	10 VFPS (3) 50%		63	60	123	74	71	146	1,686
Internal Reduction (4)				31	30	61	37	36	73	843
New Trips Generated By Fueling Station				31	30	61	37	36	73	843
Total New Trips				55	49	104	131	128	259	1,764

- Notes:
- (1) Based on Institute of Transportation Engineers' Trip Generation, 6th Edition.
 - (2) A 15% percent pass-by trip rate was used for the AM and Saturday peak periods. A 47% pass-by trip rate was used for the PM peak hour base Institute of Transportation Engineers' Trip Generation Handbook, March 2001.
 - (3) Vehicle Fueling Positions (VFPS).
 - (4) Based on a Conservative Assumption that only 50% of Fueling Station Trips are shared with the Wholesale Club (Internal Trips). Actual survey indicate that up To 94% of Fueling Station Trips are shared trips with the Wholesale Club.

Trip Distribution Analysis

The distribution of peak hour trips generated by the proposed uses was determined based on the existing traffic patterns and local knowledge. The trip distributions and the site-generated traffic assignments are shown on Figure 7.

Total Future Traffic Forecasts

The site-generated traffic assignments shown on Figure 7 were added to the future background traffic volumes shown on Figure 6 to yield the total future traffic forecasts shown on Figure 8.

Total Future Intersection Levels of Service

Future peak hour levels of service with the proposed pad site and gasoline pumps were estimated at the key intersections in the study area based on the existing lane usage and traffic control shown on Figure 2, the total future traffic forecasts shown on Figure 8, and the HCM 2000 methodologies. The results are presented in Appendix F and summarized in Table 1.

Table 1 indicates that the four key intersections would continue to operate at the same levels of service to those experienced under background conditions. The development of the proposed bank with a drive through window and gasoline pumps would cause minimal increases in delay at the study intersections.

Parking Analysis

Parking occupancy counts were conducted at the existing BJ's facilities. As shown in Table 3, the holiday season counts indicated that the peak parking occupancy was 35 percent. Thus, 65 percent of the parking lot was available during the peak holiday season.

Currently, 601 parking spaces serve the existing BJ's Wholesale Club. The proposed pad site and gasoline pumps would displace 120 spaces, resulting in a new supply of 481 parking spaces.

Parking demand was forecasted for the existing BJs Wholesale Club, the pad site, and the gasoline pumps, based on existing demand and the City of Alexandria Parking Code. Typically a perceived "full" parking lot is 10 percent vacant, therefore a 10 percent "practical" factor was applied to the observed parking demand for the wholesale club to forecast demand. As shown in Table 3, a surplus of 87 parking spaces (or 18 percent) is anticipated, based on the forecasted parking demand. The future supply of 481 parking spaces would accommodate the existing wholesale club, the proposed pad site, and the gasoline pumps.

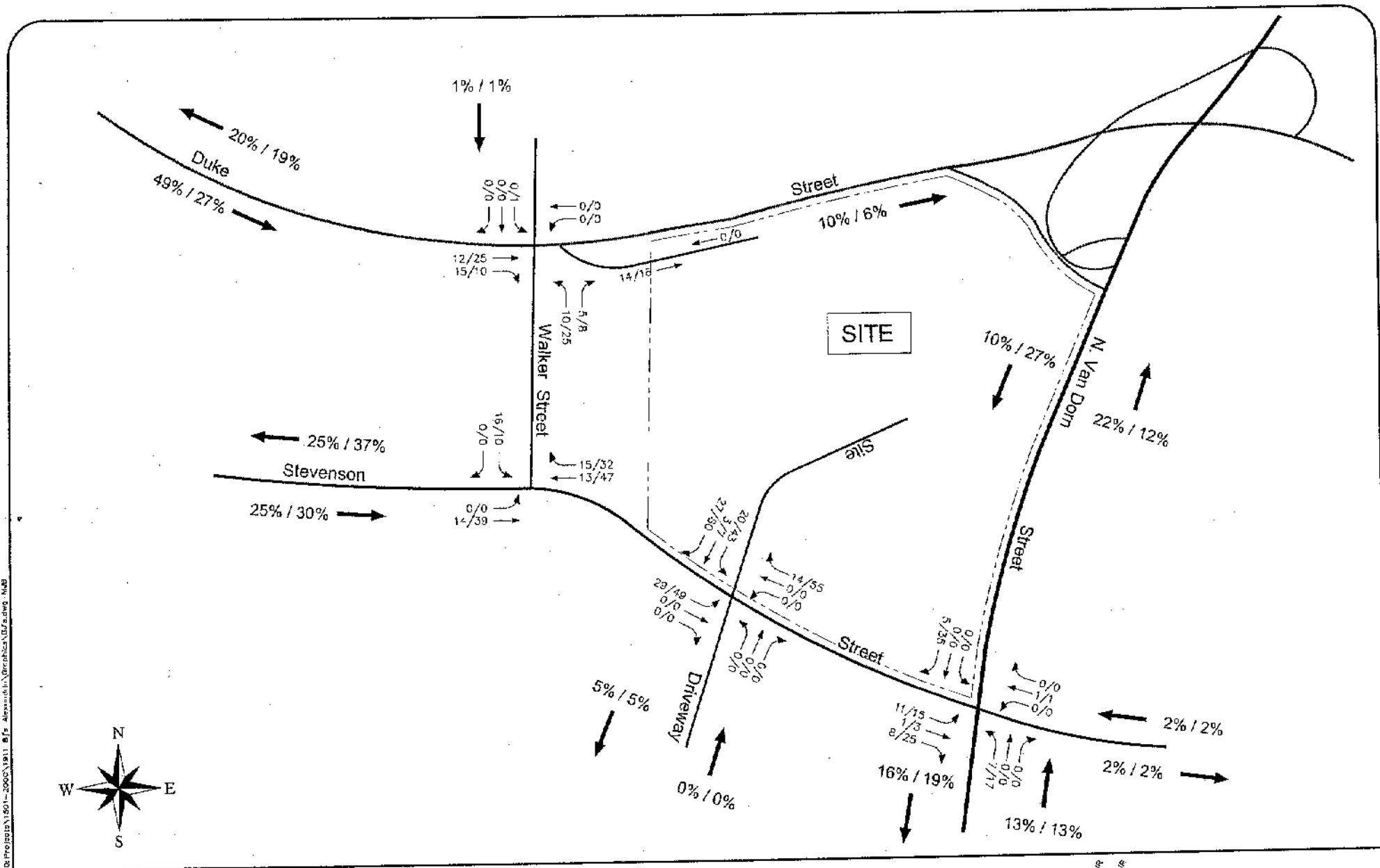


Figure 7
Site-Generated Traffic Volumes and Directional Distribution

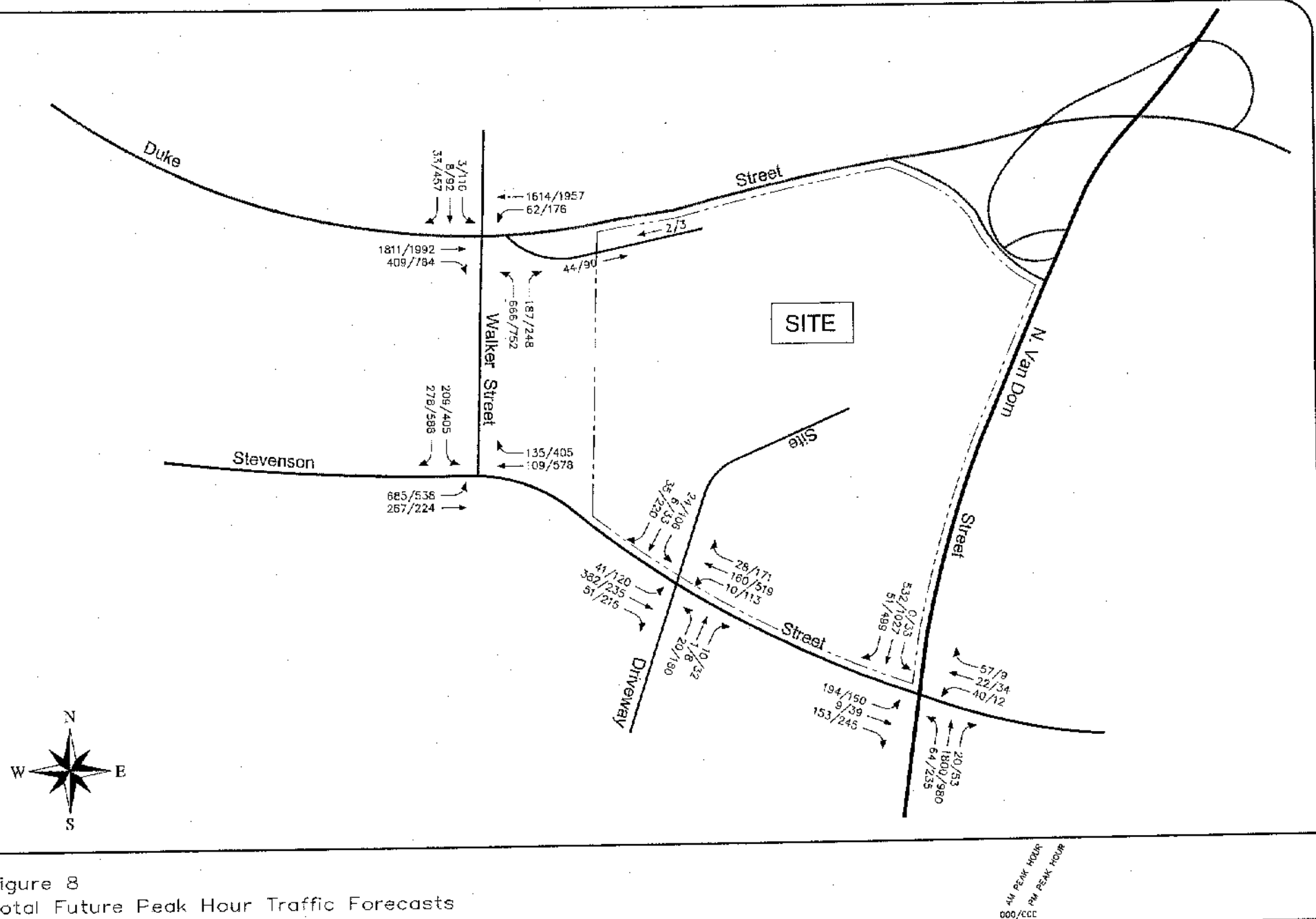


Figure 8
Total Future Peak Hour Traffic Forecasts

Table 3
BJ's Wholesale Club
Parking Tabulation (1)

Scenario	Size	Units	Parking Code (2, 3)	Number of Parking Spaces
Existing Provided				601
City Code Requirement (2) (3)				
Wholesale Club (Retail)	114,159 S.F.		1.20 per 230 S.F.	596
Tire Store	2,736		1.00 per 400 S.F.	<u>7</u>
				603
<u>Observed Existing Parking Demand</u>				
Peak Holiday Season Weekday Peak Hour Occupied Parking Spaces				213
Percent Occupied				35%
Peak Holiday Season Saturday Peak Hour Occupied Parking Spaces				345
Percent Occupied				57%
<u>Proposed Parking</u>				
Supply				481
Forecasted Demand				
Wholesale Club (Retail)	116,895 S.F.			345
Practical Factor (4)	10%			35
Bank with Drive Through	4,000 S.F.		1.00 per 400 S.F.	10
Gas Pumps	5 Pumps		1.00 Per Pump	<u>5</u>
Total Forecasted Demand				395
Surplus				87
Percent Surplus				18%
City Code Requirement				
Wholesale Club (Retail)	114,159 S.F.		1.20 per 230 S.F.	596
Tire Store	2,736		1.00 per 400 S.F.	<u>7</u>
Subtotal				603
Bank with Drive Through	4,000 S.F.		1.00 per 400 S.F.	10
Gas Pumps	5 Pumps		1.00 Per Pump	<u>5</u>
Total Required by Code				618
Shortfall				-137
Percent Shortfall				-28%

- Notes:
- (1) All parking spaces are on-site, surface spaces and only 42 are compact spaces. No standing or tandem spaces are proposed.
 - (2) Based on The Zoning Ordinance of the City of Alexandria, Virginia, effective June 24, 1992.
 - (3) BJ's Wholesale Club is located in Parking District 3.
 - (4) Practical Factor assumes full parking lot is 10 percent vacant.

CONCLUSIONS

The conclusions of this traffic impact study are as follows:

1. The study intersections currently operate at overall acceptable levels of service during the AM and PM peak hours.
2. Under background conditions, the four key intersections would continue to operate at overall acceptable levels of service during the AM and PM peak hours.
3. The proposed bank pad site and gasoline pumps will add another 104 AM peak hour trips and 259 weekday PM peak hour trips, to the public street system upon project completion.
4. With the development of the bank and the gasoline pumps, the four key intersections would continue to operate at the same overall levels of service as those experienced under background conditions without the proposed development. A minimal increase in delay at the study intersections would be experienced with the proposed development.

Appendix A
Existing Traffic Counts

Wells & Associates, LLC

McLean, Virginia

Existing Traffic Count

PROJECT: BJ's Alexandria
W & A JOB NO.: 1911
INTERSECTION: Stevenson Ave. & Site Driveway
LOCATION: Alexandria, VA

DATE: 12/19/2002
DAY: Thursday
WEATHER: cold
COUNTED BY: Ernest
INPUTED BY: agan

SOUTHBOUND ROAD: Driveway
NORTHBOUND ROAD: Driveway
WESTBOUND ROAD: Stevenson Avenue
EASTBOUND ROAD: Stevenson Avenue

INPUTED BY: agan																					
Time Period	Turning Movements																North & South	East & West	Total	PHF	Time Period
	Southbound Driveway				Westbound Stevenson Avenue				Northbound Driveway				Eastbound Stevenson Avenue								
	1 Right	2 Thru	3 Left	Total	4 Right	5 Thru	6 Left	Total	7 Right	8 Thru	9 Left	Total	10 Right	11 Thru	12 Left	Total					
AM																					
6:00-6:15	2	0	0	2	0	7	0	7	0	0	3	3	9	16	3	28	5	35	40	6:00-6:15	
6:15-6:30	0	1	0	1	1	17	1	19	0	0	4	4	4	30	1	35	5	54	59	6:15-6:30	
6:30-6:45	3	0	1	4	1	20	0	21	1	0	4	5	2	55	2	59	9	80	89	6:30-6:45	
6:45-7:00	2	0	1	3	5	23	1	29	1	0	6	6	1	41	2	44	9	73	82	6:45-7:00	
7:00-7:15	2	0	2	4	3	19	1	23	2	0	3	5	5	44	3	52	9	75	84	7:00-7:15	
7:15-7:30	1	0	1	2	1	24	2	27	0	0	6	6	15	67	2	84	8	111	119	7:15-7:30	
7:30-7:45	2	0	1	3	2	25	2	29	3	1	4	8	9	88	1	98	11	127	138	7:30-7:45	
7:45-8:00	0	2	0	2	3	33	2	38	1	0	3	4	16	92	4	112	6	150	156	7:45-8:00	
8:00-8:15	2	0	1	3	3	44	3	50	2	0	6	8	13	84	5	102	11	152	163	8:00-8:15	
8:15-8:30	2	1	0	3	4	43	3	50	4	0	7	11	13	82	2	97	14	147	161	8:15-8:30	
8:30-8:45	3	0	3	6	2	36	0	38	1	1	12	14	16	57	5	78	20	118	136	8:30-8:45	
8:45-9:00	8	0	3	11	4	51	3	58	1	0	5	6	17	55	5	77	17	135	152	8:45-9:00	
3 Hour Totals	27	4	13	44	29	342	18	389	16	2	62	80	120	711	35	866	124	1,255	1,379		
1 Hour Totals																					
6:00-7:00	7	1	2	10	7	67	2	76	2	0	16	18	16	142	8	166	28	242	270	0.76 6:00-7:00	
6:15-7:15	7	1	4	12	10	79	3	92	4	0	16	20	12	170	8	190	32	282	314	0.88 6:15-7:15	
6:30-7:30	8	0	5	13	10	86	4	100	4	0	18	22	23	207	9	239	35	339	374	0.79 6:30-7:30	
6:45-7:45	7	0	5	12	11	91	6	108	6	1	18	25	30	240	8	278	37	386	423	0.77 6:45-7:45	
7:00-8:00	5	2	4	11	9	101	7	117	6	1	18	23	45	291	10	346	34	463	497	0.80 7:00-8:00	
7:15-8:15	5	2	3	10	9	128	9	144	8	1	19	26	53	331	12	396	38	540	576	0.88 7:15-8:15	
7:30-8:30	6	3	2	11	12	145	10	167	10	1	20	31	51	346	12	409	42	576	618	0.95 7:30-8:30	
7:45-8:45	7	3	4	14	12	156	8	178	8	1	28	37	58	315	16	389	51	565	616	0.94 7:45-8:45	
8:00-9:00	15	1	7	23	13	174	9	196	8	1	30	39	58	276	17	354	62	560	612	0.94 8:00-9:00	
AM Peak 7:30-8:30	6	3	2	11	12	145	10	167	10	1	20	31	51	346	12	409	42	576	618	0.95 AM Peak 7:30-8:30	
PM																					
4:00-4:15	29	1	21	51	24	95	14	133	8	3	45	56	43	65	15	123	107	256	363	4:00-4:15	
4:15-4:30	39	2	26	67	28	106	16	150	8	1	30	39	31	69	25	125	108	275	381	4:15-4:30	
4:30-4:45	32	4	25	61	29	108	25	162	11	3	53	67	42	58	15	115	128	277	405	4:30-4:45	
4:45-5:00	36	4	18	58	26	102	23	151	12	0	41	53	40	68	17	123	111	274	385	4:45-5:00	
5:00-5:15	35	5	17	57	24	108	28	161	10	3	39	52	38	54	34	126	109	287	398	5:00-5:15	
5:15-5:30	40	5	15	60	12	121	30	163	11	1	50	62	74	64	10	138	122	301	423	5:15-5:30	
5:30-5:45	28	8	14	50	35	104	22	161	6	2	45	53	51	52	16	119	103	280	383	5:30-5:45	
5:45-6:00	29	8	9	46	28	138	33	197	5	2	46	53	52	53	11	116	99	313	412	5:45-6:00	
6:00-6:15	35	1	19	55	33	111	14	158	12	3	57	72	32	84	13	109	127	267	394	6:00-6:15	
6:15-6:30	32	7	25	64	29	98	25	152	8	0	36	44	57	60	18	133	108	285	393	6:15-6:30	
6:30-6:45	28	6	12	46	20	84	18	122	12	1	33	46	36	46	20	102	92	224	316	6:30-6:45	
6:45-7:00	37	2	22	61	31	101	13	145	9	1	38	48	35	58	17	108	109	263	362	6:45-7:00	
3 Hour Totals	400	53	223	676	319	1,275	281	1,855	112	20	513	645	531	687	209	1,437	1,321	3,292	4,513		
1 Hour Totals																					
4:00-5:00	136	11	90	237	107	411	78	596	38	7	169	215	156	258	72	486	452	1,082	1,534	0.95 4:00-5:00	
4:15-5:15	142	15	86	243	107	425	92	624	41	7	183	211	161	247	91	489	454	1,113	1,567	0.97 4:15-5:15	
4:30-5:30	143	18	75	236	91	440	106	637	44	7	183	234	194	232	76	502	470	1,139	1,609	0.96 4:30-5:30	
4:45-5:45	139	22	64	225	97	436	103	636	39	6	175	220	203	226	77	506	445	1,142	1,587	0.94 4:45-5:45	
5:00-6:00	132	26	55	213	99	470	113	682	32	8	180	220	215	213	71	490	433	1,181	1,614	0.95 5:00-6:00	
5:15-6:15	132	22	57	211	108	472	99	679	34	8	198	240	209	223	60	482	451	1,161	1,612	0.96 5:15-6:15	
5:30-6:30	124	24	67	215	125	449	94	668	31	7	184	222	182	229	56	477	437	1,145	1,582	0.96 5:30-6:30	
5:45-6:45	124	22	65	211	110	429	90	629	37	6	172	215	177	223	60	460	426	1,089	1,515	0.92 5:45-6:45	
6:00-7:00	132	16	78	226	113	394	70	577	41	5	184	210	160	226	66	452	436	1,028	1,465	0.93 6:00-7:00	
PM Peak 5:00-6:00	132	26	55	213	99	470	113	682	32	8	180	220	215	213	71	499	433	1,181	1,614	0.95 PM Peak 5:00-6:00	

Wells & Associates, LLC

McLean, Virginia

Existing Traffic Count

PROJECT:	BJ's Alexandria	DATE:	12/19/2002	SOUTHBOUND ROAD:	Van Dorn Street
W & A JOB NO.:	1911	DAY:	Thursday	NORTHBOUND ROAD:	Van Dorn Street
INTERSECTION:	Stevenson Ave. & Van Dorn St.	WEATHER:	cold	WESTBOUND ROAD:	Stevenson Avenue
LOCATION:	Alexandria, VA	COUNTED BY:	Richard & Jim	EASTBOUND ROAD:	Stevenson Avenue
		INPUTED BY:	agan		

Time Period	Turning Movements																		Total	PHF	Time Period	
	Southbound Van Dorn Street				Westbound Stevenson Avenue				Northbound Van Dorn Street				Eastbound Stevenson Avenue				North & South	East & West				
	1 Right	2 Thru	3 Left	Total	4 Right	5 Thru	6 Left	Total	7 Right	8 Thru	9 Left	Total	10 Right	11 Thru	12 Left	Total						
AM																						
6:00-6:15	2	85	0	87	3	4	8	15	3	178	0	181	8	4	6	18	268	33	301			6:00-6:15
6:15-6:30	6	110	1	117	9	8	10	28	5	168	6	179	20	0	3	23	296	51	347			6:15-6:30
6:30-6:45	3	82	1	86	1	8	6	16	5	267	11	273	35	0	29	64	369	79	438			6:30-6:45
6:45-7:00	11	104	1	116	10	2	9	21	3	374	15	392	25	3	11	39	508	80	568			6:45-7:00
7:00-7:15	8	125	0	133	17	4	11	32	5	394	11	410	21	0	29	50	543	82	625			7:00-7:15
7:15-7:30	8	88	0	96	7	7	6	20	4	418	13	435	32	5	37	74	531	94	625			7:15-7:30
7:30-7:45	10	112	0	122	18	5	9	32	4	442	10	456	37	1	43	81	578	113	691			7:30-7:45
7:45-8:00	15	158	0	173	10	3	10	23	5	377	17	399	40	1	56	97	572	120	692			7:45-8:00
8:00-8:15	19	121	2	142	11	15	9	35	4	298	19	321	36	7	48	91	463	128	589			8:00-8:15
8:15-8:30	21	115	0	136	8	5	8	19	1	309	17	327	34	6	44	84	463	103	566			8:15-8:30
8:30-8:45	15	129	5	149	10	7	14	31	8	364	15	377	29	0	33	62	528	93	619			8:30-8:45
8:45-9:00	19	145	0	164	3	9	6	18	1	382	28	411	35	2	23	60	575	78	653			8:45-9:00
3 Hour Totals	137	1,374	10	1,521	107	78	104	289	48	3,951	162	4,161	352	29	362	743	5,682	1,032	6,714			
1 Hour Totals																						
6:00-7:00	22	381	3	406	23	23	33	79	16	977	32	1,025	88	7	49	144	1,431	223	1,654	0.73		6:00-7:00
6:15-7:15	28	421	3	452	37	23	36	96	18	1,193	43	1,254	101	3	72	176	1,706	272	1,978	0.78		6:15-7:15
6:30-7:30	30	399	2	431	35	21	32	88	17	1,443	50	1,510	113	8	106	227	1,941	315	2,256	0.90		6:30-7:30
6:45-7:45	37	428	1	467	52	18	35	105	18	1,628	49	1,693	115	8	120	244	2,160	349	2,509	0.91		6:45-7:45
7:00-8:00	41	483	0	524	52	19	36	107	18	1,631	51	1,700	130	7	165	302	2,224	409	2,633	0.95		7:00-8:00
7:15-8:15	52	479	2	533	46	30	34	110	17	1,535	59	1,611	145	14	184	343	2,144	453	2,597	0.94		7:15-8:15
7:30-8:30	65	506	2	573	47	28	34	109	14	1,426	63	1,503	147	15	191	353	2,076	462	2,538	0.92		7:30-8:30
7:45-8:45	70	523	7	600	39	30	39	108	18	1,338	68	1,424	139	14	181	334	2,024	442	2,466	0.89		7:45-8:45
8:00-9:00	74	510	7	591	32	36	35	103	14	1,343	79	1,436	134	15	148	297	2,027	400	2,427	0.83		8:00-9:00
AM Peak 7:00-8:00	41	483	0	524	52	19	36	107	18	1,631	51	1,700	130	7	165	302	2,224	409	2,633	0.95		AM Peak 7:00-8:00
PM																						
4:00-4:15	73	200	5	278	4	7	4	15	5	211	41	267	62	7	25	94	535	109	644			4:00-4:15
4:15-4:30	89	237	3	329	2	5	2	9	12	216	46	274	54	7	29	90	603	99	702			4:15-4:30
4:30-4:45	118	277	2	397	3	6	3	12	10	210	52	272	39	9	35	83	609	95	764			4:30-4:45
4:45-5:00	93	206	13	312	1	11	4	18	12	237	48	297	58	10	34	102	609	118	727			4:45-5:00
5:00-5:15	109	214	12	335	2	8	2	12	14	228	48	290	45	7	30	82	625	94	719			5:00-5:15
5:15-5:30	82	145	4	231	0	18	2	20	22	253	48	323	38	10	39	88	554	108	662			5:15-5:30
5:30-5:45	124	225	10	359	3	6	3	12	15	244	51	310	39	13	31	83	669	95	784			5:30-5:45
5:45-6:00	125	203	3	331	1	11	6	17	11	186	52	249	36	6	21	83	580	80	660			5:45-6:00
6:00-6:15	94	176	7	277	3	8	8	19	17	235	52	304	61	12	37	100	581	119	700			6:00-6:15
6:15-6:30	118	239	3	360	3	12	9	24	10	211	43	264	53	17	28	96	624	120	744			6:15-6:30
6:30-6:45	76	221	6	303	4	10	11	25	7	226	35	288	41	2	23	66	571	91	662			6:30-6:45
6:45-7:00	92	228	4	324	3	7	5	15	12	230	42	284	57	11	22	90	608	105	713			6:45-7:00
3 Hour Totals	1,193	2,571	72	3,836	29	109	68	186	147	2,687	558	3,352	574	111	352	1,037	7,228	1,233	8,481			
1 Hour Totals																						
4:00-5:00	373	820	23	1,316	10	29	13	52	39	874	187	1,100	213	33	123	389	2,416	421	2,837	0.93		4:00-5:00
4:15-5:15	409	934	30	1,373	8	30	11	49	48	891	194	1,133	196	33	128	357	2,506	406	2,912	0.95		4:15-5:15
4:30-5:30	402	842	31	1,275	6	43	11	60	58	928	196	1,182	181	36	138	355	2,457	415	2,872	0.94		4:30-5:30
4:45-5:45	408	790	39	1,237	6	43	11	60	63	962	195	1,220	181	40	134	355	2,457	415	2,872	0.94		4:45-5:45
5:00-6:00	440	787	20	1,266	6	43	12	61	62	911	199	1,172	159	38	121	316	2,428	377	2,805	0.92		5:00-6:00
5:15-6:15	425	749	24	1,198	7	43	18	68	65	918	203	1,186	165	41	128	334	2,384	402	2,786	0.91		5:15-6:15
5:30-6:30	461	843	23	1,327	10	37	25	72	53	876	188	1,127	179	48	115	342	2,464	414	2,868	0.94		5:30-6:30
5:45-6:45	413	839	19	1,271	11	41	33	85	45	858	182	1,085	181	37	107	325	2,358	410	2,766	0.93		5:45-6:45
6:00-7:00	380	864	20	1,264	13	37	33	83	46	902	172	1,120	202	42	108	352	2,384	435	2,819	0.95		6:00-7:00
PM Peak 4:15-5:15	409	934	30	1,373	8	30	11	49	48	891	194	1,133	196	33	128	357	2,506	406	2,912	0.95		PM Peak 4:15-5:15

Wells & Associates, LLC

McLean, Virginia

Existing Traffic Count

PROJECT: BJ's Alexandria
W & A JOB NO.: 1911
INTERSECTION: Walker St.&Stevenson Ave.
LOCATION: Alexandria,VA

DATE: 12/19/2002
DAY: Thursday
WEATHER: cold
COUNTED BY: Angela & Sherrie
INPUTED BY: again

SOUTHBOUND ROAD: Walker Street
NORTHBOUND ROAD: Stevenson Avenue
WESTBOUND ROAD: Stevenson Avenue
EASTBOUND ROAD: Stevenson Avenue

INPUTED BY: agan																					
Time Period	Turning Movements																North & South	East & West	Total	PHF	Time Period
	Southbound Walker Street				Westbound Stevenson Avenue				Northbound 0				Eastbound Stevenson Avenue								
	1 Right	2 Thru	3 Left	Total	4 Right	5 Thru	6 Left	Total	7 Right	8 Thru	9 Left	Total	10 Right	11 Thru	12 Left	Total					
AM																					
6:00-6:15	21	0	18	39	12	4	0	16	0	0	0	0	0	8	87	95	39	111	150	6:00-6:15	
6:15-6:30	30	0	19	49	17	5	0	22	0	0	0	0	0	13	96	109	49	131	180	6:15-6:30	
6:30-6:45	24	0	24	48	21	10	0	31	0	0	0	0	0	26	97	123	48	154	202	6:30-6:45	
6:45-7:00	44	0	25	69	19	10	0	29	0	0	0	0	0	23	130	153	69	182	251	6:45-7:00	
7:00-7:15	39	0	28	67	27	6	0	33	0	0	0	0	0	30	129	159	67	192	259	7:00-7:15	
7:15-7:30	39	0	39	78	29	13	0	42	0	0	0	0	0	41	140	181	78	223	301	7:15-7:30	
7:30-7:45	52	0	29	81	18	9	0	27	0	0	0	0	0	62	153	215	81	242	323	7:30-7:45	
7:45-8:00	65	0	48	113	22	20	0	42	0	0	0	0	0	74	167	241	113	283	396	7:45-8:00	
8:00-8:15	61	0	50	111	29	21	0	50	0	0	0	0	0	49	144	193	111	243	354	8:00-8:15	
8:15-8:30	60	0	47	107	34	22	0	56	0	0	0	0	0	58	161	219	107	275	382	8:15-8:30	
8:30-8:45	88	0	30	96	22	24	0	46	0	0	0	0	0	48	148	196	96	242	338	8:30-8:45	
8:45-9:00	72	0	42	114	46	27	0	73	0	0	0	0	0	41	159	200	114	273	387	8:45-9:00	
3 Hour Totals	573	0	399	972	296	171	0	467	0	0	0	0	0	473	1,611	2,084	972	2,551	3,523		
1 Hour Totals																					
6:00-7:00	119	0	86	205	69	29	0	98	0	0	0	0	0	70	410	480	205	578	783	0.78	6:00-7:00
6:15-7:15	137	0	96	233	84	31	0	115	0	0	0	0	0	92	452	544	233	659	892	0.86	6:15-7:15
6:30-7:30	146	0	116	262	98	38	0	135	0	0	0	0	0	120	496	616	282	751	1,013	0.84	6:30-7:30
6:45-7:45	174	0	121	295	93	38	0	131	0	0	0	0	0	156	552	708	295	839	1,134	0.88	6:45-7:45
7:00-8:00	195	0	144	339	96	46	0	144	0	0	0	0	0	207	589	796	339	940	1,279	0.81	7:00-8:00
7:15-8:15	217	0	166	383	98	63	0	161	0	0	0	0	0	228	604	830	383	981	1,374	0.87	7:15-8:15
7:30-8:30	238	0	174	412	103	72	0	175	0	0	0	0	0	243	625	888	412	1,043	1,455	0.92	7:30-8:30
7:45-8:45	252	0	175	427	107	87	0	194	0	0	0	0	0	229	620	849	427	1,043	1,470	0.93	7:45-8:45
8:00-9:00	259	0	189	428	131	94	0	225	0	0	0	0	0	196	612	808	428	1,033	1,461	0.94	8:00-9:00
AM Peak 7:45-8:45	252	0	175	427	107	87	0	194	0	0	0	0	0	229	620	849	427	1,043	1,470	0.93	AM Peak 7:45-8:45
PM																					
4:00-4:15	121	0	83	204	78	88	0	166	0	0	0	0	0	37	133	170	204	336	540		4:00-4:15
4:15-4:30	111	0	78	189	87	103	0	190	0	0	0	0	0	38	114	152	189	342	531		4:15-4:30
4:30-4:45	133	0	72	205	85	111	0	196	0	0	0	0	0	40	109	149	205	345	550		4:30-4:45
4:45-5:00	137	0	79	216	93	88	0	191	0	0	0	0	0	45	129	174	216	365	581		4:45-5:00
5:00-5:15	148	0	65	213	90	112	0	202	0	0	0	0	0	38	123	181	213	363	578		5:00-5:15
5:15-5:30	139	0	89	228	94	103	0	197	0	0	0	0	0	49	129	178	228	375	603		5:15-5:30
5:30-5:45	127	0	89	216	69	104	0	173	0	0	0	0	0	37	123	160	216	333	549		5:30-5:45
5:45-6:00	129	0	87	226	80	130	0	210	0	0	0	0	0	44	128	172	226	382	608		5:45-6:00
6:00-6:15	138	0	83	221	87	144	0	231	0	0	0	0	0	38	107	145	221	376	597		6:00-6:15
6:15-6:30	144	0	86	230	84	105	0	189	0	0	0	0	0	36	120	166	230	345	575		6:15-6:30
6:30-6:45	117	0	82	179	57	78	0	135	0	0	0	0	0	30	131	161	179	296	475		6:30-6:45
6:45-7:00	124	0	76	200	92	84	0	186	0	0	0	0	0	37	118	156	200	342	542		6:45-7:00
3 Hour Totals	1,568	0	959	2,527	996	1,270	0	2,266	0	0	0	0	0	489	1,465	1,934	2,527	4,200	6,727		
1 Hour Totals																					
4:00-5:00	502	0	312	814	343	400	0	743	0	0	0	0	0	160	485	645	814	1,388	2,202	0.95	4:00-5:00
4:15-5:15	529	0	294	823	355	424	0	779	0	0	0	0	0	161	475	636	823	1,415	2,238	0.96	4:15-5:15
4:30-5:30	567	0	305	862	362	424	0	786	0	0	0	0	0	172	490	662	862	1,448	2,310	0.98	4:30-5:30
4:45-5:45	551	0	322	873	346	417	0	763	0	0	0	0	0	189	504	673	873	1,436	2,309	0.96	4:45-5:45
5:00-6:00	543	0	340	883	333	449	0	782	0	0	0	0	0	168	503	671	883	1,453	2,338	0.96	5:00-6:00
5:15-6:15	533	0	358	891	330	481	0	811	0	0	0	0	0	168	487	655	891	1,466	2,357	0.97	5:15-6:15
5:30-6:30	538	0	355	893	320	483	0	803	0	0	0	0	0	155	478	633	893	1,436	2,329	0.96	5:30-6:30
5:45-6:45	528	0	328	856	308	457	0	765	0	0	0	0	0	148	486	634	856	1,399	2,256	0.93	5:45-6:45
6:00-7:00	523	0	307	830	320	421	0	741	0	0	0	0	0	141	477	618	830	1,359	2,189	0.92	6:00-7:00
PM Peak 5:15-6:15	533	0	358	891	330	481	0	811	0	0	0	0	0	168	487	655	891	1,466	2,357	0.97	PM Peak 5:15-6:15

Wells & Associates, LLC

McLean, Virginia

Existing Traffic Count

PROJECT: BJ's Alexandria
W & A JOB NO.: 1911
INTERSECTION: Access Driveway
LOCATION: Alexandria, VA

DATE: 12/19/2002
DAY: Thursday
WEATHER: cold
COUNTED BY: Muh.
INPUTED BY: again

SOUTHBOUND ROAD:
NORTHBOUND ROAD:
WESTBOUND ROAD: Access Road
EASTBOUND ROAD: Access Road

INPUTED BY: agan

Time Period	Turning Movements																North & South	East & West	Total	PHF	Time Period
	Southbound				Westbound Access Road				Northbound				Eastbound Access Road								
	1 Right	2 Thru	3 Left	Total	4 Right	5 Thru	6 Left	Total	7 Right	8 Thru	9 Left	Total	10 Right	11 Thru	12 Left	Total					
AM																					
6:00-6:15	0	0	0	0	0	0	0	0	0	0	0	0	0	2	0	2	0	2	0	2	6:00-6:15
6:15-6:30	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	1	0	1	0	1	6:15-6:30
6:30-6:45	0	0	0	0	0	0	0	0	0	0	0	0	0	4	0	4	0	4	0	4	6:30-6:45
6:45-7:00	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	1	0	1	0	1	6:45-7:00
7:00-7:15	0	0	0	0	0	0	0	0	0	0	0	0	0	3	0	3	0	3	0	3	7:00-7:15
7:15-7:30	0	0	0	0	0	0	0	0	0	0	0	0	0	5	0	5	0	5	0	5	7:15-7:30
7:30-7:45	0	0	0	0	0	0	0	0	0	0	0	0	0	11	0	11	0	11	0	11	7:30-7:45
7:45-8:00	0	0	0	0	0	1	0	1	0	0	0	0	0	4	0	4	0	4	0	5	7:45-8:00
8:00-8:15	0	0	0	0	0	0	0	0	0	0	0	0	0	4	0	4	0	4	0	4	8:00-8:15
8:15-8:30	0	0	0	0	0	1	0	1	0	0	0	0	0	8	0	8	0	8	0	9	8:15-8:30
8:30-8:45	0	0	0	0	0	0	0	0	0	0	0	0	0	6	0	6	0	6	0	6	8:30-8:45
8:45-9:00	0	0	0	0	0	0	0	0	0	0	0	0	0	9	0	9	0	9	0	9	8:45-9:00
3 Hour Totals	0	0	0	0	0	2	0	2	0	0	0	0	0	58	0	58	0	60		60	
1 Hour Totals																					
6:00-7:00	0	0	0	0	0	0	0	0	0	0	0	0	0	8	0	8	0	8	0	8	0.50 6:00-7:00
6:15-7:15	0	0	0	0	0	0	0	0	0	0	0	0	0	9	0	9	0	9	0	9	0.56 6:15-7:15
6:30-7:30	0	0	0	0	0	0	0	0	0	0	0	0	0	13	0	13	0	13	0	13	0.65 6:30-7:30
6:45-7:45	0	0	0	0	0	0	0	0	0	0	0	0	0	20	0	20	0	20	0	20	0.45 6:45-7:45
7:00-8:00	0	0	0	0	0	1	0	1	0	0	0	0	0	23	0	23	0	24	0	24	0.55 7:00-8:00
7:15-8:15	0	0	0	0	0	1	0	1	0	0	0	0	0	24	0	24	0	25	0	25	0.57 7:15-8:15
7:30-8:30	0	0	0	0	0	2	0	2	0	0	0	0	0	27	0	27	0	29	0	29	0.66 7:30-8:30
7:45-8:45	0	0	0	0	0	2	0	2	0	0	0	0	0	22	0	22	0	24	0	24	0.67 7:45-8:45
8:00-9:00	0	0	0	0	0	1	0	1	0	0	0	0	0	27	0	27	0	28	0	28	0.78 8:00-9:00
AM Peak 7:30-8:30	0	0	0	0	0	2	0	2	0	0	0	0	0	27	0	27	0	29		29	0.66 AM Peak 7:30-8:30
PM																					
4:00-4:15	0	0	0	0	0	1	0	1	0	0	0	0	0	11	0	11	0	12	0	12	4:00-4:15
4:15-4:30	0	0	0	0	0	2	0	2	0	0	0	0	0	15	0	15	0	17	0	17	4:15-4:30
4:30-4:45	0	0	0	0	0	0	0	0	0	0	0	0	0	12	0	12	0	12	0	12	4:30-4:45
4:45-5:00	0	0	0	0	0	0	0	0	0	0	0	0	0	13	0	13	0	13	0	13	4:45-5:00
5:00-5:15	0	0	0	0	0	1	0	1	0	0	0	0	0	23	0	23	0	24	0	24	5:00-5:15
5:15-5:30	0	0	0	0	0	0	0	0	0	0	0	0	0	15	0	15	0	15	0	15	5:15-5:30
5:30-5:45	0	0	0	0	0	2	0	2	0	0	0	0	0	10	0	10	0	12	0	12	5:30-5:45
5:45-6:00	0	0	0	0	0	0	0	0	0	0	0	0	0	19	0	19	0	19	0	19	5:45-6:00
6:00-6:15	0	0	0	0	0	1	0	1	0	0	0	0	0	12	0	12	0	13	0	13	6:00-6:15
6:15-6:30	0	0	0	0	0	3	0	3	0	0	0	0	0	15	0	15	0	18	0	18	6:15-6:30
6:30-6:45	0	0	0	0	0	1	0	1	0	0	0	0	0	17	0	17	0	18	0	18	6:30-6:45
6:45-7:00	0	0	0	0	0	0	0	0	0	0	0	0	0	11	0	11	0	11	0	11	6:45-7:00
3 Hour Totals	0	0	0	0	0	11	0	11	0	0	0	0	0	173	0	173	0	184		184	
1 Hour Totals																					
4:00-5:00	0	0	0	0	0	3	0	3	0	0	0	0	0	51	0	51	0	54	0	54	0.79 4:00-5:00
4:15-5:15	0	0	0	0	0	3	0	3	0	0	0	0	0	63	0	63	0	66	0	66	0.69 4:15-5:15
4:30-5:30	0	0	0	0	0	1	0	1	0	0	0	0	0	63	0	63	0	64	0	64	0.67 4:30-5:30
4:45-5:45	0	0	0	0	0	3	0	3	0	0	0	0	0	61	0	61	0	64	0	64	0.67 4:45-5:45
5:00-6:00	0	0	0	0	0	3	0	3	0	0	0	0	0	67	0	67	0	70	0	70	0.73 5:00-6:00
5:15-6:15	0	0	0	0	0	3	0	3	0	0	0	0	0	56	0	56	0	59	0	59	0.78 5:15-6:15
5:30-6:30	0	0	0	0	0	6	0	6	0	0	0	0	0	58	0	58	0	62	0	62	0.82 5:30-6:30
5:45-6:45	0	0	0	0	0	5	0	5	0	0	0	0	0	63	0	63	0	68	0	68	0.89 5:45-6:45
6:00-7:00	0	0	0	0	0	5	0	5	0	0	0	0	0	55	0	55	0	60	0	60	0.83 6:00-7:00
PM Peak 5:00-6:00	0	0	0	0	0	3	0	3	0	0	0	0	0	67	0	67	0	70		70	0.73 PM Peak 5:00-6:00

Wells & Associates, LLC

McLean, Virginia

Existing Traffic Count

PROJECT: BJ's Alexandria W & A JOB NO.: 1911 INTERSECTION: Duke St. & Walker St. LOCATION: Alexandria, VA				DATE: 12/19/2002 DAY: Thursday WEATHER: cold COUNTED BY: Stuarts, Bob & Gary INPUTED BY: ogan				SOUTHBOUND ROAD: NORTHBOUND ROAD: WESTBOUND ROAD: EASTBOUND ROAD:				Landmark Mall Entrance Walker Street Duke Street Duke Street									
Time Period	Turning Movements																Total	PHF	Time Period		
	Southbound Landmark Mall Entrance				Westbound Duke Street				Northbound Walker Street				Eastbound Duke Street							North & South	East & West
	1 Right	2 Thru	3 Left	Total	4 Right	5 Thru	6 Left	Total	7 Right	8 Thru	9 Left	Total	10 Right	11 Thru	12 Left	Total					
AM																					
6:00-6:15	2	0	0	2	0	153	9	182	8	0	85	93	37	158	0	195	95	357	462	6:00-6:15	
6:15-6:30	2	1	0	3	0	222	3	225	5	0	107	112	58	235	0	291	115	516	631	6:15-6:30	
6:30-6:45	4	0	0	4	0	262	8	270	11	0	117	128	43	217	0	260	132	530	662	6:30-6:45	
6:45-7:00	4	1	1	6	0	269	6	275	21	0	123	144	72	265	0	337	150	612	762	6:45-7:00	
7:00-7:15	8	1	0	10	0	228	5	233	28	0	119	147	53	273	0	326	157	659	716	7:00-7:15	
7:15-7:30	2	2	0	4	0	299	6	305	23	0	132	155	80	324	0	404	159	709	868	7:15-7:30	
7:30-7:45	7	0	1	8	0	388	17	405	40	0	149	189	73	352	0	425	197	830	1,027	7:30-7:45	
7:45-8:00	8	1	0	9	0	351	13	364	50	0	133	183	96	442	0	538	190	902	1,092	7:45-8:00	
8:00-8:15	5	1	1	7	0	422	16	438	38	0	160	198	91	434	0	525	205	963	1,188	8:00-8:15	
8:15-8:30	12	5	1	18	0	301	10	311	35	0	152	187	97	401	0	498	205	809	1,014	8:15-8:30	
8:30-8:45	12	1	5	18	0	317	14	331	38	0	140	178	90	322	0	418	196	749	945	8:30-8:45	
8:45-9:00	17	2	2	21	0	340	19	359	38	0	146	182	103	358	0	462	203	821	1,024	8:45-9:00	
3 Hour Totals	82	15	11	108	0	3,552	126	3,678	333	0	1,563	1,896	897	3,782	0	4,679	2,004	6,357	10,361		
1 Hour Totals																					
6:00-7:00	12	2	1	15	0	906	26	932	45	0	432	477	208	875	0	1,083	492	2,015	2,507	0.82 6:00-7:00	
6:15-7:15	19	3	1	23	0	961	22	1,003	85	0	466	531	224	890	0	1,214	554	2,217	2,771	0.91 6:15-7:15	
6:30-7:30	19	4	1	24	0	1,058	25	1,093	83	0	491	574	248	1,079	0	1,327	598	2,410	3,008	0.87 6:30-7:30	
6:45-7:45	22	4	2	28	0	1,184	34	1,218	112	0	523	635	278	1,214	0	1,492	663	2,710	3,373	0.82 6:45-7:45	
7:00-8:00	24	4	1	29	0	1,266	41	1,307	141	0	533	674	302	1,391	0	1,693	703	3,000	3,703	0.85 7:00-8:00	
7:15-8:15	20	4	2	26	0	1,460	52	1,512	151	0	574	725	340	1,552	0	1,892	751	3,404	4,155	0.89 7:15-8:15	
7:30-8:30	30	7	3	40	0	1,462	56	1,518	163	0	594	757	357	1,629	0	1,986	797	3,504	4,301	0.92 7:30-8:30	
7:45-8:45	35	8	7	50	0	1,391	53	1,444	161	0	585	746	380	1,599	0	1,979	796	3,423	4,219	0.89 7:45-8:45	
8:00-9:00	46	9	9	64	0	1,380	59	1,438	147	0	598	745	387	1,516	0	1,903	809	3,342	4,151	0.89 8:00-9:00	
AM Peak																					
7:30-8:30	30	7	3	40	0	1,462	56	1,518	163	0	594	757	357	1,629	0	1,986	797	3,504	4,301	0.92 AM Peak 7:30-8:30	
PM																					
4:00-4:15	83	32	38	153	0	446	28	474	28	0	157	185	188	446	0	632	338	1,106	1,444	4:00-4:15	
4:15-4:30	110	23	32	165	0	434	40	474	38	0	121	158	175	454	0	629	324	1,103	1,427	4:15-4:30	
4:30-4:45	102	14	23	139	0	405	36	441	48	0	152	200	182	458	0	640	339	1,081	1,420	4:30-4:45	
4:45-5:00	94	17	28	139	0	447	44	491	55	0	155	210	193	464	0	657	349	1,148	1,497	4:45-5:00	
5:00-5:15	116	22	31	169	0	424	35	459	60	0	169	229	189	451	0	640	397	1,099	1,496	5:00-5:15	
5:15-5:30	96	24	23	143	0	446	37	483	56	0	166	222	152	435	0	587	365	1,070	1,435	5:15-5:30	
5:30-5:45	109	20	22	151	0	483	43	506	46	0	161	207	167	432	0	599	358	1,105	1,463	5:30-5:45	
5:45-6:00	100	15	28	143	0	426	44	470	36	0	177	213	150	403	0	553	356	1,023	1,379	5:45-6:00	
6:00-6:15	101	18	28	147	0	423	40	463	38	0	152	190	175	390	0	565	337	1,028	1,365	6:00-6:15	
6:15-6:30	99	17	17	133	0	447	42	489	40	0	181	221	206	452	0	588	354	1,147	1,501	6:15-6:30	
6:30-6:45	109	18	37	165	0	403	40	443	42	0	130	172	149	417	0	566	337	1,009	1,346	6:30-6:45	
6:45-7:00	87	20	35	142	0	413	39	452	59	0	147	206	145	365	0	510	348	962	1,310	6:45-7:00	
3 Hour Totals	1,206	241	342	1,788	0	5,177	468	5,645	546	0	1,868	2,414	2,068	5,167	0	7,236	4,202	12,881	17,083		
1 Hour Totals																					
4:00-5:00	389	86	121	596	0	1,732	148	1,880	169	0	585	754	736	1,822	0	2,558	1,350	4,438	5,788	0.97 4:00-5:00	
4:15-5:15	421	76	114	611	0	1,710	155	1,865	201	0	597	798	739	1,827	0	2,560	1,409	4,431	5,840	0.98 4:15-5:15	
4:30-5:30	407	77	105	589	0	1,722	152	1,874	219	0	642	861	716	1,808	0	2,524	1,450	4,398	5,848	0.98 4:30-5:30	
4:45-5:45	414	83	104	601	0	1,780	159	1,939	217	0	651	868	701	1,782	0	2,483	1,469	4,422	5,891	0.98 4:45-5:45	
5:00-6:00	420	81	104	605	0	1,759	159	1,918	198	0	673	871	658	1,721	0	2,379	1,476	4,297	5,773	0.96 5:00-6:00	
5:15-6:15	406	77	101	584	0	1,758	164	1,922	176	0	656	832	644	1,660	0	2,304	1,416	4,226	5,642	0.96 5:15-6:15	
5:30-6:30	409	70	95	574	0	1,759	169	1,928	190	0	671	831	698	1,677	0	2,375	1,405	4,303	5,708	0.95 5:30-6:30	
5:45-6:45	409	69	110	588	0	1,699	166	1,865	158	0	640	796	680	1,662	0	2,342	1,384	4,207	5,591	0.93 5:45-6:45	
6:00-7:00	396	74	117	587	0	1,686	161	1,847	179	0	610	789	675	1,624	0	2,299	1,376	4,146	5,522	0.92 6:00-7:00	
PM Peak																					
4:45-5:45	414	83	104	601	0	1,780	159	1,939	217	0	651	868	701	1,782	0	2,483	1,469	4,422	5,891	0.98 PM Peak 4:45-5:45	

Appendix B

Existing Intersection Levels of Service,

HCS2000: Signalized Intersections Release 4.1c

Analyst: LHC
 Agency: Wells & Associates, LLC
 Date: 3/18/2003
 Period: 01ex2003am
 Project ID: BJ's Wholesale Club of Alexandria
 E/W St: Duke Street

Inter.: Duke/Walker
 Area Type: All other areas
 Jurisd: Fairfax County, VA
 Year : 2003
 N/S St: Walker Street

SIGNALIZED INTERSECTION SUMMARY

	Eastbound			Westbound			Northbound			Southbound		
	L	T	R	L	T	R	L	T	R	L	T	R
No. Lanes	0	4	1	1	3	0	2	0	1	1	1	2
LGConfig	T R			L T			L R			L LT R		
Volume	1629 357			56 1462			594 163			13 7 30		
Lane Width	12.0 12.0			12.0 12.0			12.0 12.0			12.0 12.0 12.0		
RTOR Vol	0						0			0		

Duration 0.25 Area Type: All other areas

		Signal Operations							
Phase Combination		1	2	3	4	5	6	7	8
EB	Left					NB Left	A		
	Thru		A			Thru			
	Right		A			Right	A		
	Peds					Peds			
WB	Left	A				SB Left	A		
	Thru	A	A			Thru	A		
	Right					Right	A		
	Peds					Peds			
NB	Right	A				EB Right	A		
SB	Right					WB Right			
Green		8.0	50.0				30.0	8.0	
Yellow		4.0	4.0				4.0	4.0	
All Red		2.0	2.0				2.0	2.0	

Cycle Length: 120.0 secs

Intersection Performance Summary

Appr/Lane	Lane Group	Adj Sat Flow Rate	Ratios		Lane Group		Approach	
Grp	Capacity	(s)	v/c	g/C	Delay LOS		Delay LOS	
Eastbound								
T	2825	6780	0.64	0.42	28.3	C	24.4	C
R	1134	1583	0.35	0.72	6.6	A		
Westbound								
L	118	1770	0.53	0.07	58.5	E		
T	2712	5085	0.60	0.53	19.6	B	21.0	C
Northbound								
L	858	3433	0.77	0.25	46.1	D	43.1	D
R	501	1583	0.36	0.32	32.1	C		
Southbound								
L	118	1770	0.03	0.07	52.4	D		
LT	124	1863	0.06	0.07	52.7	D	53.2	D
R	186	2787	0.18	0.07	53.4	D		

Intersection Delay = 26.8 (sec/veh) Intersection LOS = C

HCS2000: Signalized Intersections Release 4.1c

Analyst: LHC	Inter.: Duke/Walker
Agency: Wells & Associates, LLC	Area Type: All other areas
Date: 3/18/2003	Jurisd: Fairfax County, VA
Period: 01ex2003pm	Year : 2003
Project ID: BJ's Wholesale Club of Alexandria	
E/W St: Duke Street	N/S St: Walker Street

SIGNALIZED INTERSECTION SUMMARY

SIGNALIZED INTERSECTION SUMMARY													
	Eastbound			Westbound			Northbound			Southbound			
	L	T	R	L	T	R	L	T	R	L	T	R	
No. Lanes	0	4	1	1	3	0	2	0	1	1	1	2	
LGConfig		T	R		L	T		L	R		LT	R	
Volume		1782	701		159	1780		651	217		104	83	414
Lane Width		12.0	12.0		12.0	12.0		12.0	12.0		12.0	12.0	12.0
RTOR Vol			0						0				90

Duration	0.25	Area Type: All other areas
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Signal Operations

Phase Combination		1	2	3	4	5	6	7	8
EB	Left					Left	A		
	Thru		A			Thru			
	Right		A			Right	A		
	Peds					Peds			
WB	Left	A				SB	Left	A	
	Thru	A	A				Thru	A	
	Right						Right	A	
	Peds						Peds		
NB	Right	A				EB	Right	A	
SB	Right					WB	Right		
Green		10.0	35.0				27.0	24.0	
Yellow		4.0	4.0				4.0	4.0	
All Red		2.0	2.0				2.0	2.0	

Cycle Length: 120.0 secs

Intersection Performance Summary

Appr/ Lane Grp	Lane Group Capacity	Adj Sat Flow Rate (s)	Ratios		Lane Group		Approach	
			v/c	g/C	Delay	LOS	Delay	LOS
Eastbound								
T	2034	6780	0.97	0.30	55.7	E	48.3	D
R	910	1583	0.86	0.57	29.4	C		
Westbound								
L	162	1770	1.09	0.09	152.1	F		
T	2204	5085	0.90	0.43	36.9	D	46.4	D
Northbound								
L	801	3433	0.90	0.23	58.2	E	51.9	D
R	514	1583	0.47	0.32	32.9	C		
Southbound								
L	369	1770	0.31	0.21	40.7	D		
LT	308	1863	0.24	0.21	39.9	D	43.4	D
R	581	2787	0.62	0.21	45.2	D		
Intersection Delay = 47.8 (sec/veh) Intersection LOS = D								

HCS2000: Signalized Intersections Release 4.1c

Analyst: LHC	Inter.: Stevenson/Walker
Agency: Wells & Associates, LLC	Area Type: All other areas
Date: 3/18/2003	Jurisd: Fairfax County, VA
Period: 02ex2003am	Year : 2003
Project ID: BJ's Wholesale Club of Alexandria	
E/W St: Stevenson Avenue	N/S St: Walker Street

SIGNALIZED INTERSECTION SUMMARY

SIGNALIZED INTERSECTION SUMMARY												
	Eastbound			Westbound			Northbound			Southbound		
	L	T	R	L	T	R	L	T	R	L	T	R
No. Lanes	0	2	0	0	1	1	0	0	0	1	0	1
LGConfig	DefL	T			T	R				L		R
Volume	620	229		87	107					175		252
Lane Width	12.0	12.0		12.0	12.0					12.0		12.0
RTOR Vol					0						0	

Duration	0.25	Area Type: All other areas
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Signal Operations

Phase Combination		1	2	3	4	5	6	7	8
FB	Left	A	A			NB	Left		
	Thru	A	A				Thru		
	Right						Right		
	Peds						Peds		
WB	Left					SB	Left	A	
	Thru		A				Thru		
	Right		A				Right	A	
	Peds						Peds		
NB	Right					EB	Right		
SB	Right	A				WB	Right	A	
Green		15.0	62.0					25.0	
Yellow		4.0	4.0					4.0	
All Red		2.0	2.0					2.0	

Cycle Length: 120.0 secs

Intersection Performance Summary

Intersection Performance Summary								
Appr/ Lane Grp	Lane Group Capacity	Adj Sat Flow Rate (s)	Ratios		Lane Group		Approach	
			v/c	g/C	Delay	LOS	Delay	LOS
Eastbound								
Defl	910	1770	0.76	0.13	16.7	B		
T	1218	1863	0.21	0.70	6.4	A	13.9	B
Westbound								
T	978	1863	0.10	0.52	14.3	B	8.1	A
R	1240	1583	0.10	0.78	3.1	A		
Northbound								
Southbound								
L	384	1770	0.51	0.22	42.4	D		
							33.6	C
R	620	1583	0.45	0.39	27.5	C		
Intersection Delay = 18.9 (sec/veh) Intersection LOS = B								

HCS2000: Signalized Intersections Release 4.1c

Analyst: LHC
 Agency: Wells & Associates, LLC
 Date: 3/18/2003
 Period: 02ex2003pm
 Project ID: BJ's Wholesale Club of Alexandria
 E/W St: Stevenson Avenue

Inter.: Stevenson/Walker
 Area Type: All other areas
 Jurisd: Fairfax County, VA
 Year : 2003
 N/S St: Walker Street

SIGNALIZED INTERSECTION SUMMARY

	Eastbound			Westbound			Northbound			Southbound		
	L	T	R	L	T	R	L	T	R	L	T	R
No. Lanes	0	2	0	0	1	1	0	0	0	1	0	1
JGConfig	DefL	T			T	R				L		R
Volume	487	168		481	330					358		533
Lane Width	12.0	12.0		12.0	12.0					12.0		12.0
RTOR Vol					0						0	

Duration 0.25 Area Type: All other areas

		Signal Operations							
Phase Combination		1	2	3	4	5	6	7	8
EB Left		A	A			NB Left			
Thru		A	A			Thru			
Right						Right			
Peds						Peds			
WB Left						SB Left	A		
Thru			A			Thru			
Right			A			Right	A		
Peds						Peds			
NB Right						EB Right			
SB Right		A				WB Right	A		
Green		32.0	39.0				31.0		
Yellow		4.0	4.0				4.0		
All Red		2.0	2.0				2.0		

Cycle Length: 120.0 secs

Intersection Performance Summary

Intersection Performance Summary								
Appr/ Lane Grp	Lane Group Capacity	Adj Sat Flow Rate (s)	Ratios		Lane Group		Approach	
			v/c	g/C	Delay	LOS	Delay	LOS
Eastbound								
DefL	604	1770	0.90	0.28	43.6	D		
T	763	1863	0.25	0.65	8.9	A	34.7	C
Westbound								
T	621	1863	0.86	0.33	49.1	D	33.3	C
R	1016	1583	0.36	0.64	10.2	B		
Northbound								
Southbound								
L	472	1770	0.84	0.27	54.7	D		
							32.9	C
R	923	1583	0.64	0.58	18.2	B		
Intersection Delay = 33.5 (sec/veh) Intersection LOS = C								

HCS2000: Signalized Intersections Release 4.1c

Analyst: LHC
 Agency: Wells & Associates, LLC
 Date: 3/18/2003
 Period: 03ex2003am
 Project ID: BJ's Wholesale Club of Alexandria
 E/W St: Stevenson Avenue

Inter.: Stevenson/BJ Entrance
 Area Type: All other areas
 Jurisd: Fairfax County, VA
 Year : 2003
 N/S St: BJ Entrance

SIGNALIZED INTERSECTION SUMMARY

	Eastbound			Westbound			Northbound			Southbound		
	L	T	R	L	T	R	L	T	R	L	T	R
No. Lanes	1	2	0	1	2	0	0	1	1	1	1	0
LGConfig	L	TR		L	TR		LT	R		L	TR	
Volume	12	346	51	10	145	12	20	1	10	2	3	6
Lane Width	12.0	12.0		12.0	12.0		12.0	12.0		12.0	12.0	
RTOR Vol			0			0			0			0

Duration 0.25 Area Type: All other areas

Signal Operations

Phase Combination	1	2	3	4	5	6	7	8
EB Left	A	A			NE Left	A		
Thru		A			Thru	A		
Right		A			Right	A		
Peds					Peds			
WB Left	A	A			SB Left		A	
Thru		A			Thru		A	
Right		A			Right		A	
Peds					Peds			
NB Right	A				EB Right			
SB Right					WB Right			
Green	10.0	62.0			12.0	12.0		
Yellow	4.0	4.0			4.0	4.0		
All Red	2.0	2.0			2.0	2.0		

Cycle Length: 120.0 secs

Intersection Performance Summary

Appr/ Lane Grp	Lane Group Capacity	Adj Sat Flow Rate (s)	Ratios		Lane Group		Approach	
			v/c	g/C	Delay	LOS	Delay	LOS
Eastbound								
L	790	1770	0.02	0.66	7.2	A		
TR	1822	3471	0.24	0.52	15.6	B	15.3	B
Westbound								
L	621	1770	0.02	0.66	7.4	A		
TR	1837	3500	0.09	0.52	14.3	B	13.9	B
Northbound								
LT	193	1778	0.12	0.11	48.6	D	45.4	D
R	317	1583	0.03	0.20	38.7	D		
Southbound								
L	192	1770	0.01	0.11	47.8	D		
TR	181	1667	0.06	0.11	48.1	D	48.1	D

Intersection Delay = 17.0 (sec/veh) Intersection LOS = B

HCS2000: Signalized Intersections Release 4.1c

Analyst: LHC
 Agency: Wells & Associates, LLC
 Date: 3/18/2003
 Period: 03ex2003pm
 Project ID: BJ's Wholesale Club of Alexandria
 E/W St: Stevenson Avenue

Inter.: Stevenson/BJ Entrance
 Area Type: All other areas
 Jurisd: Fairfax County, VA
 Year : 2003
 N/S St: BJ Entrance

SIGNALIZED INTERSECTION SUMMARY

	Eastbound			Westbound			Northbound			Southbound		
	L	T	R	L	T	R	L	T	R	L	T	R
No. Lanes	1	2	0	1	2	0	0	1	1	1	1	0
LGConfig	L	TR		L	TR			LT	R	L	TR	
Volume	71	213	215	113	470	99	180	8	32	55	26	132
Lane Width	12.0	12.0		12.0	12.0			12.0	12.0	12.0	12.0	
RTOR Vol			0			0			0			0

Duration 0.25 Area Type: All other areas

Signal Operations

Phase Combination	1	2	3	4	5	6	7	8
EB Left	A	A			NB Left	A		
Thru		A			Thru	A		
Right		A			Right	A		
Peds					Peds			
WB Left		A	A		SB Left		A	
Thru			A		Thru		A	
Right			A		Right		A	
Peds					Peds			
NB Right		A			EB Right			
SB Right					WB Right			
Green		10.0	50.0			18.0	18.0	
Yellow		4.0	4.0			4.0	4.0	
All Red		2.0	2.0			2.0	2.0	

Cycle Length: 120.0 secs

Intersection Performance Summary

Appr/ Lane	Adj Sat	Ratios		Lane Group		Approach	
Lane Group	Flow Rate						
Grp Capacity	(s)	v/c	g/C	Delay	LOS	Delay	LOS
Eastbound							
L	420	1770	0.19	0.56	13.6	B	
TR	1391	3273	0.34	0.43	23.4	C	22.0 C
Westbound							
L	496	1770	0.25	0.56	13.5	B	
TR	1465	3447	0.43	0.43	24.5	C	22.7 C
Northbound							
LT	282	1778	0.74	0.16	58.2	E	54.7 D
R	396	1583	0.09	0.25	34.6	C	
Southbound							
L	280	1770	0.22	0.16	44.4	D	
TR	258	1629	0.68	0.16	54.8	D	52.2 D

Intersection Delay = 30.7 (sec/veh) Intersection LOS = C

HCS2000: Signalized Intersections Release 4.1c

Analyst: LHC Inter.: Stevenson/Van Dorn
 Agency: Wells & Associates, LLC Area Type: All other areas
 Date: 3/18/2003 Jurisd: Fairfax County, VA
 Period: 04ex2003am Year : 2003
 Project ID: BJ's Wholesale Club of Alexandria
 E/W St: Stevenson Avenue N/S St: Van Dorn Street

SIGNALIZED INTERSECTION SUMMARY

	Eastbound			Westbound			Northbound			Southbound		
	L	T	R	L	T	R	L	T	R	L	T	R
No. Lanes	0	1	1	0	1	1	1	2	1	1	2	0
LGConfig	LT R			LT R			L T R			L T		
Volume	165	7	130	36	19	52	51	1631	18	0	483	
Lane Width	12.0 12.0			12.0 12.0			12.0 12.0 12.0			12.0 12.0		
RTOR Vol	0			26			0					

Duration 0.25 Area Type: All other areas

Signal Operations

Phase Combination	1	2	3	4	5	6	7	8
EB Left	A				NB Left	A		
Thru	A				Thru	A		
Right	A				Right	A		
Peds					Peds			
WB Left	A				SB Left	A		
Thru	A				Thru	A		
Right	A				Right			
Peds					Peds			
NB Right					EB Right	A		
SB Right					WB Right	A		
Green	22.0				10.0 70.0			
Yellow	4.0				4.0 4.0			
All Red	2.0				2.0 2.0			

Cycle Length: 120.0 secs

Intersection Performance Summary

Appr/ Lane Grp	Lane Group Capacity	Adj Sat Flow Rate (s)	Ratios		Lane Group		Approach	
			v/c	g/C	Delay	LOS	Delay	LOS
Eastbound								
LT	227	1182	0.84	0.19	70.5	E	53.3	D
R	514	1583	0.28	0.32	30.4	C		
Westbound								
LT	168	875	0.36	0.19	43.5	D	38.5	D
R	514	1583	0.06	0.32	27.9	C		
Northbound								
L	162	1770	0.35	0.09	52.5	D		
T	2094	3539	0.87	0.59	24.6	C	25.3	C
R	937	1583	0.02	0.59	10.1	B		
Southbound								
L	162	1770	0.00	0.09	49.5	D		
T	2094	3539	0.26	0.59	11.9	B	11.9	B

Intersection Delay = 26.5 (sec/veh) Intersection LOS = C

HCS2000: Signalized Intersections Release 4.1c

Analyst: LHC
 Agency: Wells & Associates, LLC
 Date: 3/18/2003
 Period: 04ex2003pm
 Project ID: BJ's Wholesale Club of Alexandria
 E/W St: Stevenson Avenue

Inter.: Stevenson/Van Dorn
 Area Type: All other areas
 Jurisd: Fairfax County, VA
 Year : 2003
 N/S St: Van Dorn Street

SIGNALIZED INTERSECTION SUMMARY

	Eastbound			Westbound			Northbound			Southbound		
	L	T	R	L	T	R	L	T	R	L	T	R
No. Lanes	0	1	1	0	1	1	1	2	1	1	2	0
LGConfig	LT R			LT R			L	T	R	L	T	
Volume	128	33	196	11	30	8	194	891	48	30	934	
Lane Width	12.0 12.0			12.0 12.0			12.0	12.0	12.0	12.0	12.0	
RTOR Vol	0			4			0					

Duration 0.25 Area Type: All other areas

Signal Operations

Phase Combination	1	2	3	4	5	6	7	8
EB Left	A				NB Left	A		
Thru	A				Thru	A		
Right	A				Right	A		
Peds					Peds			
WB Left		A			SB Left	A		
Thru		A			Thru	A		
Right		A			Right			
Peds					Peds			
NB Right					EB Right	A		
SB Right					WB Right	A		
Green	18.0				20.0	64.0		
Yellow	4.0				4.0	4.0		
All Red	2.0				2.0	2.0		

Cycle Length: 120.0 secs

Intersection Performance Summary

Intersection Performance Summary								
Appr/ Lane Grp	Lane Group Capacity	Adj Sat Flow Rate (s)	Ratios v/c g/C		Lane Group Delay LOS		Approach Delay LOS	
Eastbound								
LT	211	1332	0.85	0.16	75.4	E	49.1	D
R	594	1583	0.37	0.38	27.6	C		
Westbound								
LT	197	1242	0.23	0.16	44.7	D	43.0	D
R	594	1583	0.01	0.38	23.5	C		
Northbound								
L	310	1770	0.70	0.17	53.2	D		
T	1917	3539	0.52	0.54	17.7	B	23.6	C
R	857	1583	0.06	0.54	13.1	B		
Southbound								
L	310	1770	0.11	0.17	41.8	D		
T	1917	3539	0.54	0.54	18.2	B	18.9	B

Intersection Delay = 25.8 (sec/veh) Intersection LOS = C

Appendix C

Future Intersection Levels of Service,
Without the Pad Site or Gasoline Pumps

HCS2000: Signalized Intersections Release 4.1c

Analyst: LHC
Agency: Wells & Associates, LLC
Date: 3/18/2003
Period: 01bg2008am
Project ID: BJ's Wholesale Club
E/W St: Duke Street

Inter.: Duke/Walker
Area Type: All other areas
Jurisd: Fairfax County, VA
Year : 2008
andria
N/S St: Walker Street

SIGNALIZED INTERSECTION SUMMARY

SIGNALIZED INTERSECTION SUMMARY												
	Eastbound			Westbound			Northbound			Southbound		
	L	T	R	L	T	R	L	T	R	L	T	R
No. Lanes	0	4	1	1	3	0	2	0	1	1	1	2
LGConfig		T	R		L	T			R	L	LT	R
Volume		1799	394	62	1614		656		180	3	8	33
Lane Width		12.0	12.0	12.0	12.0		12.0		12.0	12.0	12.0	12.0
RTOR Vol			0						0			0

Duration	0.25	Area Type: All other areas
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Signal Operations

Phase Combination				1	2	3	4		5	6	7	8
EB	Left							NB	Left	A		
	Thru				A				Thru			
	Right				A				Right	A		
	Peds								Peds			
WB	Left	A						SB	Left		A	
	Thru	A	A						Thru		A	
	Right								Right		A	
	Peds								Peds			
NB	Right	A						EB	Right	A		
SB	Right							WB	Right			
Green		8.0	50.0							30.0	8.0	
Yellow		4.0	4.0							4.0	4.0	
All Red		2.0	2.0							2.0	2.0	

Cycle Length: 120.0 secs

Intersection Performance Summary

Intersection Performance Summary								
Appr/ Lane Grp	Lane Group Capacity	Adj Sat Flow Rate (s)	Ratios v/c g/c		Lane Group Delay LOS		Approach Delay LOS	
Eastbound								
T	2882	6780	0.69	0.43	28.9	C	24.8	C
R	1148	1583	0.38	0.73	6.5	A		
Westbound								
L	133	1770	0.52	0.08	57.0	E		
T	2754	5085	0.65	0.54	20.0+	C	21.4	C
Northbound								
L	887	3433	0.82	0.26	48.2	D	44.5	D
R	528	1583	0.38	0.33	31.0	C		
Southbound								
L	133	1770	0.02	0.08	51.5	D		
LT	140	1863	0.06	0.08	51.8	D	52.3	D
R	209	2787	0.18	0.08	52.4	D		
Intersection Delay = 27.3 (sec/veh) Intersection LOS = C								

HCS2000: Signalized Intersections Release 4.1c

Analyst: LHC

Agency: Wells & Associates, LLC

Date: 3/18/2003

Period: 01bg2008pm

Project ID: BJ's Wholesale Club of Alexandria

E/W St: Duke Street

Inter.: Duke/Walker

Area Type: All other areas

Jurisd: Fairfax County, VA

Year : 2008

N/S St: Walker Street

SIGNALIZED INTERSECTION SUMMARY

SIGNALIZED INTERSECTION SUMMARY												
	Eastbound			Westbound			Northbound			Southbound		
	L	T	R	L	T	R	L	T	R	L	T	R
No. Lanes	0	4	1	1	3	0	2	0	1	1	1	2
LGConfig	T R			L T			L R			L LT R		
Volume	1967 774			176 1965			719 240			115 92 457		
Lane Width	12.0 12.0			12.0 12.0			12.0 12.0			12.0 12.0 12.0		
RTOR Vol	0						0			90		

Duration	0.25	Area Type: All other areas
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Signal Operations

Phase Combination		1	2	3	4	Signal Operations		5	6	7	8
EB	Left					NB	Left	A			
	Thru		A				Thru				
	Right		A				Right	A			
	Peds						Peds				
WB	Left	A				SB	Left		A		
	Thru	A	A				Thru		A		
	Right						Right		A		
	Peds						Peds				
NB	Right	A				EB	Right	A			
SB	Right					WB	Right				
Green		10.0	40.0					26.0	20.0		
Yellow		4.0	4.0					4.0	4.0		
All Red		2.0	2.0					2.0	2.0		
								Cycle Length: 120.0 secs			

Intersection Performance Summary.

Intersection Performance Summary								
Appr/ Lane Grp	Lane Group Capacity	Adj Sat Flow Rate (s)	Ratios		Lane Group		Approach	
			v/c	g/C	Delay	LOS	Delay	LOS
Eastbound								
T	2317	6780	0.94	0.34	47.2	D	42.5	D
R	963	1583	0.89	0.61	30.8	C		
Westbound								
L	162	1770	1.21	0.09	192.7	F		
T	2415	5085	0.90	0.47	34.3	C	47.3	D
Northbound								
L	772	3433	1.03	0.22	88.2	F	74.9	E
R	501	1583	0.53	0.32	34.8	C		
Southbound								
L	310	1770	0.41	0.17	44.9	D		
LT	326	1863	0.31	0.17	43.8	D	54.3	D
R	488	2787	0.84	0.17	59.9	E		
Intersection Delay = 50.0 (sec/veh) Intersection LOS = D								

HCS2000: Signalized Intersections Release 4.1c

Analyst: LHC	Inter.: Stevenson/Walker
Agency: Wells & Associates, LLC	Area Type: All other areas
Date: 3/18/2003	Jurisd: Fairfax County, VA
Period: 02bg2008am	Year : 2008
Project ID: BJ's Wholesale Club of Alexandria	
E/W St: Stevenson Avenue	N/S St: Walker Street

SIGNALIZED INTERSECTION SUMMARY

	SIGNALIZED INTERSECTION SUMMARY								
	Eastbound			Westbound			Northbound		
	L	T	R	L	T	R	L	T	R
No. Lanes	0	2	0	0	1	1	0	0	0
LGConfig	DefL	T			T	R		L	R
Volume	685	253		96	118			193	278
Lane Width	12.0	12.0		12.0	12.0			12.0	12.0
RTOR Vol				0					0

Duration	0.25	Area Type: All other areas
----------	------	----------------------------

Signal Operations

Phase Combination		1	2	3	4	Signal Operations				5	6	7	8
EB	Left	A	A			NB	Left						
	Thru	A	A				Thru						
	Right						Right						
	Peds						Peds						
WB	Left					SB	Left	A					
	Thru		A				Thru						
	Right		A				Right	A					
	Peds						Peds						
NB	Right					EB	Right						
SB	Right	A				WB	Right	A					
Green		15.0	62.0						25.0				
Yellow		4.0	4.0						4.0				
All Red		2.0	2.0						2.0				

Cycle Length: 120.0 secs

Intersection Performance Summary

Intersection Performance Summary								
Appr/ Lane Grp	Lane Group Capacity	Adj Sat Flow Rate (s)	Ratios		Lane Group		Approach	
			v/c	g/C	Delay LOS		Delay LOS	
Eastbound								
DefL	899	1770	0.85	0.13	23.3	C		
T	1212	1863	0.23	0.70	6.5	A	18.8	B
Westbound								
T	978	1863	0.11	0.52	14.4	B	8.2	A
R	1240	1583	0.11	0.78	3.1	A		
Northbound								
Southbound								
L	384	1770	0.56	0.22	43.7	D		
							34.5	C
R	620	1583	0.50	0.39	28.2	C		
Intersection Delay = 22.0 (sec/veh) Intersection LOS = C								

HCS2000: Signalized Intersections Release 4.1c

Analyst: LHC

Agency: Wells & Associates, LLC

Date: 3/18/2003

Period: 02bg2008pm

Project ID: BJ's Wholesale Club of Alexandria

E/W. St: Stevenson Avenue

Inter.: Stevenson/Walker

Area Type: All other areas

Jurisd: Fairfax County, VA

Year : 2008

andria

SIGNALIZED INTERSECTION SUMMARY.

	SIGNALIZED INTERSECTION SUMMARY											
	Eastbound			Westbound			Northbound			Southbound		
	L	T	R	L	T	R	L	T	R	L	T	R
No. Lanes	0	2	0	0	1	1	0	0	0	1	0	1
LGConfig	Defl T			T R						L		R
Volume	538	185		531	364					395		588
Lane Width	12.0	12.0		12.0	12.0					12.0		12.0
RTOR Vol					0						0	

Duration 0.25 Area Type: All other areas

Signal Operations

Phase Combination		1	2	3	4	5	6	7	8
EB	Left	A	A			NB	Left		
	Thru	A	A				Thru		
	Right						Right		
	Peds						Peds		
WB	Left					SB	Left	A	
	Thru		A				Thru		
	Right		A				Right	A	
	Peds						Peds		
NB	Right					EB	Right		
SB	Right	A				WB	Right	A	
Green		34.0	40.0					28.0	
Yellow		4.0	4.0					4.0	
All Red		2.0	2.0					2.0	

Cycle Length: 120.0 secs

Intersection Performance Summary

Intersection Performance Summary								
Appr/ Lane Grp	Lane Group Capacity	Adj Sat Flow Rate (s)	Ratios v/c g/C		Lane Group Delay LOS		Approach Delay LOS	
Eastbound								
DefL	621	1770	0.96	0.29	57.7	E		
T	780	1863	0.26	0.67	7.9	A	44.9	D
Westbound								
T	637	1863	0.93	0.34	57.7	E	39.0	D
R	989	1583	0.41	0.63	11.6	B		
Northbound								
Southbound								
L	428	1770	1.03	0.24	95.7	F	51.2	D
R	910	1583	0.72	0.57	21.2	C		
Intersection Delay = 45.2 (sec/veh) Intersection LOS = D								

HCS2000: Signalized Intersections Release 4.1c

Analyst: LHC
 Agency: Wells & Associates, LLC
 Date: 3/18/2003
 Period: 03bg2008am
 Project ID: BJ's Wholesale Club of Alexandria
 E/W St: Stevenson Avenue

Inter.: Stevenson/BJ Entrance
 Area Type: All other areas
 Jurisd: Fairfax County, VA
 Year : 2008
 N/S St: BJ Entrance

SIGNALIZED INTERSECTION SUMMARY

	Eastbound			Westbound			Northbound			Southbound		
	L	T	R	L	T	R	L	T	R	L	T	R
No. Lanes	1	2	0	1	2	0	0	1	1	1	1	0
LGConfig	L	TR		L	TR			LT	R	L	TR	
Volume	13	382	56	11	160	13	22	1	11	2	3	7
Lane Width	12.0	12.0		12.0	12.0			12.0	12.0	12.0	12.0	
RTOR Vol			0			0			0			0

Duration 0.25 Area Type: All other areas

		Signal Operations							
Phase Combination		1	2	3	4	5	6	7	8
EB	Left	A	A			NB Left	A		
	Thru		A			Thru	A		
	Right		A			Right	A		
	Peds					Peds			
WB	Left	A				SB Left		A	
	Thru		A			Thru		A	
	Right		A			Right		A	
	Peds					Peds			
NB	Right	A				EB Right			
SB	Right					WB Right			
Green		10.0	62.0				12.0	12.0	
Yellow		4.0	4.0				4.0	4.0	
All Red		2.0	2.0				2.0	2.0	

Cycle Length: 120.0 secs

Intersection Performance Summary

Intersection Performance Summary								
Appr/ Lane Grp	Lane Group Capacity	Adj Sat Flow Rate (s)	Ratios		Lane Group		Approach	
			v/c	g/C	Delay	LOS	Delay	LOS
Eastbound								
L	779	1770	0.02	0.66	7.2	A		
TR	1822	3471	0.27	0.52	15.8	B	15.6	B
Westbound								
L	162	1770	0.07	0.09	50.0	D		
TR	1838	3501	0.10	0.52	14.3	B	16.4	B
Northbound								
LT	193	1777	0.13	0.11	48.7	D	45.5	D
R	317	1583	0.04	0.20	38.7	D		
Southbound								
L	192	1770	0.01	0.11	47.8	D		
TR	180	1660	0.06	0.11	48.2	D	48.1	D

Intersection Delay = 17.8 (sec/veh) Intersection LOS = B

HCS2000: Signalized Intersections Release 4.1c

Analyst: LHC
 Agency: Wells & Associates, LLC
 Date: 3/18/2003
 Period: 03bg2008pm
 Project ID: BJ's Wholesale Club of Alexandria
 E/W St: Stevenson Avenue

Inter.: Stevenson/BJ Entrance
 Area Type: All other areas
 Jurisd: Fairfax County, VA
 Year : 2008
 N/S St: BJ Entrance

SIGNALIZED INTERSECTION SUMMARY

	Eastbound			Westbound			Northbound			Southbound		
	L	T	R	L	T	R	L	T	R	L	T	R
No. Lanes	1	2	0	1	2	0	0	1	1	1	1	0
LGConfig	L	TR		L	TR		LT	R		L	TR	
Volume	78	235	237	125	519	109	199	9	35	161	29	146
Lane Width	12.0	12.0		12.0	12.0		12.0	12.0		12.0	12.0	
RTOR Vol			0			0			0			0

Duration 0.25 Area Type: All other areas

Signal Operations

Phase Combination		1	2	3	4	5	6	7	8
EB	Left		A			NB	Left	A	
	Thru		A				Thru	A	
	Right		A				Right	A	
	Peds						Peds		
WB	Left		A			SB	Left		A
	Thru		A				Thru		A
	Right		A				Right		A
	Peds						Peds		
NB	Right		A			EB	Right		
SB	Right					WB	Right		
Green		10.0	36.0				24.0	26.0	
Yellow		4.0	4.0				4.0	4.0	
All Red		2.0	2.0				2.0	2.0	

Cycle Length: 120.0 secs

Intersection Performance Summary

Appr/ Lane Grp	Lane Group Capacity	Adj Sat Flow Rate (s)	Ratios		Lane Group		Approach	
			v/c	g/C	Delay	LOS	Delay	LOS
Eastbound								
L	286	1770	0.30	0.44	22.4	C		
TR	1009	3273	0.52	0.31	34.7	C	32.9	C
Westbound								
L	354	1770	0.39	0.44	22.1	C		
TR	1063	3447	0.66	0.31	37.5	D	34.9	C
Northbound								
LT	370	1778	0.62	0.21	46.5	D	44.2	D
R	475	1583	0.08	0.30	30.2	C		
Southbound								
L	398	1770	0.17	0.22	37.7	D		
TR	367	1629	0.53	0.22	42.3	D	41.1	D

Intersection Delay - 36.4 (sec/veh) Intersection LOS = D

HCS2000: Signalized Intersections Release 4.1c

Analyst: LHC
 Agency: Wells & Associates, LLC
 Date: 3/18/2003
 Period: 04bg2008am
 Project ID: BJ's Wholesale Club of Alexandria
 E/W St: Stevenson Avenue

Inter.: Stevenson/Van Dorn
 Area Type: All other areas
 Jurisd: Fairfax County, VA
 Year : 2008
 N/S St: Van Dorn Street

SIGNALIZED INTERSECTION SUMMARY

	Eastbound			Westbound			Northbound			Southbound		
	L	T	R	L	T	R	L	T	R	L	T	R
No. Lanes	0	1	1	0	1	1	1	2	1	1	2	0
LGConfig		LT	R		LT	R	L	T	R	L	T	
Volume	182	8	144	40	21	57	56	1801	20	10	533	
Lane Width		12.0	12.0		12.0	12.0	12.0	12.0	12.0	12.0	12.0	
RTOR Vol			0			29			0			

Duration 0.25 Area Type: All other areas

Signal Operations

Phase Combination	1	2	3	4	5	6	7	8
EB Left	A				NB Left	A		
Thru	A				Thru		A	
Right	A				Right		A	
Peds					Peds			
WB Left	A				SB Left	A		
Thru	A				Thru		A	
Right	A				Right			
Peds					Peds			
NB Right					EB Right	A		
SB Right					WB Right	A		
Green	26.0				10.0	66.0		
Yellow	4.0				4.0	4.0		
All Red	2.0				2.0	2.0		

Cycle Length: 120.0 secs

Intersection Performance Summary

Appr/Lane	Lane Group	Adj Sat Flow Rate	Ratios		Lane Group		Approach	
Grp	Capacity	(s)	v/c	q/C	Delay	LOS	Delay	LOS
Eastbound								
LT	266	1182	0.79	0.22	59.0	E	45.5	D
R	567	1583	0.28	0.36	27.8	C		
Westbound								
LT	217	963	0.31	0.22	39.5	D	35.0+	D
R	567	1583	0.05	0.36	25.2	C		
Northbound								
L	162	1770	0.38	0.09	52.8	D		
T	1976	3539	1.01	0.56	49.9	D	49.6	D
R	884	1583	0.02	0.56	11.9	B		
Southbound								
L	162	1770	0.00	0.09	49.5	D		
T	1976	3539	0.30	0.56	14.1	B	14.1	B

Intersection Delay = 42.0 (sec/veh) Intersection LOS = D

HCS2000: Signalized Intersections Release 4.1c

Analyst: LHC
 Agency: Wells & Associates, LLC
 Date: 3/18/2003
 Period: 04bq2008pm
 Project ID: BJ's Wholesale Club of Alexandria
 E/W St: Stevenson Avenue

Inter.: Stevenson/Van Dorn
 Area Type: All other areas
 Jurisd: Fairfax County, VA
 Year : 2008
 N/S St: Van Dorn Street

SIGNALIZED INTERSECTION SUMMARY

	Eastbound			Westbound			Northbound			Southbound		
	L	T	R	L	T	R	L	T	R	L	T	R
No. Lanes	0	1	1	0	1	1	1	2	1	1	2	0
LGConfig		LT	R		LT	R	L	T	R	L	T	
Volume	141	36	216	12	33	9	214	984	53	33	1031	
Lane Width		12.0	12.0		12.0	12.0	12.0	12.0	12.0	12.0	12.0	
RTOR Vol			0			5			0			

Duration	0.25	Area Type: All other areas										
Signal Operations												
Phase Combination	1	2	3	4		5	6	7	8			
EB Left	A				NB Left	A						
Thru	A				Thru		A					
Right	A				Right		A					
Peds					Peds							
WB Left	A				SB Left	A						
Thru	A				Thru		A					
Right	A				Right							
Peds					Peds							
NB Right					EB Right	A						
SB Right					WB Right	A						
Green	23.0					22.0	57.0					
Yellow	4.0					4.0	4.0					
All Red	2.0					2.0	2.0					
Cycle Length: 120.0 secs												

Intersection Performance Summary

Appr/ Lane Grp	Lane Group Capacity	Adj Sat Flow Rate (s)	Ratios		Lane Group		Approach	
			v/c	g/C	Delay LOS		Delay LOS	
Eastbound								
LT	265	1325	0.74	0.20	55.9	E	37.8	D
R	686	1583	0.35	0.43	23.0	C		
Westbound								
LT	303	1514	0.17	0.20	40.0	D	38.4	D
R	686	1583	0.01	0.43	19.3	B		
Northbound								
L	339	1770	0.70	0.19	51.7	D		
T	1711	3539	0.64	0.48	24.0	C	28.4	C
R	765	1583	0.08	0.48	16.7	B		
Southbound								
L	339	1770	0.11	0.19	40.2	D		
T	1711	3539	0.67	0.48	24.7	C	25.2	C

Intersection Delay = 28.7 (sec/veh) Intersection LOS = C

Appendix D

Diverted Link Trip Assignments

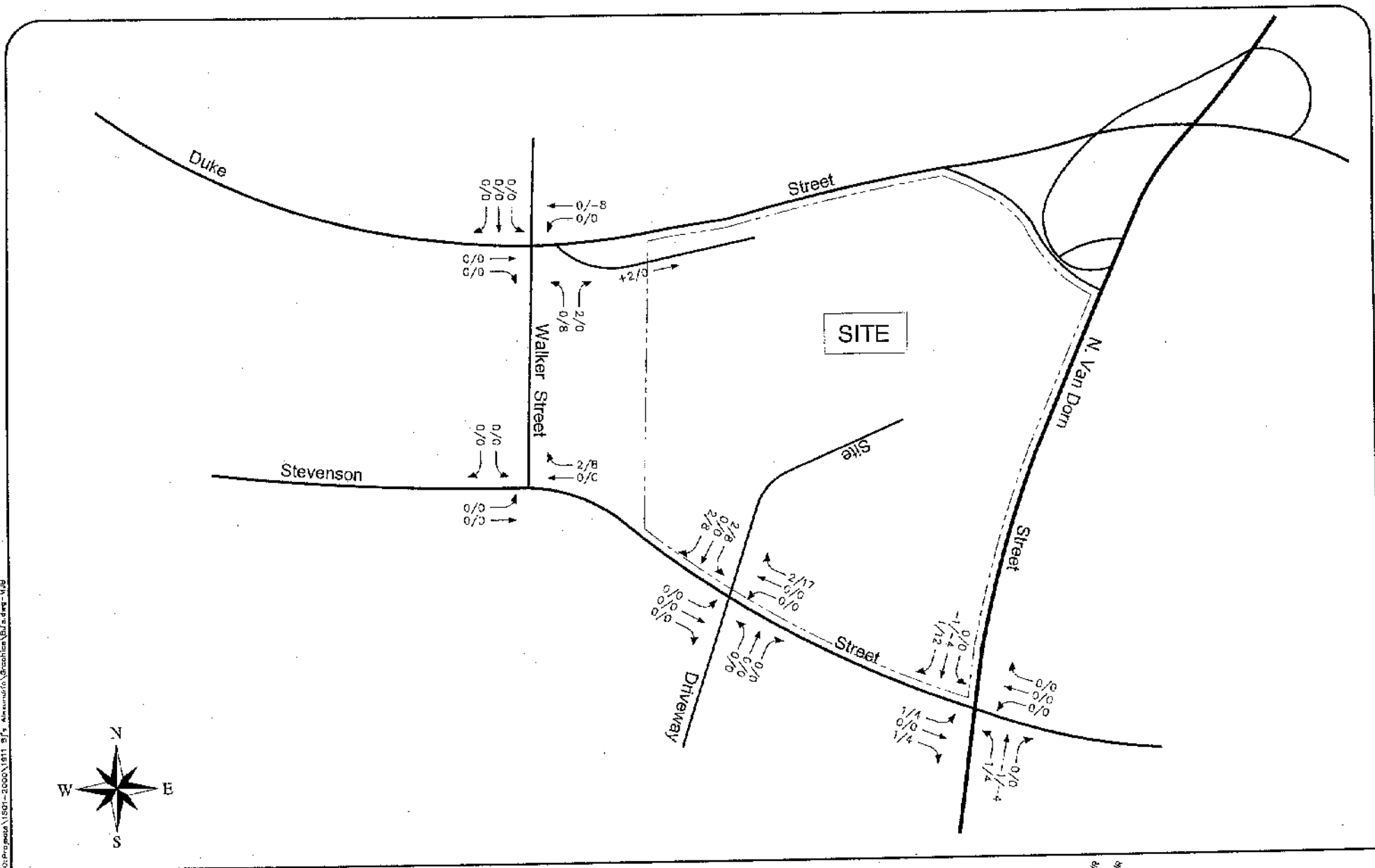


Figure D-1
Bank Diverted Link

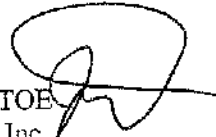
AM PEAK HOUR
PM PEAK HOUR
000/000

Appendix E

Gasoline Pumps Internal Trip Memorandum

MEMORANDUM

TO: Mr. Philip H. Woodyatt
BJ's Wholesale Club, Inc.
One Mercer Road
P.O. Box 9601
Natick, MA 01760-9601

FROM: Jeffrey S. Dirk, P.E., PTOE 
Vanasse & Associates, Inc.
10 New England Business Center Drive
Suite 314
Andover, MA 01810
(978) 474-8800

DATE: March 31, 2003

RE: 3549

SUBJECT: Proposed BJ's Gasoline Fueling Facility
Alexandria, Virginia

Vanasse & Associates, Inc. (VAI) is providing information relative to the traffic characteristics of BJ's gasoline fueling facilities in reference to the proposed addition of a gasoline fueling facility to the existing BJ's Wholesale Club located in Alexandria, Virginia. The proposed facility will be situated within the parking area of the existing BJ's Wholesale Club site. Access to the fueling facility will be provided by way of the existing driveways serving the site. Studies conducted by VAI at operating BJ's gasoline fueling facilities located in the northeast have indicated that the addition of gasoline service to existing BJ's Wholesale Club sites does not result in a significant increase in new traffic visiting the site or traveling along adjacent roadways over existing conditions. The majority of the customers patronizing BJ's gasoline fueling facilities are existing BJ's members that purchase gasoline in conjunction with a visit to the retail store. As such, the addition of gasoline service to the BJ's Wholesale Club site is not expected to significantly impact traffic operations or safety on the roadways serving the project site. The following summarizes our findings.

PROJECT DESCRIPTION

The proposed project will consist of the construction of a five-pump (ten vehicle fueling positions (vfps)) gasoline fueling facility to be situated within the parking area of the existing BJ's Wholesale Club site in Alexandria, Virginia. Access to the fueling facility will be provided by way of the existing driveways serving the BJ's Wholesale Club. The proposed fueling facility has been located within the site such that it will not have direct access from the adjacent roadway network.

BJ'S GASOLINE FUELING FACILITY TRAFFIC CHARACTERISTICS

Unlike traditional gasoline/service stations, the proposed facility will sell only gasoline, will not have service bays or automobile repair facilities, and does not have direct convenient access from a major roadway. In addition, the proposed fueling facility is designed primarily to serve existing BJ's members, with a per gallon discount provided to members only.

Gasoline service is proposed to be added to the existing BJ's Wholesale Club operation in order to provide an added benefit for members and as a means of increasing per member sales for the Club. Based on a gasoline customer survey program performed at the BJ's gasoline fueling facilities located in Portland, Maine; Waterford, Connecticut; Tilton, New Hampshire; Auburn, Maine; Chicopee, Massachusetts; and Coventry, Rhode Island; and studies performed at similar gasoline facilities for Price Costco, up to 94 percent of the vehicle trips associated with membership club gasoline facilities have

been identified to consist of dual-purpose trips. That is, they are not new trips to the area, but represent gasoline customers who also patronize the BJ's retail store. Further, these studies have consistently indicated that up to 99 percent of the customers purchasing gasoline at BJ's are BJ's members and that only 7 percent of the customers purchasing gasoline became members as a result of the ability to purchase gasoline at BJ's. Accordingly, the addition of gasoline service to existing BJ's Wholesale Club sites has not historically been found to result in a significant increase in traffic visiting the sites over existing conditions. In addition, as mentioned previously, the proposed fueling facility has been situated within the site such that it will not have direct access from the adjacent roadway network. This design serves to further reduce the number of new vehicles entering the site and make a trip to the fueling facility inconvenient unless the trip is combined with a visit to the BJ's Club.

SUMMARY

The addition of gasoline service to the existing BJ's Wholesale Club is not expected to significantly increase traffic volumes on the surrounding area roadways. The majority of the vehicles expected to utilize this facility (up to 94 percent) are vehicles already entering the BJ's site to purchase goods at the retail store. In addition, the proposed facility has been located within the site such that it will not have direct, convenient access from the adjacent roadway. This design serves to minimize the volume of new traffic entering the site and travelling on the adjacent roadway network as a result of the addition of the fueling facility. Accordingly, the proposed project is not expected to result in a significant increase in new traffic to the site or on the adjacent roadway network. Any increase in traffic over existing conditions is expected to be relatively minor in nature. As such, the addition of gasoline service to the BJ's Wholesale Club as currently proposed is not expected to significantly impact traffic operations or safety on the roadways serving the project site.

cc: E. Byrd
C. Kabatt, P.E. -- Wells & Associates, LLC
RDV, File

Appendix F

Future Intersection Levels of Service,
With the Pad Site or Gasoline Pumps

HCS2000: Signalized Intersections Release 4.1c

Analyst: LHC

Agency: Welis & Associates, LLC

Date: 3/18/2003

Period: 01t12008am

Project ID: BJ's Wholesale Club of Alexandria

E/W St: Duke Street

Inter.: Duke/Walker

Area Type: All other areas

Jurisd: Fairfax County, VA

Year : 2008

N/S St: Walker Street

SIGNALIZED INTERSECTION SUMMARY

SIGNALIZED INTERSECTION SUMMARY												
	Eastbound			Westbound			Northbound			Southbound		
	L	T	R	L	T	R	L	T	R	L	T	R
No. Lanes	0	4	1	1	3	0	2	0	1	1	1	2
LGConfig		T	R	L	T		L		R	L	LT	R
Volume		1811	409	62	1614		666		187	3	8	33
Lane Width		12.0	12.0	12.0	12.0		12.0		12.0	12.0	12.0	12.0
RTOR Vol			0						0			0

Duration	0.25	Area Type: All other areas
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Signal Operations

Phase Combination		1	2	3	4	5	6	7	8
EB	Left					NB Left	A		
	Thru		A			Thru			
	Right		A			Right	A		
	Peds					Peds			
WB	Left	A				SB Left		A	
	Thru	A	A			Thru		A	
	Right					Right		A	
	Peds					Peds			
NB	Right	A				EB Right	A		
SB	Right					WB Right			
Green		8.0	50.0				30.0	8.0	
Yellow		4.0	4.0				4.0	4.0	
All Red		2.0	2.0				2.0	2.0	

Cycle Length: 120.0 secs

Intersection Performance Summary

Intersection Performance								
Appr/ Lane Grp	Lane Group Capacity	Adj Sat Flow Rate (s)	Ratios		Lane Group		Approach	
			v/c	g/C	Delay	LOS	Delay	LOS
Eastbound								
T	2882	6780	0.70	0.43	29.0	C	24.8	C
R	1148	1583	0.40	0.73	6.6	A		
Westbound								
L	133	1770	0.52	0.08	57.0	E		
T	2754	5085	0.65	0.54	20.0+	C	21.4	C
Northbound								
L	887	3433	0.83	0.26	49.0	D	45.1	D
R	528	1583	0.39	0.33	31.2	C		
Southbound								
L	133	1770	0.02	0.08	51.5	D		
LT	140	1863	0.06	0.08	51.8	D	52.3	D
R	209	2787	0.18	0.08	52.4	D		
Intersection Delay = 27.5 (sec/veh) Intersection LOS = C								

HCS2000: Signalized Intersections Release 4.1c

Analyst: LHC	Inter.: Duke/Walker
Agency: Wells & Associates, LLC	Area Type: All other areas
Date: 3/18/2003	Jurisd: Fairfax County, VA
Period: 01tf2008pm	Year : 2008
Project ID: BJ's Wholesale Club of Alexandria	
E/W St: Duke Street	N/S St: Walker Street

SIGNALIZED INTERSECTION SUMMARY

SIGNALIZED INTERSECTION SUMMARY												
	Eastbound			Westbound			Northbound			Southbound		
	L	T	R	L	T	R	L	T	R	L	T	R
No. Lanes	0	4	1	1	3	0	2	0	1	1	1	2
LG Config	T R			L T			L R			T LT R		
Volume	1992	784		176	1957		752		248	116	92	457
Lane Width	12.0	12.0		12.0	12.0		12.0		12.0	12.0	12.0	12.0
RTOR Vol	0						0			90		

Duration	0.25	Area Type: All other areas
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Signal Operations

Phase Combination		1	2	3	4	Signal Operations		5	6	7	8
EB	Left					NB	Left	A			
	Thru		A				Thru				
	Right		A				Right	A			
	Peds						Peds				
WB	Left	A				SB	Left		A		
	Thru	A	A				Thru		A		
	Right						Right		A		
	Peds						Peds				
NB	Right	A				EB	Right	A			
SB	Right					WB	Right				
Green		10.0	40.0					26.0	20.0		
Yellow		4.0	4.0					4.0	4.0		
All Red		2.0	2.0					2.0	2.0		

Cycle Length: 120.0 secs

Intersection Performance Summary.

Intersection Performance Summary								
Appr/ Lane Grp	Lane Group Capacity	Adj Sat Flow Rate (s)	Ratios v/c g/C		Lane Group Delay LOS		Approach Delay LOS	
Eastbound								
T	2317	6780	0.96	0.34	48.8	D	44.1	D
R	963	1583	0.90	0.61	32.3	C		
Westbound								
L	162	1770	1.21	0.09	192.7	F		
T	2415	5085	0.90	0.47	34.0	C	47.1	D
Northbound								
L	772	3433	1.08	0.22	103.7	F	86.7	F
R	501	1583	0.55	0.32	35.2	D		
Southbound								
L	310	1770	0.42	0.17	45.0	D		
LT	326	1863	0.31	0.17	43.8	D	54.3	D
R	488	2787	0.84	0.17	59.9	E		
Intersection Delay = 52.6 (sec/veh) Intersection LOS = D								

HCS2000: Signalized Intersections Release 4.1c

Analyst: LHC
 Agency: Wells & Associates, LLC
 Date: 3/18/2003
 Period: 02tf2008am
 Project ID: BJ's Wholesale Club of Alexandria
 E/W St: Stevenson Avenue

Inter.: Stevenson/Walker
 Area Type: All other areas
 Jurisd: Fairfax County, VA
 Year : 2008
 N/S St: Walker Street

SIGNALIZED INTERSECTION SUMMARY

	Eastbound			Westbound			Northbound			Southbound		
	L	T	R	L	T	R	L	T	R	L	T	R
No. Lanes	0	2	0	0	1	1	0	0	0	1	0	1
LGConfig	DefL	T			T	R				L		R
Volume	685	267			109	135				209		278
Lane Width	12.0	12.0			12.0	12.0				12.0		12.0
RTOR Vol						0						0

Duration 0.25 Area Type: All other areas

		Signal Operations							
Phase Combination		1	2	3	4	5	6	7	8
EB	Left	A	A			NB	Left		
	Thru	A	A				Thru		
	Right						Right		
	Peds						Peds		
WB	Left					SB	Left	A	
	Thru		A				Thru		
	Right		A				Right	A	
	Peds						Peds		
NB	Right					EB	Right		
SB	Right	A				WB	Right	A	
Green		15.0	62.0					25.0	
Yellow		4.0	4.0					4.0	
All Red		2.0	2.0					2.0	

Cycle Length: 120.0 secs

Intersection Performance Summary

Intersection Performance Summary								
Appr/ Lane Grp	Lane Group Capacity	Adj Sat Flow Rate (s)	Ratios		Lane Group		Approach	
			v/c	g/C	Delay	LOS	Delay	LOS
Eastbound								
DefL	884	1770	0.86	0.13	25.1	C		
T	1203	1863	0.25	0.70	6.6	A	19.9	B
Westbound								
T	978	1863	0.12	0.52	14.5	B	8.2	A
R	1240	1583	0.12	0.78	3.2	A		
Northbound								
Southbound								
L	384	1770	0.60	0.22	45.1	D	35.4	D
R	620	1583	0.50	0.39	28.2	C		
Intersection Delay = 22.7 (sec/veh) Intersection LOS = C								

Intersection Delay = 22.7 (sec/veh) Intersection LOS = C

HCS2000: Signalized Intersections Release 4.1c

Analyst: LHC	Inter.: Stevenson/Walker
Agency: Wells & Associates, LLC	Area Type: All other areas
Date: 3/18/2003	Jurisd: Fairfax County, VA
Period: 02tf2008pm	Year : 2008
Project ID: BJ's Wholesale Club of Alexandria	
E/W St: Stevenson Avenue	N/S St: Walker Street

SIGNALIZED INTERSECTION SUMMARY

	Eastbound			Westbound			Northbound			Southbound		
	L	T	R	L	T	R	L	T	R	L	T	R
No. Lanes	0	2	0	0	1	1	0	0	0	1	0	1
LGConfig	Defl	T			T	R				L		R
Volume	538	224			578	405				405		588
Lane Width	12.0	12.0			12.0	12.0				12.0		12.0
RTOR Vol						0						0

Duration	0.25	Area Type: All other areas
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Signal Operations

Phase Combination		1	2	3	4	Signal Operations				5	6	7	8
EB	Left	A	A			NB	Left						
	Thru	A	A				Thru						
	Right						Right						
	Peds						Peds						
WB	Left					SB	Left	A					
	Thru		A				Thru						
	Right		A				Right	A					
	Peds						Peds						
NB	Right					EB	Right						
SB	Right	A				WB	Right	A					
Green		34.0	40.0						28.0				
Yellow		4.0	4.0						4.0				
All Red		2.0	2.0						2.0				

Cycle Length: 120.0 secs

Intersection Performance Summary

Intersection Performance Summary								
Appr/ Lane Grp	Lane Group Capacity	Adj Sat Flow Rate (s)	Ratios		Lane Group		Approach	
			v/c	g/C	Delay	LOS	Delay	LOS
Eastbound								
Defl	603	1770	0.99	0.29	67.7	E		
T	749	1863	0.33	0.67	8.4	A	50.2	D
Westbound								
T	637	1863	1.01	0.34	77.1	E	50.3	D
R	989	1583	0.46	0.63	12.1	B		
Northbound								
Southbound								
L	428	1770	1.05	0.24	103.1	F	54.6	D
R	910	1583	0.72	0.57	21.2	C		
Intersection Delay = 51.9 (sec/veh) Intersection LOS = D								

HCS2000: Signalized Intersections Release 4.1c

Analyst: LHC
 Agency: Wells & Associates, LLC
 Date: 3/18/2003
 Period: 03tf2008am
 Project ID: BJ's Wholesale Club of Alexandria
 E/W St: Stevenson Avenue

Inter.: Stevenson/BJ Entrance
 Area Type: All other areas
 Jurisd: Fairfax County, VA
 Year : 2008
 N/S St: BJ Entrance

SIGNALIZED INTERSECTION SUMMARY

	Eastbound			Westbound			Northbound			Southbound		
	L	T	R	L	T	R	L	T	R	L	T	R
No. Lanes	1	2	0	1	2	0	0	1	1	1	1	1
LGConfig	L	TR		L	TR			LT	R	L	TR	R
Volume	41	382	51	10	160	28	20	1	10	24	6	35
Lane Width	12.0	12.0		12.0	12.0			12.0	12.0	12.0	12.0	12.0
RTOR Vol			0			0			0			0

Duration 0.25 Area Type: All other areas

Signal Operations

Phase Combination	1	2	3	4	5	6	7	8
EB Left	A	A			NB Left	A		
Thru		A			Thru	A		
Right		A			Right	A		
Peds					Peds			
WB Left		A	A		SB Left		A	
Thru			A		Thru		A	
Right			A		Right		A	
Peds					Peds			
NB Right		A			EB Right			
SB Right					WB Right			
Green		10.0	62.0			12.0	12.0	
Yellow		4.0	4.0			4.0	4.0	
All Red		2.0	2.0			2.0	2.0	

Cycle Length: 120.0 secs

Intersection Performance Summary

Appr/ Lane Grp	Lane Group Capacity	Adj Sat Flow Rate (s)	Ratios		Lane Group		Approach	
			v/c	g/C	Delay LOS		Delay LOS	
Eastbound								
L	769	1770	0.06	0.66	7.3	A		
TR	1825	3476	0.26	0.52	15.8	B	15.1	B
Westbound								
L	597	1770	0.02	0.66	7.4	A		
TR	1816	3460	0.12	0.52	14.4	B	14.1	B
Northbound								
LT	193	1778	0.12	0.11	48.6	D	45.4	D
R	317	1583	0.03	0.20	38.7	D		
Southbound								
L	192	1770	0.14	0.11	48.8	D		
TR	202	1863	0.03	0.11	48.0	D	49.7	D
R	158	1583	0.25	0.10	50.6	D		

Intersection Delay = 19.0 (sec/veh) Intersection LOS = B

HCS2000: Signalized Intersections Release 4.1c

Analyst: LHC
 Agency: Wells & Associates, LLC
 Date: 3/18/2003
 Period: 03tf2008pm
 Project ID: BJ's Wholesale Club of Alexandria
 E/W St: Stevenson Avenue
 Inter.: Stevenson/BJ Entrance
 Area Type: All other areas
 Jurisd: Fairfax County, VA
 Year : 2008
 N/S St: BJ Entrance

SIGNALIZED INTERSECTION SUMMARY

	Eastbound			Westbound			Northbound			Southbound		
	L	T	R	L	T	R	L	T	R	L	T	R
No. Lanes	1	2	0	1	2	0	0	1	1	1	1	0
LGConfig	L	TR		L	TR		LT	R		L	TR	
Volume	120	235	215	113	519	171	180	8	32	106	33	220
Lane Width	12.0	12.0		12.0	12.0			12.0	12.0	12.0	12.0	
RTOR Vol			0			0			0			0

Duration 0.25 Area Type: All other areas

Signal Operations

Phase Combination	1	2	3	4	5	6	7	8
EB Left	A	A			NB Left	A		
Thru		A			Thru	A		
Right		A			Right	A		
Peds					Peds			
WB Left		A	A		SB Left		A	
Thru			A		Thru		A	
Right			A		Right		A	
Peds					Peds			
NB Right		A			EB Right			
SB Right					WB Right			
Green		10.0	36.0			24.0	26.0	
Yellow		4.0	4.0			4.0	4.0	
All Red		2.0	2.0			2.0	2.0	

Cycle Length: 120.0 secs

Intersection Performance Summary

Appr/ Lane Grp	Lane Group Capacity	Adj Sat Flow Rate (s)	Ratios		Lane Group		Approach	
			v/c	g/c	Delay	LOS	Delay	LOS
Eastbound								
L	263	1770	0.51	0.44	24.8	C		
TR	1013	3285	0.49	0.31	34.2	C	32.3	C
Westbound								
L	364	1770	0.35	0.44	21.7	C		
TR	1051	3408	0.73	0.31	39.7	D	37.1	D
Northbound								
LT	370	1778	0.56	0.21	44.6	D	42.5	D
R	475	1583	0.08	0.30	30.2	C		
Southbound								
L	398	1770	0.30	0.22	39.0	D		
TR	364	1620	0.77	0.22	53.5	D	49.2	D

Intersection Delay = 38.5 (sec/veh) Intersection LOS = D

HCS2000: Signalized Intersections Release 4.1c

Analyst: LHC

Agency: Wells & Associates, LLC

Date: 3/18/2003

Period: 04tf2008am

Project ID: BJ's Wholesale Club of Alexandria

E/W St: Stevenson Avenue

Inter.: Stevenson/Van Dorn

Area Type: All other areas

Jurisd: Fairfax County, VA

Year : 2008

N/S St: Van Dorn Street

SIGNALIZED INTERSECTION SUMMARY

	Eastbound			Westbound			Northbound			Southbound		
	L	T	R	L	T	R	L	T	R	L	T	R
No. Lanes	0	1	1	0	1	1	1	2	1	1	2	0
LGConfig	LT R			LT R			L T R			L T		
Volume	194	9	153	40	22	57	64	1800	20	0	532	
Lane Width	12.0 12.0			12.0 12.0			12.0	12.0	12.0	12.0	12.0	
RTOR Vol	0			29			0					

Duration 0.25

Area Type: All other areas

Signal Operations

Phase Combination	1	2	3	4	5	6	7	8
EB Left	A				NB Left	A		
Thru	A				Thru		A	
Right	A				Right		A	
Peds					Peds			
WB Left		A			SB Left	A		
Thru		A			Thru		A	
Right		A			Right			
Peds					Peds			
NB Right					EB Right	A		
SB Right					WB Right	A		
Green	26.0				10.0 66.0			
Yellow	4.0				4.0 4.0			
All Red	2.0				2.0 2.0			

Cycle Length: 120.0 secs

Intersection Performance Summary

Appr/	Lane	Adj Sat	Ratios		Lane Group		Approach	
Lane	Group	Flow Rate						
Grp	Capacity	(s)	v/c	g/c	Delay LOS		Delay LOS	
Eastbound								
LT	265	1178	0.85	0.22	67.2	E	50.4	D
R	567	1583	0.30	0.36	28.0	C		
Westbound								
LT	206	915	0.33	0.22	39.9	D	35.3	D
R	567	1583	0.05	0.36	25.2	C		
Northbound								
L	162	1770	0.44	0.09	53.5	D		
T	1976	3539	1.01	0.56	49.8	D	49.5	D
R	884	1583	0.02	0.56	11.9	B		
Southbound								
L	162	1770	0.00	0.09	49.5	D		
T	1976	3539	0.30	0.56	14.1	B	14.1	B

Intersection Delay = 42.6 (sec/veh) Intersection LOS = D

HCS2000: Signalized Intersections Release 4.1c

Analyst: LHC
 Agency: Wells & Associates, LLC
 Date: 3/18/2003
 Period: 04tf2008pm
 Project ID: BJ's Wholesale Club of Alexandria
 E/W St: Stevenson Avenue

Inter.: Stevenson/Van Dorn
 Area Type: All other areas
 Jurisd: Fairfax County, VA
 Year : 2008
 N/S St: Van Dorn Street

SIGNALIZED INTERSECTION SUMMARY

	Eastbound			Westbound			Northbound			Southbound		
	L	T	R	L	T	R	L	T	R	L	T	R
No. Lanes	0	1	1	0	1	1	1	2	1	1	2	0
LGConfig	LT R			LT R			L T R			L T		
Volume	160	39	245	12	34	9	235	980	53	33	1027	
Lane Width	12.0 12.0			12.0 12.0			12.0 12.0 12.0			12.0 12.0		
RTOR Vol	0			5			0					

Duration 0.25 Area Type: All other areas

Signal Operations

Phase Combination	1	2	3	4	5	6	7	8
EB Left	A				NB Left	A		
Thru	A				Thru		A	
Right	A				Right		A	
Peds					Peds			
WB Left		A			SB Left	A		
Thru		A			Thru		A	
Right		A			Right			
Peds					Peds			
NB Right					EB Right	A		
SB Right					WB Right	A		
Green		23.0				22.0	57.0	
Yellow		4.0				4.0	4.0	
All Red		2.0				2.0	2.0	

Cycle Length: 120.0 secs

Intersection Performance Summary

Intersection Performance Summary								
Appr/ Lane Grp	Lane Group Capacity	Adj Sat Flow Rate (s)	Ratios v/c g/c		Lane Group Delay LOS		Approach Delay LOS	
Eastbound								
LT	263	1315	0.84	0.20	67.1	E	43.1	D
R	686	1583	0.40	0.43	23.6	C		
Westbound								
LT	281	1407	0.18	0.20	40.2	D	38.6	D
R	686	1583	0.01	0.43	19.3	B		
Northbound								
L	339	1770	0.77	0.19	56.3	E		
T	1711	3539	0.64	0.48	23.9	C	29.6	C
R	765	1583	0.08	0.48	16.7	B		
Southbound								
L	339	1770	0.11	0.19	40.2	D		
T	1711	3539	0.67	0.48	24.6	C	25.1	C

Intersection Delay = 30.2 (sec/veh) Intersection LOS = C

PHONE-O-GRAM®

for:

CC

20+21

6-14-03

From John Lee Company _____
 City 6300 Stephenson Ave. Area Code _____ Phone _____

☒ Telephoned ☐ Please return the call ☐ Returned your call ☐ Will call again ☐ Came in ☐ See me

Message Called to voice his opposition to BJ's request. He's dealt with Landmark Towers Mobile for 12 yrs. & has always gotten excellent, full service there. BJ's can provide cheap gas, but no service, and ^{will} put the
 Date 6/9 Time 12:15 Taken by Mobile out of business

Action Wanted

Action Taken

PHONE-O-GRAM®

for:

CC

20+21

6-14-03

From Ruth Urquiola Company _____
 City _____ Area Code 703 Phone 361-4569

☒ Telephoned ☐ Please return the call ☐ Returned your call ☐ Will call again ☐ Came in ☐ See me

Message She is in support of B.J.'s Club getting less expensive gasoline to the Alexandria area.

Date 5/27 Time 2:45 Taken by Ky

Action Wanted

Action Taken

Phone Log
Opposed to Gas Station
at BJ's

20 & 21
6-14-03

1. John Lee
6300 Stevenson Ave.
2. Dave Buels
6300 Stevenson Ave.
3. Diane Turk
309 Yoakum Plany. #1405
4. June Sherwood
(did not want to leave address)
5. Mrs. Peggy Potts
6281 Chaucer Lane
22304
6. Mr. Kay Yousefi
6451 Edsall Rd.
22312
7. Mr. Druce Alvarez
101 S. Whiting St.



Paul Darby
<pdarby@comcast.net>

06/12/03 12:05 PM

To: <beverly.jett@ci.alexandria.va.us>
cc:

Subject: Support for BJ's Application

20th 21
6-14-03

At a time when gas prices are still sky high in Alexandria, because of the marketing gimmicks of the big oil companies, it is time to support a business that offers prices significantly less.

I'm a member of BJs and use their station in Richmond. During the height of the Iraqi war, I was paying \$1.42 to \$1.52 for 93 octane premium, while we were paying \$1.95 here in Alexandria.

It is time to tell big oil that we are not going to take it anymore!

We urge you to support the Planning Commission's recommendation for approval of the BJ application.

Sincerely,

Paul & Cheryl Darby

06-09-03

MAYOR DONLEY — $\frac{20+21}{6-14-03}$

1. NO BANK AT B.S. —
2. NO GAS STATION AT B.S. —

YVONNE M. DOVE

205 YODAKUM PARKWAY

ALEX, VA 22304

I VOTE + I DO NOT

WANT —

Yvonne
Dove

20521
6-14-03



<bethcreech@cavtel.net>

t>

06/07/03 03:01 PM

To: <beverly.jett@ci.alexandria.va.us>

cc:

Subject:

To whom this may concern,

I am currently a member of BJ's wholesale club. I think that it would be a wonderful opportunity if BJ's were able to have a gas pump available to members. This would help the Alexandria economy in 3 ways:

1-It would provide additional jobs.

2-It would prevent price gauging and force name-brand gas companies to lower prices

3-It would promote more members to BJ's.

I hope you vote in favor of BJ's and provide it's members and the city residents if they become members the chance to choice.

Thanks,

Beth Creech

20¹5 21

6-14-03



"Anita Stockman"
<Stockman_anita@msn.
com>

To: <beverly.jett@ci.alexandria.va.us>
cc:
Subject: Support BJ's Wholesale Club's Proposal

06/06/03 02:28 PM

<?xml:namespace prefix="v" /><?xml:namespace prefix="o" />
Alexandria City Council:

It would be a great to have affordable gas as well as the convenience of a gas station at BJ's Wholesale Club in Alexandria. I hope you will support favorably this proposal when the Alexandria City Council meets at the public hearing on June 14.

Anita Stockman
4113 Morin Street
Alexandria, VA 22312

20 § 21
6-14-03



maprilk
<maprilk@comcast.net
>

To: <beverly.jett@ci.alexandria.va.us>
cc:
Subject: B.J. Wholesale's Application

06/06/03 11:31 AM

TO: Mayor Kerry Donley, Vice Mayor Bill Cleveland, Mayor-Elect William Euille, Councilman David Speck, Councilwoman Claire Eberwein, Councilwoman Joyce Woodson, Councilwoman Del Pepper

I want to wholeheartedly support the B.J. Club's application to provide affordable gas service at their 101 S. Van Dorn St. location, and urge your positive approval at the June 14th Council meeting.

TIA

April Kennahan, 203 Yoakum Pkwy, Ste. 414, Alexandria, VA 22304



<DTDecker@aol.com>

05/20/03 09:44 AM

To: <beverly.jett@ci.alexandria.va.us>

CC:

Subject: Application of BJ's Wholesale Club

20 § 21
6-14-03

Dear Mr. Mayor and Members of Alexandria City Council:

I am writing to express my desire to see the application by BJ's Wholesale Club for the construction of a discount gasoline facility be approved.

My wife and I have been a members of the BJs club for several years and, speaking as customers, have found them to be an excellent company. Not only do they offer quality products at substantial savings, they also staff their store with respectful, service oriented employees, and respond quickly and effectively to customer issues/complaints. We shop there regularly and have never been dissatisfied with our experience.

To further emphasize this point, I'd like to point out that, prior to joining BJs, we were members of the Costco wholesale club, shopping mainly at their Pentagon City store. In sharp contrast to the ease and relative serenity of doing business at BJs, the Costco experience was always highly stressful; the parking and pedestrian system was a zoo, the store too small for its volume of business, and the staff generally cold and indifferent. Our decision to change to BJs was thus made without hesitation.

We are confident that BJs will do an excellent job of carefully planning and operating the proposed gasoline facility basing this opinion on the company's history in servicing and listening carefully to its customers. BJs is a wonderful asset to our community. We love shopping there and urge you to approve its current application.

Yours truly,

David Decker
Alexandria, VA

20 & 21
6-14-03



Jen
<jak239@yahoo.com>

To: <beverly.jett@ci.alexandria.va.us>

cc:

Subject: BJs gas application

06/05/03 09:31 PM

Please respond to

jak239

I support BJ's application to bring gas to Alexandria.
Please approve their application!

R/

Jennifer Kundrod

Do you Yahoo!?

Yahoo! Calendar - Free online calendar with sync to Outlook(TM).

<http://calendar.yahoo.com>

20:21
6-14-03



nitajones
<jones-braddock@erols
.com>

To: <beverly.jett@ci.alexandria.va.us>
cc:
Subject: BJ's Gas Application

06/14/03 08:28 AM

I wish to register my support for the distribution of Gasoline by BJs.

1. Gasoline is no more than another consumer product. As such, one must assume that competition is healthy.
2. The name brand gas stations in any given area do appear to have prices within one or two cents of each other. Do we perhaps have a subtle form of price fixing here. Lets open up the competition.
3. As noted in #1 above, we're dealing with consumer products here. I don't see that Shoppers Food Warehouse, Giant Food, and Safeway (all within a mile or so of BJs) are hurting. People shop for prices for some things. And are faithful to stores for others.
4. I may well still purchase gas from a small independent who kept prices reasonable during the last couple of years when other stations went sky high. This is called Loyalty. And we are loyal to those that are loyal to us. Many of the local gas stations have not been so.

Thank you.

--

Florence U. Jones

In Historic Alexandria

20121

6.14.03

PETITION

TO THE ALEXANDRIA CITY COUNCIL MEMBERS

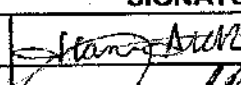
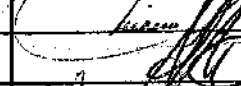
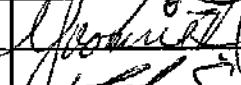
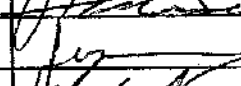
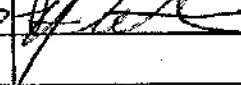
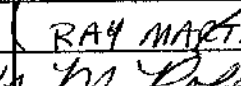
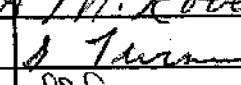
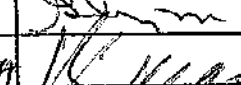
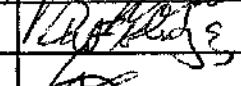
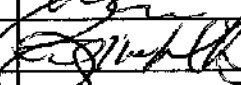
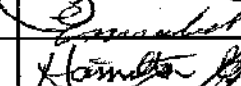

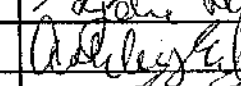


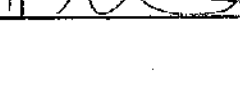

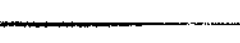
WE, THE UNDERSIGNED RESIDENTS OF THE CITY OF ALEXANDRIA, VIRGINIA, HEREBY
OPPOSE BJ'S WHOLESALE CLUBS PROPOSAL BEFORE THE CITY OF ALEXANDRIA
CITY COUNCIL TO INSTALL GASOLINE PUMPS AND A BANK AT THE STORE LOCATED
AT 101 SOUTH VAN DORN STREET.

| NAME | ADDRESS | SIGNATURE |
|------------------|--|-----------------|
| Melissa Maynor | 1134 Edsall Rd Alexandria, VA 22304 | Melissa Maynor |
| Ferus Soudan | 6274 EBBES RD Alexandria VA 22304 | Ferus Soudan |
| Amy R Lynch | 10145 Edsall Rd, Alexandria VA 22304 | Amy R Lynch |
| Mary | 6135 Edsall Rd, Alexandria, VA | Mary |
| Steve R. Boi's | 6300 Stevenson Ave Alexandria VA 22304 | Steve R. Boi's |
| Marisa Sanchez | 6300 Stevenson Ave Alex 22301 | Marisa Sanchez |
| Barbara Willett | 307 Yorkum Parkway #324 Alex 22304 | Barbara Willett |
| Madam | 307 Yorkum Parkway #324 Alex 22304 | Madam |
| VILARDO ROYSTER | 407 ASHFORD LANE ALEX 22304 | VILARDO ROYSTER |
| Barbara Lorman | 6137 F Edsall Rd, Alex, VA | Barbara Lorman |
| W. H. H. H. | 250 S. Whiting St | W. H. H. H. |
| Spennings | 322 S. Whiting St | Spennings |
| KWADWO A-MANU | 6174 Edsall Rd #68, Alex, 22304 | KWADWO A-MANU |
| Jamie Niedbalski | 6060 Tower Court Alex, VA 22304 | J. Niedbalski |
| THOMAS M. SHIRK | 5901 HIGH MEADOW RD ALEX 22310 | THOMAS M. SHIRK |
| CARL HAZARDSON | 6291 Chaucer view circle | CARL HAZARDSON |
| Daggie MRAWA | 250 South Whiting St. Apt. 921 | Daggie MRAWA |
| JOHN HAINES | 307 YORKUM PKY #1825 22304 | JOHN HAINES |
| WARREN HAINES | 307 YORKUM PKY #1825 22304 | WARREN HAINES |
| SHARON POWELL | 309 YORKUM PKY 22304 | SHARON POWELL |
| STEPHEN SMITH | 101 S WHITING ST 1205 22304 | STEPHEN SMITH |
| Jomo Tanker | 6060 Tower Ct 1807, Alex, VA 22304 | Jomo Tanker |
| WEST NATHAN | 6161 Edsall Rd Apt 608 Alex, VA 22304 | WEST NATHAN |
| Pat Jackson | 300 Yorkum Parkway Alex, VA 22304 | Pat Jackson |
| Wendy Burt | 300 Yorkum Parkway | Wendy Burt |

PETITION

TO THE ALEXANDRIA CITY COUNCIL MEMBERS

WE, THE UNDERSIGNED RESIDENTS OF THE CITY OF ALEXANDRIA, VIRGINIA, HEREBY OPPOSE BJ'S WHOLESALE CLUBS PROPOSAL BEFORE THE CITY OF ALEXANDRIA CITY COUNCIL TO INSTALL GASOLINE PUMPS AND A BANK AT THE STORE LOCATED AT 101 SOUTH VAN DORN STREET.

| NAME | ADDRESS | SIGNATURE |
|------------------|------------------------------------|---|
| Hani AKIL | 5911 Edsall Rd Alexand VA 22304 |  |
| MARIO ADAD | 6300 STEVENSON AVE. VA. 22304 |  |
| Hatekalesting | 200 Yorkum Pkwy #309 |  |
| William S. Lee | 6101 Edsall Rd #501 |  |
| John Silva | 307 Yorkum Pkwy #15 |  |
| John Silva | 307 Yorkum Pkwy #17 |  |
| A.T. Jeffries | 307 Yorkum Parkway 1218 |  |
| Ray Martin | 6200 STEVENSON AVE #1120 ALEX VA | RAY MARTIN |
| M. ROBERSON | 312 S. Whiting St. ALEX. VA | M. Roberson |
| S. Turner | 1011 Gibben St. | S. Turner |
| Charm Page | 225 S. Whiting St #603 |  |
| Mante Bente | 6301 Stevenson Ave Alex VA |  |
| W. K. Fayez | 6300 Stevenson Ave Alex. VA |  |
| John Park | 6120 Edsall Rd |  |
| Regina Terlan | 205 Yorkum Pkwy #1022 |  |
| EMERGET S. S. S. | 208 Stevenson Ave Alex VA |  |
| Hamilton Reese | 101 S. Whiting St. #1514 | Hamilton Reese |
| John Lee | 309 Yorkum Parkway #1512 |  |
| LIDIA HUSALI | 6247-D HAWK VIEW CT. ALEX VA 22312 |  |
| Ashley Eubanks | 6254 STEVENSON AVE 22304 |  |
| Robert P. Smith | 1300 STEVENSON AVE #707 22304 |  |
| Pathi Mitchell | 205 Yorkum Pkwy Alex 22304 |  |
| Gregory Smith | 250 S. Whiting Alexandria 22304 | |
| Michael Mills | 250 S. Whiting Alexandria 22304 | |

PETITION

TO THE ALEXANDRIA CITY COUNCIL MEMBERS

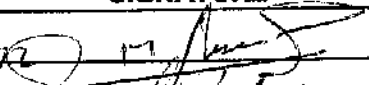
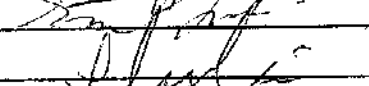
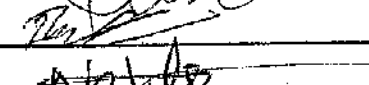
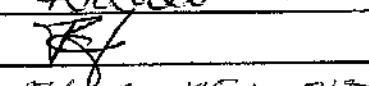

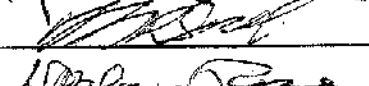
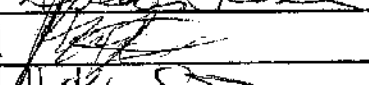

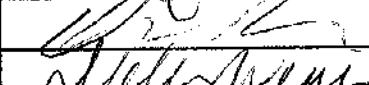
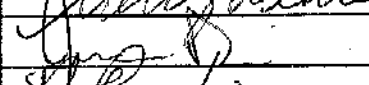
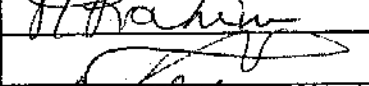
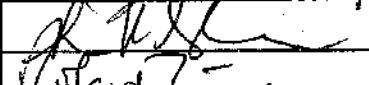

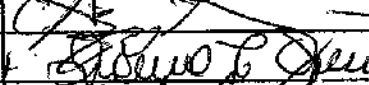
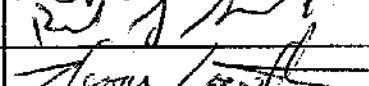
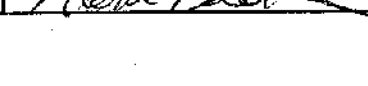


WE, THE UNDERSIGNED RESIDENTS OF THE CITY OF ALEXANDRIA, VIRGINIA, HEREBY OPPOSE BJ'S WHOLESALE CLUBS PROPOSAL BEFORE THE CITY OF ALEXANDRIA CITY COUNCIL TO INSTALL GASOLINE PUMPS AND A BANK AT THE STORE LOCATED AT 101 SOUTH VAN DORN STREET.

| NAME | ADDRESS | SIGNATURE |
|--------------------|------------------------------------|--------------------|
| Lawrence Kaganlian | 205 Yeakum Parkway - 207 | <i>[Signature]</i> |
| Timothy F. Fenn | 200 Yeakum Parkway 908 | <i>[Signature]</i> |
| C. Trowbridge | 307 Yeakum Pkwy #522 | <i>[Signature]</i> |
| M. Guerin | 6060 Tower Ct #1405 Alex | <i>[Signature]</i> |
| R. Lutz | 205 Yeakum Rly # 405 | <i>[Signature]</i> |
| Elina W. Cullor | 6168 Edsall Rd. #23 | <i>[Signature]</i> |
| Ruth Birchongpho | 80 S. Van Dorn St # E205 | <i>[Signature]</i> |
| W. Richardson | 203 Yeakum Pkwy #1610 | <i>[Signature]</i> |
| Michelle Hejl | 6301 Stevenson Ave | <i>[Signature]</i> |
| DAVE PETERSEN | 309 YEAKUM PKWY ALEX | <i>[Signature]</i> |
| VICTORIA ACUFF | 6153-B EDSELL RD. APT. 1A | <i>[Signature]</i> |
| RYAN POLLARD | 309 YEAKUM PKWY # 701 | <i>[Signature]</i> |
| Tim Foster | 6370 Brampton Ct | <i>[Signature]</i> |
| Tom Sangha | 336 S. WHITING ST. | <i>[Signature]</i> |
| S. Hindi | 101 S. Whiting St. | <i>[Signature]</i> |
| W. M. Murchison | 200 Yeakum Pkwy Alexandria | <i>[Signature]</i> |
| Hans Aiche | 6104 Edsall Rd Apt # 201 | <i>[Signature]</i> |
| Keta Cadeon | 250 S. Whiting St #903 | <i>[Signature]</i> |
| Vonis Whansal | 6300 Stevenson Ave 216 | <i>[Signature]</i> |
| Betty James | 298 S. Whiting St. 603 Alex, VA | <i>[Signature]</i> |
| Carol Botley | 2803 Old Dominion Blvd | <i>[Signature]</i> |
| Ferdous Akbar | 330 Whiting St B74 Alex | <i>[Signature]</i> |
| RAY SHIRLEY | 6168 Edsall Rd | <i>[Signature]</i> |
| HAMID POPAL | 101 S. WHITING STR. ALEX, VA 22301 | <i>[Signature]</i> |
| Gregory Davis | 6300 STEVENSON AVE 519 | <i>[Signature]</i> |

PETITION

TO THE ALEXANDRIA CITY COUNCIL MEMBERS

WE, THE UNDERSIGNED RESIDENTS OF THE CITY OF ALEXANDRIA, VIRGINIA, HEREBY OPPOSE BJ'S WHOLESALE CLUBS PROPOSAL BEFORE THE CITY OF ALEXANDRIA CITY COUNCIL TO INSTALL GASOLINE PUMPS AND A BANK AT THE STORE LOCATED AT 101 SOUTH VAN DORN STREET.

| NAME | ADDRESS | SIGNATURE |
|-----------------|---|---|
| Moussa Abdou | 5800 Quantal, Alex - VA 22312 |  |
| Ismail An | 250 S. Whiting St |  |
| Mehamed Mahdi | 250 S. Whiting St VA 22304 |  |
| Thamar Mohamed | 621 Steeles Rd VA 22304 |  |
| Nahla Hassan | 6178 Edsall Rd #86 22304 |  |
| Ramon - Giverez | 309 York Rd P.O. Box 1005 |  |
| ELSA - Redda | 200 Yorkum Parkway |  |
| Hilisha Foster | 203 Yorkum Pkwy #105 |  |
| Maxwell M | 250 S. Whiting St |  |
| D. Rose | 6101 Edsall Rd |  |
| SUGAT | 250 Yorkum Parkway Alex, Va |  |
| Nahla J | 6101 Edsall Rd #1004 Alex, VA |  |
| NOURELDIN A. N | 205 Yorkum Pkwy #1715 |  |
| Lisa Yoon | 250 S. Whiting St |  |
| Nolly Wenner | 4864 W. Braddock Rd #201 |  |
| Jerome Davis | 250 S. Whiting St |  |
| H. Rahman | 328 S. Whiting St #A 32 |  |
| M. Hassan Ahmad | 125 N. Ripley St Alexandria VA 22304 |  |
| Susan Borden | 203 Yorkum Pkwy Alex, Va | |
| Rolando ZER | 200 Yorkum Pkwy Alex, VA | |
| Terrell Terrell | 6052 Edsall Rd. Apt. 102 Alex, VA 22304 | |
| Charles Keiler | 300 Yorkum Pkwy #PH5 22304 | |
| Yvonne Quinones | 6060 Tower Court #802 Alex 22304 | |
| Bob Schuck | 6067 REX Rd #101 | |
| THOM LOWTHER | 5275 MORNING MIST LANE | |

PETITION

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| NAME | ADDRESS | SIGNATURE |
|------------------|-------------------------------------|-------------|
| T. Brink | 309 Yorkum #1810 | [Signature] |
| P. Miller | 6313 Manchester Way | [Signature] |
| Tahira Mustapha | 1st S. Whiting St. #203 | [Signature] |
| J. Rossi | 6161 Edsall Rd. #1601 | [Signature] |
| R. Maljeaux | 6300 Stevenson Ave Apt #708 | [Signature] |
| R. Fall | 6240 Edsall Rd #202 | [Signature] |
| D. G. | 300 Yorkum Pkwy #1106 | [Signature] |
| N. N. N. | 301 Yorkum Pkwy #115 | [Signature] |
| N. Johnson | 6154 Edsall Rd #1205 | [Signature] |
| S. Orellana | 422 S. Whiting St #203 | [Signature] |
| Madhar | 309 Yorkum Pkwy 611 Alexandria, VA | [Signature] |
| G. Zekirov | 6161 Edsall Rd. #1510 Alex VA 22304 | [Signature] |
| Kamal Emam | 6101 Edsall Road #1612 | [Signature] |
| JAKHI SULZAN | 6101 Edsall Rd. #1 | [Signature] |
| RELIG WILSON | 302 S. Whiting St. | [Signature] |
| MARIA Fuentetaja | 6300 Stevenson Ave | [Signature] |
| Birhan Habitu | 6272 Edsall Rd #311 | [Signature] |
| Hiram S. Alonso | 2005 S. Whiting St #820 | [Signature] |
| DAVID MARTIN | 7709 L HAYNES Point Way | [Signature] |
| FREDERICK OWEN | 320 S. Whiting St | [Signature] |
| Dorothy Davis | 200 Yorkum Pkwy | [Signature] |
| Robert W. Davis | 6304 - Raintree #2304 | [Signature] |
| Samir Aziz | 300 Yorkum Pkwy | [Signature] |
| Ahmed Osman | 200 Yorkum Pkwy #708 | [Signature] |
| John Carpenter | 643 Edsall Road Unit 0 | [Signature] |

PETITION

TO THE ALEXANDRIA CITY COUNCIL MEMBERS

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CITY COUNCIL TO INSTALL GASOLINE PUMPS AND A BANK AT THE STORE LOCATED
AT 101 SOUTH VAN DORN STREET.

| NAME | ADDRESS | SIGNATURE |
|---------------------|----------------------------------|---------------------|
| Noreen Dayland | 205 Yeakum Pkwy Alex | Noreen Dayland |
| Phyllis Decker | 309 Yeakum Pkwy Alex | Phyllis Decker |
| JOE Vecchio | 307 Yeakum Pkwy #1505 Alex | Joe Vecchio |
| CLYDE MAYHAN | 309 Yeakum Pkwy #115 Alex | Clyde Mayhan |
| DWEN CHAFFER | 203 Yeakum Pkwy #101 | Dwen Chaffer |
| Eve Hallyman | 6311 Chaucer Lane Alex. Va | Eve Hallyman |
| Sonia Warner | 411-5-VAN DORN #101 | Sonia Warner |
| Johna McEllyn | 309 Yeakum Pkwy 1016 | Johna McEllyn |
| J.E. McGILLYN | 309 Yeakum Pkwy 1016 | J.E. McGILLYN |
| T. Smith | 449 CLAYTON LA. Alex 22304 | T. Smith |
| Barbara Bon-Kan | 342 S. Whitins St Alex 22304 | Barbara Bon-Kan |
| Joe Castillo | 5584 First Statesman Ln Alex. | Joe Castillo |
| Dannell J. Gallaway | 467 N. Amistead St. Alex, VA | Dannell J. Gallaway |
| Hazel Debra | 6301 Stevenson Ave #108 Alex. VA | Hazel Debra |
| Kenneth McKee | 200 Yeakum Pkwy #410 Alex VA | Kenneth McKee |
| Therrie Burt | 6301 Stevenson Ave #16 Alex. | Therrie Burt |
| Melugato Isham | 431 S. Columbus St #409 | Melugato Isham |
| VETER DOWNS | 225 S. Whitins St Alex. VA | VETER DOWNS |
| V. Belachen | 5108 Duke Street Alexandria VA | V. Belachen |
| SCOTT D. FALE | 411 S. VAN DORN ST #303 | SCOTT D. FALE |
| Janice Gale | 411 S. VAN DORN ST #303 | Janice Gale |
| JANE TISHOME | 101 S. WHITING ST. #612 | JANE TISHOME |
| John Lee | 101 S. WHITING ST. #101 | John Lee |
| ROBERT HARRIS | 5491 Sheffield St #10 | ROBERT HARRIS |
| JOSE NORONHA | 301 Yeakum Pkwy #426 | JOSE NORONHA |

PETITION

TO THE ALEXANDRIA CITY COUNCIL MEMBERS

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| NAME | ADDRESS | SIGNATURE |
|-------------------|---------------------------------------|-------------------|
| Claretta E. Hayes | 424 S. Whiting St #103 Alexandria | Claretta E. Hayes |
| Y. D. Chiu | 307 Yorkum Pl #626 Alex. | Y. D. Chiu |
| Frank W. Wood | 6101 Edsall Rd #607 Alex | Frank W. Wood |
| June Sherman | 5717 Governors Pkwy CE Alex | June Sherman |
| Michelle Campbell | 254 S. Stevenson Sq Alex. | Michelle Campbell |
| Keesa Mason | 2505 Whiting St. Alex. | Keesa Mason |
| RAJ NAIR | 205 S. Whiting St Alex. | Raj Nair |
| Sadie Subaran | 503 S. Yorkum Pkwy Alex, Va | Sadie Subaran |
| Angela Bumble | 6010 Tower Ct #204 Alex. | Angela Bumble |
| SARA CANDIDA | 6301 STEVEN AVE Alex | Sara Candida |
| Christina Webster | 296 S. Whiting St #113 Alex | Christina Webster |
| Jose B. Mejia | 600 The Parkway Alex VA | Jose B. Mejia |
| Mary Beave | 307 Yorkum Pkwy Alex VA | Mary Beave |
| Chris Manley | 298 S. Whiting St Alex VA | Chris Manley |
| Shin Myong Kim | 200 Yorkum Pkwy # 112 Alex VA | Shin Myong Kim |
| Sam Ballard | 424 Stanton Place NW VA | Sam Ballard |
| B. BOWIE | 309 YOKUM PKWY | B. Bowie |
| A. Roane | 6148 Edsall Rd | A. Roane |
| M. YASUF | 205 Yorkum | M. Yasuf |
| G. Mahallim | 6350 Stevenson Ave Alexandria | G. Mahallim |
| T. FOLKEDELL | 6251 SPIT CREEK LN. | T. FolkeDELL |
| A. McElroy | 8534 Gwynedd way Springfield 22153 | A. McElroy |
| B. Al | 200 YOKUM PKWY # 1109, ALEX. VA 22304 | B. Al |
| J. Baker | 5275 Duke St #41 Alex VA 22304 | J. Baker |
| ARDEEN BOND | 101 S WHITING ST #1501 ALEX VA | ARDEEN BOND |

22324

Mobil
236 / B

PETITION

TO THE ALEXANDRIA CITY COUNCIL MEMBERS

WE, THE UNDERSIGNED RESIDENTS OF THE CITY OF ALEXANDRIA, VIRGINIA, HEREBY
OPPOSE BJ'S WHOLESALE CLUBS PROPOSAL BEFORE THE CITY OF ALEXANDRIA
CITY COUNCIL TO INSTALL GASOLINE PUMPS AND A BANK AT THE STORE LOCATED
AT 101 SOUTH VAN DORN STREET.

| NAME | ADDRESS | SIGNATURE |
|--------------------|---|-------------|
| Hussain | 6409 Kingsland DR | [Signature] |
| ABULHASSAN | 6332 WINGATE ST - 301 ALEX VA 22312 | [Signature] |
| B. S. SATHI | 9507 Chevy Chase Blvd | [Signature] |
| J. M. M. | 5651 Derby Ct #220 Alex, VA 22311 | [Signature] |
| Hussain | 6915 Mary Caroline Circle
Alex. VA 22310 | [Signature] |
| NATIA | 6035 RIDDLE WALK | [Signature] |
| ISAAC A | 6529 Hillman Ct | [Signature] |
| SAHIL | 6334 WINGATE ST #304 | [Signature] |
| Charlie | 5603 S. Quaker Lane | [Signature] |
| Sealedad | 5663 Derby Ct 202 | [Signature] |
| ABARA | 6304 WINGATE ST #303 | [Signature] |
| TO M | 3511 S 19th St | [Signature] |
| Zilma | 5430 WYCHWOOD CT | [Signature] |
| RASHIDI | 1402 FARAN PL ALEX VA 22312 | [Signature] |
| JARAL MAHUK | 3992 Briarway 22312 | [Signature] |
| MURSA | 6300 Little River Turn 22312 | [Signature] |
| NIAHU GUTZ | 6387 Little River Turnpike 22312 | [Signature] |
| ZAFAR IQBAL | 6360 PATIENCE CT ALEX 22315 | [Signature] |
| ADEE L H | 6425 KINGSLOW'S DR | [Signature] |
| SALMAN | 8929 S. LINDS AVE | [Signature] |
| Maura E. Chavarrin | 5542 N. Morgan St 22312 | [Signature] |
| W. CROWDER | 469 N. ARMISTEAD ST 22312 #1 | [Signature] |
| C. CHAMBERS | 468 N. ARMISTEAD ST 22312 #4 | [Signature] |

Duke mobil

PETITION

TO THE ALEXANDRIA CITY COUNCIL MEMBERS

WE, THE UNDERSIGNED RESIDENTS OF THE CITY OF ALEXANDRIA, VIRGINIA, HEREBY
OPPOSE BJ'S WHOLESALE CLUBS PROPOSAL BEFORE THE CITY OF ALEXANDRIA
CITY COUNCIL TO INSTALL GASOLINE PUMPS AND A BANK AT THE STORE LOCATED
AT 101 SOUTH VAN DORN STREET.

| NAME | ADDRESS | SIGNATURE |
|------------------|--------------------------------------|------------------|
| Teresa Gayle | 60 S. Van Dorn St #111 Alexandria VA | Teresa Gayle |
| Tawedaj Mola | 5855 Seminary Rd. Alexa. VA. | Tawedaj Mola |
| DEAN H. KORON | 5275 DUKE ST. Alex VA | Deane H. Koron |
| Peter Johnson | 121 N. Ripley St. Alex VA | Peter Johnson |
| Bob Amato | 250 S. Reynolds St. | Bob Amato |
| MOMEDAN KAM | 115 N Ripley St | Momedan Kam |
| TERESA Canada | 115 N Ripley St | Teresa Canada |
| JOHN O'DONNAN | 5375 Duke St #1603 Alex VA | John O'Donnan |
| DONNE WILLIS | 510 W. PAYNE ST | Donne Willis |
| Michael Perez | 525 N. Armistead St. Alex. VA | Michael Perez |
| BRANK GIBBS | 5375 DUKE ST APT 916 | Brank Gibbs |
| James White | 365 N. Wilson St. | James White |
| Dana Johnson | 125 N. Ripley St. #104 | Dana Johnson |
| Andrew Johnson | 5550 N. Morgan St. #304 | Andrew Johnson |
| BERRY ALLEY | 260 S. Reynolds St. ALEX. VA #1602 | Berry Alley |
| MANUEL J. J. | 203 N. Ripley St Alex VA #112 | Manuel J. J. |
| ZACHARY COLLINGS | 720 CENTURY PL. 3106 ALEX. VA | Zachary Collings |
| 1165 CHAMBERLAIN | 3170 Alex Gibson St. | 1165 Chamberlain |
| MARGARET CHURCH | 5630 S. Van Dorn St Alexandria. | Margaret Church |
| BOBBY MORRIS | 5500 Holmes Run Parkway #411 | Bobby Morris |
| JOHN O'DONNAN | 7 Canterbury Sq. Apt 402 | John O'Donnan |
| MICHAEL BARKS | 141 Normandy Hill Dr Alexandria VA | Michael Barks |
| | | |
| | | |
| | | |

PETITION

TO THE ALEXANDRIA CITY COUNCIL MEMBERS

WE, THE UNDERSIGNED RESIDENTS OF THE CITY OF ALEXANDRIA, VIRGINIA, HEREBY OPPOSE BJ'S WHOLESALE CLUBS PROPOSAL BEFORE THE CITY OF ALEXANDRIA CITY COUNCIL TO INSTALL GASOLINE PUMPS AND A BANK AT THE STORE LOCATED AT 101 SOUTH VAN DORN STREET.

| NAME | ADDRESS | SIGNATURE |
|--------------------|---------------------------------------|--------------------|
| Betty S. Matthews | 225 South Whiting St. #604 | Betty S. Matthews |
| Ed Solo Koc | 101 S. Whiting St. #1108 | Ed Solo Koc |
| Marvin Ventura | 3406 Elmwood Dr Alex. VA. 22303 | Marvin Ventura |
| ELZAKI Shams | 900 YOKUM PKWY #214 UA 22304 | ELZAKI Shams |
| Stephen Kamal | 320 S. Whiting St. #1 Alex. VA. 22304 | Stephen Kamal |
| Patricia K. Porter | 6311 Manchester Way, Alex. 22304 | Patricia K. Porter |
| Raymond Bond | 101 S. Whiting Ave. #2304 | Raymond Bond |
| Walter B. BSAUM | 309 YOKUM PKWY #604, Alex. 22304 | Walter B. BSAUM |
| Alan Banger | 6300 Stevenson Ave #717 Alex 22304 | Alan Banger |
| ANDREA ROSS | 300 YOKUM PKWY #523 | ANDREA ROSS |
| BRENDA Gibson | 225 So. Whiting St #308 | BRENDA Gibson |
| OLANNA TIRKANA | 6060 TOWERS CT. #506 Alex. 22304 | OLANNA TIRKANA |
| Bill Kichinski | 20 S. Whiting St Alex | Bill Kichinski |
| Donker | 6301 Stevenson Ave 22304 Alex. VA | Donker |
| RONALDO RITA | 6211 EASALL RD #414 ALEX | RONALDO RITA |
| N. G. Bruce | 6301 STEVENSON AVE. ALEX | N. G. Bruce |
| JOHN LEE | 6300 STEVENSON AVE #303 | JOHN LEE |
| Sam - Sae | 4600 Edsall Rd # | Sam - Sae |
| Juan Kym | 309 Yokum Pkwy 4.305 | Juan Kym |
| J. M. D. D. | 5601 EISENHOWER AVE | J. M. D. D. |
| Emile | 6169 Edsall Rd. K.D | Emile |
| JANE SEAGAS | 205 S. Whiting Street | JANE SEAGAS |
| Cyan Pike | 5803 Edsall Rd #104 Alex, VA | Cyan Pike |
| Nabila Basm | 6301 Stevenson Ave Alex 22304 | Nabila Basm |
| Jonathan H. Goe | 307 Yokum Pkwy Apt #1811 | Jonathan H. Goe |

PETITION

TO THE ALEXANDRIA CITY COUNCIL MEMBERS

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| NAME | ADDRESS | SIGNATURE |
|-------------------|--|------------------|
| Sharon DeVault | 6145-H Edsall Rd, Alex. VA | Sharon DeVault |
| K. E. Emman | 6101 Edsall Rd # 1612 | KE |
| Deborah Kalcevic | 309 Yorkum Pky #1005 Alex VA 22304 | Deborah Kalcevic |
| ALEX ZAIMIS | 307 Yorkum Pky #717 Alex VA 22304 | Alex Zaimis |
| Josephine Gamba | 203 Yorkum Pky #1206 22304 | Josephine Gamba |
| Sam Elder | 250 Southley St SE #714 22304 | Sam Elder |
| Isaiah (LASSNDEP) | 6101 Edsall Rd, Alex. 22304 | Isaiah |
| William A. Brown | 309 Yorkum Pky #1815 Alex VA 22304 | William A. Brown |
| Dore Schmitt | 309 Yorkum Pky #1011 Alex VA 22304 | Dore Schmitt |
| Vaughan Byrd | 1015 Whitely St Apt 1114 | Vaughan Byrd |
| Bob Kelly | 110 BROWNS MILLING AVE #211 | Bob Kelly |
| M. KELLY | 309 YODAKUM PKWY #509 Alex. | M. Kelly |
| B. Kelly | " " | B. Kelly |
| M. Fasil | 6301 Stevenson Ave #1102 | M. Fasil |
| Chang Lee | 101 S. Whiting St #1012 Alex. VA | Chang Lee |
| Pam Lawman | 307 Yorkum Parkway Alex VA | Pam Lawman |
| Sally Connolly | 6304 Stevenson Ave | Sally Connolly |
| John Lamm | 307 YORKUM PKWY #1005 | John Lamm |
| Terry Punchale | 5340 Holmes Run Pkwy 14th | Terry Punchale |
| Val / Honeywell | 307 Yorkum Pky #1424 | Val / Honeywell |
| Augusta Deane | " " | Augusta Deane |
| Scott Barr | 6000 Tiers Ct Alexandria VA | Scott Barr |
| Handela Galimide | 400 S. Whiting St #201 Alexandria VA 22304 | Handela Galimide |
| Julita Priestly | 446 Stanton PL Alex VA | Julita Priestly |
| EDWARD BILBINT | 309 YODAKUM PKWY #812 | Edward Bilbint |

PETITION

TO THE ALEXANDRIA CITY COUNCIL MEMBERS

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| NAME | ADDRESS | SIGNATURE |
|---------------------|---------------------------------------|---------------------|
| DIANE TURK | 309 Yorkum Parkway Apt. Va | Diane Turk |
| EFREM Merys | 6274 Edsall Rd ALEX VA | Efrem Merys |
| James G. Gavin | 6060 Tower Court #1305 | James G. Gavin |
| Arthur Mixon | 5925 Quantrell Ave #304 | Arthur Mixon |
| LAURA RABOZ | 101 South Whiting #1403 | Laura Raboz |
| ELENA DERABOZ | 101 South Whiting #1403 | Elena Deraboz |
| Ricardo V. Mena | 6301 Stevenson Ave Apt 708 | Ricardo V. Mena |
| Elyse Stevens | 6016 Edsall Rd | Elyse Stevens |
| John P. Strader | 6324 Manchester Way, Alex 22304 | John P. Strader |
| Charles N. Ntanos | 4960 Yorkum Parkway | Charles N. Ntanos |
| Virginia Jones | 203 Yorkum Parkway Alex VA 22304 | Virginia Jones |
| LUIS MONTANO | 5490 SHEFFIELD CT Alex VA 22313 | Luis Montano |
| FRANCIS QUASHIG | 415 S. VAN DORN ST #204 Alex VA 22304 | Francis Quashig |
| CARLOS B. BARRANTES | 101 S. WHITING ST #707 ALEX VA 22304 | Carlos B. Barrantes |
| PAUL MANU | 6276 EDSELL RD #113 ALEX VA 22312 | Paul Manu |
| JAMES ALLEN | 6354 Bampton Court | James Allen |
| Andrew Pohl | 203 Yorkum #1204 Alex 22304 | Andrew Pohl |
| XUOLWE M. DOVE | 205 Yorkum Parkway #578 Alex | Xuolwe M. Dove |
| CHIMA IHEZUR | 6122 EDSELL RD #204 ALEX | Chima Ihezur |
| Rodolfo Ray | 205 Yorkum Parkway #412 Alex | Rodolfo Ray |
| JOSE LECBAS | 6018 Independence Way | Jose Lecbas |
| Ron Wilson | 309 Yorkum Parkway | Ron Wilson |
| Jennifer Kukorlo | 120 N. Grayson St. | Jennifer Kukorlo |
| Joey M. Pantoja | 205 S. Whiting St. Alex #624 | Joey M. Pantoja |
| Salih Abdelrahim | 7693 Sheffield Vill - LN - L | Salih Abdelrahim |

PETITION

TO THE ALEXANDRIA CITY COUNCIL MEMBERS

WE, THE UNDERSIGNED RESIDENTS OF THE CITY OF ALEXANDRIA, VIRGINIA, HEREBY OPPOSE BJ'S WHOLESALE CLUBS PROPOSAL BEFORE THE CITY OF ALEXANDRIA CITY COUNCIL TO INSTALL GASOLINE PUMPS AND A BANK AT THE STORE LOCATED AT 101 SOUTH VAN DORN STREET.

| NAME | ADDRESS | SIGNATURE |
|-------------------|---|-------------------|
| Fred Frank | 5364 Brampton Ct | Fred Frank |
| Reg GREENS | #116 203 YORKUM PKWY | Reg GREENS |
| JOE RIGGS | 6044 EDSALL RD #302 | JOE RIGGS |
| Gophin | 700 YORKUM Alex | Gophin |
| Barclay Edinings | 5004 Green Pl #304 Alex | Barclay Edinings |
| Larry Brown | 200 YORKUM AVE 414 AVE | Larry Brown |
| Mickey ANDER | 5911 EDSALL RD (PH-2), Alex VA | Mickey ANDER |
| Erin Darr | 6135 EDSALL Rd. Alex VA | Erin Darr |
| Sam Myers | 545 G. J. Rd. Springfield | Sam Myers |
| David Neal | 6101 EDSALL Rd | David Neal |
| Lynn McClure | 6161 EDSALL Rd #1803 Alex VA 22304 | Lynn McClure |
| JESUS R RODRIGUEZ | 203 YORKUM PKWY-APT 1116 ALEXANDRIA 22304 | JESUS R RODRIGUEZ |
| Jennifer HARRIS | 203 YORKUM PKWY #216 VA | Jennifer HARRIS |
| Sandra DeWitt | 6135 EDSALL Rd, VA 22304 | Sandra DeWitt |
| ANNEMARIE WILSON | 309 YORKUM PKWY - 1503 ALEX VA 22304 | ANNEMARIE WILSON |
| William Kagan | 400 NORTH ARMISTEAD ST APT 1 | William Kagan |
| Jose Noranjo | 203 YORKUM PKWY APT. #426 | Jose Noranjo |
| Diego Daza | 203 YORKUM PKWY APT #625 | Diego Daza |
| Tania Smith | 818 W. Glebe Rd. #303 | Tania Smith |
| Kate Spates | 6727 BREN MAJOR Alex VA | Kate Spates |
| RAFAL A GOERMAN | 2111 STEVENSON AVE Alex | RAFAL A GOERMAN |
| John Smith | 203 YORKUM PKWY #1020, Alex VA | John Smith |
| Mohamed MALLAH | 5021 SEMINARY RD | Mohamed MALLAH |
| John Danko | 85, Van Dorn St APT 412 | John Danko |

Edsall Shell

PETITION

TO THE ALEXANDRIA CITY COUNCIL MEMBERS

WE, THE UNDERSIGNED RESIDENTS OF THE CITY OF ALEXANDRIA, VIRGINIA, HEREBY OPPOSE BJ'S WHOLESALE CLUBS PROPOSAL BEFORE THE CITY OF ALEXANDRIA CITY COUNCIL TO INSTALL GASOLINE PUMPS AND A BANK AT THE STORE LOCATED AT 101 SOUTH VAN DORN STREET.

| NAME | ADDRESS | SIGNATURE |
|--------------------|---------------------------------------|-----------|
| Peter Rossy | 5606 Bismack Dr. Alexandria, VA 22312 | |
| DAN MILLS | LOUETSVILLE VA | |
| Diana Cohen | 4921 SEMINARY RD, ALEXANDRIA, VA | |
| Warren Goodhue | " | |
| Chantae Campbell | 5445 D. Morgan St Alexandria, VA | |
| Toulier Holman | 8606 MIMOSA AVE CLINTON | |
| Joe Jordan | P.O. Box 511, Lorton Virginia 22079 | |
| Tom H. Schramm | 2920 HUNTINGTON AVE #1221 | |
| DAVERA VITH | 5215 CATHER ROAD 22151 | |
| JASON ROSE | 909 N. VAN DORN ST. #301 | |
| Sean L. Fowle | 5551 Quantrell Ave #201 | |
| Nancy L. Varghese | 4808 Branch Ave #1004 | |
| Robert Jenkins | 4801 Seminary Rd 1215 | |
| Brianne Sherman | n 102. Cameron pr ct | |
| Kammar An | 7226 Fairview Dr #3 Alex 22306 | |
| Joe Tyler | 5801 Quantrell Ave #804 | |
| MANUEL HATAWANA | 9800 FARRINGTON | |
| Linda Sampson | 5009 Meade St NE Wash DC 20012 | |
| Robert A. Vockrope | 6112 COVER GRASS DR ALEXANDRIA, VA | |
| Beatrice Kamara | 5800 Quantrell Ave #720 Alex 22310 | |
| Mum Anare | 6035 Westendwood Dr Alex | |
| Gil | Woodbridge Va | |
| King Tuck | 4631 Kingfisher Rd Alex. | |
| John | 14725 Basingstone Loop | |
| Andrea Diaz | 1676 Davis Ln, Woodbridge | |

PETITION

TO THE ALEXANDRIA CITY COUNCIL MEMBERS

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| NAME | ADDRESS | SIGNATURE |
|--------------------|-------------------------------------|--------------------|
| Valerie A. Swift | 40 S. Van Dorn St D301 | Valerie A. Swift |
| Robert J Morton | 250 S. Whitings St Apt 812 | Robert J. Morton |
| Carol Hollis | 6272 Edsall Rd #213, Alex, VA 22312 | Carol Hollis |
| MARTHA J. Aughavin | 205 YORKUM PKWY, #322 | Martha J. Aughavin |
| James Clark | 431 Stanton Pl Alex VA | James T. Clark |
| C.M. Paulinus | 5566 First Statesman Ln. Alex. | C.M. Paulinus |
| Maura De La Cruz | 6301 Stevenson #412 Alex, VA | Maura De La Cruz |
| Lynette Belandier | 20 YORKUM PKWY #1109 Alex, VA | Lynette Belandier |
| MINERVA ORTIZ | 4 S. VAN DORN ST Alex VA | Minerva Ortiz |
| DONALD DiFranco | 6155-0 Edsall Rd Alex VA | Donald DiFranco |
| STEWART TILLOTSON | 413 SOUTH VAN DORN ST Alex VA | Stewart Tilottson |
| Crystal Brown | 101 S. Whitings St. #105 | Crystal Brown |
| ROY NIX | 6101 Edsall Rd Alex, VA 22304 | ROY NIX |
| Christine Rogers | 5346 Edsall Rd #705, Alex | Christine Rogers |
| Michael Hill | 250 S. Whitings Alex VA 9111 | Michael Hill |
| EDGAR Teale | 301 YORKUM PKY, #710 Alex VA | Edgar Teale |
| Bouska E. Beligian | 6301 Stevenson Ave #1214 | Bouska E. Beligian |
| Serafina Becha | 6301 Stevenson Ave 1213 | Serafina Becha |
| Anne Bourgeois | 336 S. Whitings St. | Anne Bourgeois |
| MIGUEL GUILLERME | 5911 Edsall Rd #403 Alex VA | Miguel Guillarme |
| E. Schnotes | 205 Yorkum | E. Schnotes |
| F. Lewis | 6188 Edsall Rd #160 Alex, VA 22304 | F. Lewis |
| Shana Carter | 6300 Stevenson Ave Alex | Shana Carter |
| Ben Seng | 1015 WHITING ST. 1401 | Ben Seng |
| Raymond P. Donovan | 203 YORKUM PKWY #422 | Raymond P. Donovan |

PETITION

TO THE ALEXANDRIA CITY COUNCIL MEMBERS

WE, THE UNDERSIGNED RESIDENTS OF THE CITY OF ALEXANDRIA, VIRGINIA, HEREBY OPPOSE BJ'S WHOLESALE CLUBS PROPOSAL BEFORE THE CITY OF ALEXANDRIA CITY COUNCIL TO INSTALL GASOLINE PUMPS AND A BANK AT THE STORE LOCATED AT 101 SOUTH VAN DORN STREET.

| NAME | ADDRESS | SIGNATURE |
|--------------------|--|--------------------|
| Daynelle Brice | 268 N. Stevenson Sq Alex VA 22304 | Daynelle Brice |
| Frank Young | 424 S Whiting Alex VA 22304 | Frank Young |
| Jurana Nola | 203 Yorkum Pkwy | Jurana Nola |
| Uani Walker | 205 Yorkum Pkwy | Uani Walker |
| STEVE BAE | 300 Yorkum Pkwy | Steve Bae |
| Louis C. Webster | 296 S. Whiting St # V-3 | Louis Webster |
| Rosario C. Soga | 6301 Stevenson Ave. | Rosario C. Soga |
| Nebout G. Gachon | 6331 D Stevenson Ave | Nebout G. Gachon |
| K. George | 205 S. South Whiting Street, Alexandria | K. George |
| Andromed. Jones | 307 Yorkum Pkwy Alex VA | Andromed. Jones |
| John Tolman | 6301 STEVENSON AVE VA. | John Tolman |
| Vickie Parker | 5500 Holmes Run Parkway #1409 Alexandria | Vickie Parker |
| AT 111 | Edsall 6111 | AT 111 |
| Tony Prestipino | 101 S. Whiting St. Alex VA. 22304 | Tony Prestipino |
| Ed. Butler | 1616 Edsall Rd 1606 | Ed. Butler |
| K. R. Brunner | 3001 Yorkum Pkwy #918 | K. R. Brunner |
| Phil Knott | 249 S. Van Dorn St Alex VA | Phil Knott |
| Steve Mann | 97 M. Ashland Cir. Dumfries VA 22025 | Steve Mann |
| Todd Elletson | 200 Yorkum Pkwy #916 Alex VA 22304 | Todd Elletson |
| Tom Halsall | 203 Yorkum Pkwy #925 Alex 22304 | Tom Halsall |
| DAVID SOUSA | 104 YORKUM PKWY #924 Alex 22304 | DAVID SOUSA |
| Eden B. Gaffney | 301 YORKUM PKWY. AVE. 904 Alex VA 22304 | Eden B. Gaffney |
| William E. Epstein | 6150 Edsall Rd #307 | William E. Epstein |
| Kirkley Jones | 4314 Vermont Ave. Alex VA 22304 | Kirkley Jones |
| Elizabeth Dolan | 205 Yorkum Pkwy 1213 | Elizabeth S. Dolan |

PETITION

TO THE ALEXANDRIA CITY COUNCIL MEMBERS

WE, THE UNDERSIGNED RESIDENTS OF THE CITY OF ALEXANDRIA, VIRGINIA, HEREBY
OPPOSE BJ'S WHOLESALE CLUBS PROPOSAL BEFORE THE CITY OF ALEXANDRIA
CITY COUNCIL TO INSTALL GASOLINE PUMPS AND A BANK AT THE STORE LOCATED
AT 101 SOUTH VAN DORN STREET.

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| NAME | ADDRESS | SIGNATURE |
|--------------------|-------------------------------------|--------------------|
| ROSE GARCIA | 205 YOKUM PKWY, #318 | Rose Garcia |
| Maria C Conde | 3955 Taney Av. Alexandria Va. 22304 | Maria C Conde |
| FRANCIS MATTHEW | 205 YOKUM PKWY VA 22304 | Francis Matthew |
| Dr. Steve Mokone | 205 " " " 2th 726 | Dr. Steve Mokone |
| John Lert | 205 " " " 808 | John Lert |
| Shirley Fred | 205 YOKUM PKWY 807 | Shirley Fred |
| John N. Paige | 205 YOKUM PKWY #803 | John N. Paige |
| Harold W. Shaw | " " " 1711 | Harold W. Shaw |
| R. Sayre | 205 YOKUM PKWY Alex VA | R. Sayre |
| Anita Chamberlain | 205 YOKUM PKWY #15 | Anita Chamberlain |
| JOSE RODRIGUEZ | 205 YOKUM 1012 | Jose Rodriguez |
| CURTIS E. MOUL, JR | 205 YOKUM PKWY, #314 | Curtis E. Moul, Jr |
| CAROL S. ZWART | 205 YOKUM PKWY #224 | Carol S. Zwart |
| PAUL W. SMITH | 205 YOKUM PKWY #514 | Paul W. Smith |
| Narda Chenier | " " " 319 | Narda Chenier |
| TRUDI KERUGIL | 205 YOKUM, Alex VA | Trudi Kerugil |
| D.B. De Mars | 205 YOKUM PKWY #836 | D.B. De Mars |
| Kitty Wheatley | 205 YOKUM PKWY #412 | Kitty Wheatley |
| Carlos A. Soto | 205 YOKUM PKWY #707 | Carlos A. Soto |
| DA B JONES | 205 YOKUM PKWY #312 | DA B Jones |
| NITA SWEENEY | 205 YOKUM PKWY #509 | Nita Sweeney |
| Lee Meloby | 205 YOKUM PKWY #1712 | Lee Meloby |
| MARY PEREZ | 205 YOKUM #325 | Mary Perez |
| Joseph H. Quintano | 205 YOKUM #626 | Joseph H. Quintano |
| Rosa Lee Powell | 205 YOKUM #406 | Rosa Lee Powell |

ALEXANDRIA
MOBIL
DUKE ST market

PETITION

TO THE ALEXANDRIA CITY COUNCIL MEMBERS

WE, THE UNDERSIGNED RESIDENTS OF THE CITY OF ALEXANDRIA, VIRGINIA, HEREBY
OPPOSE BJ'S WHOLESALE CLUBS PROPOSAL BEFORE THE CITY OF ALEXANDRIA
CITY COUNCIL TO INSTALL GASOLINE PUMPS AND A BANK AT THE STORE LOCATED
AT 101 SOUTH VAN DORN STREET.

| NAME | ADDRESS | SIGNATURE |
|--------------------|--|--------------------|
| Fikre Tereste | 5375 DUKE ST Alex. VA. 22304 | Fikre Tereste |
| Miriam Beyene | Richmond Hwy. | Miriam Beyene |
| Robert Tereste | 334. S. Whiting St. | Robert Tereste |
| Petel Tereste | 334. S. Whiting St. | Petel Tereste |
| Nami Taklemariam | 1225 Martha Custis Dr #1618 | Nami Taklemariam |
| Muhammad Ahmed | 101 S. REYNOLDS ST. #1414 | Muhammad Ahmed |
| Pepperck Tompson | 108 S. REYNOLDS ST #511 | Pepperck Tompson |
| Fatima Sesay | 375 S. Reynolds St #1402 | Fatima Sesay |
| Zoua F. Dadda | 3 S. Van Dorn St Alex. VA 22303 | Zoua F. Dadda |
| Kleishman | 150 Century Dr Alex VA 22304 | Kleishman |
| Edward Shook | 2230 Duke St Alex VA 22304 | Edward Shook |
| Angie Hay | 5350 Duke St Alex VA 22305 | Angie Hay |
| James E. Jackson | 5375 Duke St #404 Alex. VA | James E. Jackson |
| Paul D. Miller | 5375 Duke St #410 Alex VA 22304 | Paul D. Miller |
| Juliet Wuma | 422 N. Armistead St. Alex. VA | Juliet Wuma |
| Abdirahman Mohamed | 375 S. Reynolds St #142 Alex, VA 22304 | Abdirahman Mohamed |
| TERESTE MERISTO | 5375 Duke St ALEX. VA 22304 | TERESTE MERISTO |
| KEBERU GERAY | 6305 FRENCH MAN A1 VA 22312 | KEBERU GERAY |
| YEMAL HANNA | 6305 FRENCH MAN A1 VA 22312 | HANNA |
| WIGBERALE Kidan | 410 S. Columbus St A1 VA 22314 | Kidan |
| ALEMU Bayush | 6305 FRENCH MAN A1 VA 22312 | Bayush |
| HADEGU DANIAL | 6413 Edison Rd A1 VA 22312 | DANIAL |
| EMASU YONAS | 6413 Edison Rd A1 VA 22312 | YONAS |
| ABERHAM FETSEM | 104 ASON AV A1 VA 22301 | FETSEM |
| EDRIS MESTOFM | 4600 Duke St A1 VA | MESTOFM |

ALEXANDRIA
MOBILE
Juice St

PETITION

TO THE ALEXANDRIA CITY COUNCIL MEMBERS

WE, THE UNDERSIGNED RESIDENTS OF THE CITY OF ALEXANDRIA, VIRGINIA, HEREBY
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AT 101 SOUTH VAN DORN STREET.

| NAME | ADDRESS | SIGNATURE |
|------------------|---------------------------------------|------------|
| Doromodou | Trent Court #12 Alexandria | uthmed |
| Darius el Alai | 5432 BRADFORE CT #132 | el Alai |
| ISSA HARTZ | 2700 SOUTH FIFTH ST | HARTZ |
| Ricardo Gotlib | 250 S. DEYNOLDS ST | Gotlib |
| SELANAWIT TAYEB | 7100 PEBBLE CREEK TOWN SPAINFIELD | Selmanawit |
| Gene Del Pa | 175 Reynolds. 20 apt. | Del Pa |
| GONZALO GONZALEZ | 6505 CHINA GROVE CT ZIP 22310 | GONZALEZ |
| RAFI NOOR | 2001 N. Adams VA 22204 | NOOR |
| ANGEL BATES | 29103 GLEBE RD 301 ARLINGTON VA 22204 | BATES |
| LARUE FISSAN | 375 S. Reynolds St. 22304 | FISSAN |
| ADAM BEARRA | 3110 WOLFE ST. ALEX 22304 | BEARRA |
| GETACHEW | BEURGARED TP. 22413 | GETACHEW |
| Sean Gordy | 111 E. Linden St 22301 | Gordy |
| Yacine Tazi | 75 S. Reynolds St #6201 | Tazi |
| STEWART MUNN | 810 N. Howard #401 22304 | MUNN |
| HAROLD SHERIN | 6087 BELLVIEW DR 22041 | SHERIN |
| ARCHIE BORGOS | 5021 SEMINARY RD ALEX 22304 | BORGOS |
| SAMSON SHANKU | 2701 PARK CENTR DR 22304 VA | SHANKU |
| LARRY LAWRENCE | 115 N. RIPLEY ST. #102 ALEX. VA 22304 | LAWRENCE |
| Abdul Kanna | 125 N. RIPLEY ST 22304 | Kanna |
| ABDI CANDEL | 1545 MANITOBA DR | CANDEL |
| KARL CAREW | 1545 MANITOBA DR | CAREW |
| ISHA KANU | 4261 DUKE ST | KANU |
| Vic Thompson | 1361 DUKE ST | Thompson |
| Dave Palmer | 4311 DUKE ST. | Palmer |

PETITION

TO THE ALEXANDRIA CITY COUNCIL MEMBERS

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| NAME | ADDRESS | SIGNATURE |
|---------------------|-----------------------------------|---------------------|
| Kelly Brady | 101 S Whiting St Apt 511 | Kelly Brady |
| Elvira Sanchez | 1108 Vassar Rd. Alex. | Elvira Sanchez |
| Jeliana Sanchez | 1108 Vassar Rd Alex | Jeliana Sanchez |
| Bizabeth Woodruff | 205 Yockum #710 Alex 22304 | BElizabeth Woodruff |
| J. A. Crawford | 1608 YOCKUM PKWY #1608 ALEX 22304 | J. A. Crawford |
| Eric Brown | 1401 16th St ALEX 22304 | Eric Brown |
| Eric Brown | 309 YOCKUM TRWY. #115 | Eric Brown |
| Nopporn Wongvorakul | 309 YOCKUM PKWY. #1025 | Nopporn Wongvorakul |
| HAMADY-BE BAIT | 101 S. WHITING ST. APT 1114 | HAMADY-BE BAIT |
| David A. Puckett | 200 Yockum Pkwy #106 | David A. Puckett |
| K-YOUSSEFI | 6451 EDSALL RD Alexandria | K-YOUSSEFI |
| VADEL WEDALI | 101 SOUTH WHITING | VADEL WEDALI |
| H. Canimond | 6198 Edsall Rd | H. Canimond |
| Allegre Paine | 205 Yockum Pkwy | Allegre Paine |
| CHARLES WILSON | 6101 EDSALL #703 | CHARLES WILSON |
| BARBARA S. HAY | 6161 EDSALL RD #509 | BARBARA S. HAY |
| Cole, Heather | 6314 C Eagle Ridge, Hts | Cole, Heather |
| JAMES M. BRUN | 6887 SIGNATURE CA. ALEXA | JAMES M. BRUN |
| Silver Taylor | 412 So Whiting Street | Silver Taylor |
| Winston Broad | 1353 N Van Dorn St, ALEXA | Winston Broad |
| FRANK KIMMY | 6710 Stonew Ave 22204 | FRANK KIMMY |
| Darin Bentley | 6071 Chisney Place | Darin Bentley |
| Mrs. H. H. H. H. | 5569 Cosby Glen Alexandria | Mrs. H. H. H. H. |

PETITION

TO THE ALEXANDRIA CITY COUNCIL MEMBERS

WE, THE UNDERSIGNED RESIDENTS OF THE CITY OF ALEXANDRIA, VIRGINIA, HEREBY
OPPOSE BJ'S WHOLESALE CLUBS PROPOSAL BEFORE THE CITY OF ALEXANDRIA
CITY COUNCIL TO INSTALL GASOLINE PUMPS AND A BANK AT THE STORE LOCATED
AT 101 SOUTH VAN DORN STREET.

| NAME | ADDRESS | SIGNATURE |
|-------------------|---------------------------------------|-------------|
| R. Shokron | 4600 Duke St. Alexandria | [Signature] |
| LIAGHAT A. BUTT | 4932 Beaman St #201 Alex | [Signature] |
| M. Saffi | 4600 Duke St Alex, VA | [Signature] |
| P. Lirihass | 132 N. Early St Alex VA | [Signature] |
| N. Walters | 4600 Duke St #405 Alexandria, VA | [Signature] |
| Sayed. Ahmad | 4600 Duke St Alex Va | [Signature] |
| Tim Dicken | 1130 Ivy Dr. | [Signature] |
| Wilcher | 315 Van Dorn St. T 501 | [Signature] |
| Marie Mayn | 4600 DUKE ST. 1029 Alex Va. | [Signature] |
| Agashoori | 4600 Duke St #108 Alex, Va 22304 | [Signature] |
| A. Carlson | 4703 Sunny Dr. Alex 22304 | [Signature] |
| Mawana Green | 4241 Duke St #1 Alex. | [Signature] |
| P.J. Child | 4600 Duke St #531 Alex | [Signature] |
| Wallace Tucker | 229 S. Jenkins St. Alex Va. | [Signature] |
| James McKelvey | 119 S. IRIS ST Alex Va | [Signature] |
| Kamal A. Basha | 1111 6170 Edsall RD 38 | [Signature] |
| Wiltado Batista | 4600 Duke St. # 709 Alex Va. 22304 | [Signature] |
| PEDRO RAMIREZ | 4600 DUKE ST. APT. 1422 ALEX. | [Signature] |
| Tom Bergin | 211 Cameron Stapt Blvd 22704 | [Signature] |
| Ramun | 4600 Duke St/Alex - Va 22304 | [Signature] |
| Jelley Rote | 10545 James Wren Hwy Fairfax VA 22031 | [Signature] |
| John F. Gashin | 2301 Tracy St, Alex VA | [Signature] |
| LISA SEEGER | 300 S VAN DORN ST. | [Signature] |
| Amanda Reddig | 1196 JAMES LINE 22302 | [Signature] |
| JESSE C. JANUATIN | 4600 DUKE STREET #732 ALEX. VA | [Signature] |

PETITION

TO THE ALEXANDRIA CITY COUNCIL MEMBERS

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AT 101 SOUTH VAN DORN STREET.

| NAME | ADDRESS | SIGNATURE |
|---------------------------------|----------------------|-----------|
| Edwin | 3300 Holmes Run Pkwy | Edwin |
| cause traffic congestion even | | |
| 4600 Duke St #1310 | | |
| 102 South Dorn St. Alex VA | | |
| 4610 Duke St Alex | | |
| 4600 DUKE ST #714 | | |
| 2500 N. VAN DORN | | |
| 4350 Holmes Run Pkwy | | |
| 4646 Southland Ave. | | |
| 1308 N. Lincoln St. | | |
| 5003 Rickenbacker Ave. | | |
| 3142 South Albany St. E73 Alex. | | |
| 4600 Duke | | |
| 119 Grotto Green St. | | |
| 2727 Duke St 1104 | | |
| 4600 Duke St 926 | | |
| 4600 Duke St 1206 | | |
| 6301 Lachin Ln AT-3 Alex | | |
| 15 Canterbury Sq. ALEX | | |
| 4600 Duke #431 Alex | | |
| 4600 Duke St #1513 Alex | | |
| 20 S. INGRAM ST | | |
| 4600 Duke 331 | | |
| 5948 Founders Hill Dr | | |
| 4600 DUKE ST #1127 | | |

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CITY COUNCIL TO INSTALL GASOLINE PUMPS AND A BANK AT THE STORE LOCATED
AT 101 SOUTH VAN DORN STREET.

| NAME | ADDRESS | SIGNATURE |
|------------------|--|------------------|
| Jim Quislan | 309 Yorkum Pkwy #707 Alexandria, VA | Jim Quislan |
| Sam Taylor | 101 Southwhiting St Alex, VA | Sam Taylor |
| CHRISTINE BRESS | 5112 DONOVAN DRIVE #401 ALEXANDRIA | Christine Bress |
| Earl Conway | 309 Yorkum Pkwy #1124 Alex | Earl B. Conway |
| Katherine Moore | 8117 Willardale Ct | Katherine Moore |
| MIKE CONNER | 203 Yorkum Pkwy #1726 ALEXANDRIA | Michael Conner |
| Mike Pentress | 6301 Stevenson Ave. #815 Alex VA | Mike Pentress |
| FLORINA THOMAS | 318 S. WHITING ALEX VA | Florina Thomas |
| Ruthie Phelps | 309 S. YORKUM PKWY #806 ALEXANDRIA 22304 | Ruthie Phelps |
| Jennifer Calceki | 601 Stevenson Ave. ALEXANDRIA 22304 | Jennifer Calceki |
| MIA W. NATHAN | 4110 Eads Rd 12 P. #201 | Mia W. Nathan |
| Mike Davis | 600 Stevenson Ave Alex VA | Mike Davis |
| Rebecca Guillett | 5911 Eads Rd #407 ALEX VA | Rebecca Guillett |
| Susan Beck | 5911 Eads Rd Alex Va. | Susan Beck |
| Karen Demu | 4132 Claxton Lane Alex, VA | Karen Demu |
| ROBERT LEE | 203 YORKUM #1809 ALEX 22304 | Robert Lee |
| Erin Wibbins | 200 Yorkum #400 AL. VA 22304 | Erin Wibbins |
| Theresa Metz | 6300 Stevenson Ave #906 Alex | Theresa Metz |
| J.L. James | 200 Yorkum Pkwy Alex VA | J.L. James |
| Stella Southall | 6301 Stevenson Ave. #105 VA | Stella Southall |
| Isabel | 4100 Jones Court #102 Alex VA | Isabel |
| Amy Sansbury | 250 S Whiting St #424 Alex VA | Amy Sansbury |
| Dave Bels | 6300 Stevenson Ave #1124 Alex | Dave Bels |
| M. Schaefer | 205 Yorkum Pkwy #1817 Alex | M. Schaefer |
| L. Stojak | 250 S. Whiting St #306 Alex | L. Stojak |

PETITION

TO THE ALEXANDRIA CITY COUNCIL MEMBERS

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| NAME | ADDRESS | SIGNATURE |
|--------------------|-----------------------------------|-----------------|
| ANAS ELTAHIR | 200 YAAKUM PKWY 505 | ANAS |
| Henry D. Thuy | 6212 Wakefield Ct | Henry D. Thuy |
| David Green | 4150 Edsall Rd | David Green |
| Joe Contreras | 5461 Edsall Rd | Joe Contreras |
| DAVID TAHAKH | 6300 STEVENSON AVE #820 | David Tahakh |
| orge A. Pae | 200 Yookum Pkwy #613 | orge A. Pae |
| A.J. Behrke | 6300 Stevenson Ave. #113 Alex Va | A.J. Behrke |
| Vaughn Harris | 201 Yookum Pkwy, #1900 | Vaughn Harris |
| marigona Rodriguez | | |
| J. Asore | | J. Asore |
| WALLER ANTON | | Waller Anton |
| carlos paez | | carlos paez |
| Jay m... .. | | Jay m... .. |
| Stanley | | Stanley |
| Wm. MARCA | 309 Yookum Pkwy #1213 | Wm. MARCA |
| MARI FERNANDEZ | 307 YOOKUM PKWY #1621 | MARI FERNANDEZ |
| BRENDA BERRY | 200 Yookum Parkway #1206 | Brenda Berry |
| Kathryn Head | 6101 Stevenson Ave. | Kathryn Head |
| PAUL RADER | 5197 COTTINGHAM PLACE | PAUL RADER |
| Jim Sotigada | 101 S Whiting St | Jim Sotigada |
| Josh LIGITA | 101 S Whiting ST #107 | Josh LIGITA |
| BEN BOEKELE | 2211 N. VAN DORN ST #302 | BEN BOEKELE |
| AUNREY FUNK | 6106 DECLARATION SQ | A. Funk |
| Stephen E. Rowe | 6301 Stevenson Ave. #511 | Stephen E. Rowe |
| RITA L. Stuffle | 2121 S. Kenmore St. Arlington, Va | Rita L. Stuffle |

20004

PETITION

TO THE ALEXANDRIA CITY COUNCIL MEMBERS

WE, THE UNDERSIGNED RESIDENTS OF THE CITY OF ALEXANDRIA, VIRGINIA, HEREBY OPPOSE BJ'S WHOLESALE CLUBS PROPOSAL BEFORE THE CITY OF ALEXANDRIA CITY COUNCIL TO INSTALL GASOLINE PUMPS AND A BANK AT THE STORE LOCATED AT 101 SOUTH VAN DORN STREET.

| NAME | ADDRESS | SIGNATURE |
|---------------------|----------------------------------|------------------------|
| John Doe | 5716 BA CRIC DR | [Signature] |
| John Doe | 5875 Duke St #709 | [Signature] |
| Mohamed Nur | 4600 Duke Street | Mohamed Nur |
| JOSE WIS | 200 S VANDERBILT ST ALEXANDRIA | [Signature] |
| Eunice | 5835 Duke St | [Signature] |
| MIRIAS | 501 DUKE ST | [Signature] |
| ASIBAH ALUM | 5635 S. VAN DORN ST | [Signature] |
| Elay Oompley | (703) 8. S. V. St U 605 | [Signature] |
| R. White | 5335 Duke St, Alex, Va | Robin White |
| Sage Vorp | 101 S. Bayfield St | [Signature] |
| Kennedy Hunt | 217 REXLEY PKWY GAITHERSBG, MD | Kennedy Hunt |
| Mehdi Sam | 2902 Oakboring Sp. VA 22124 | [Signature] |
| TSEHAI BEAVES | 6904 Edgemoor Dr | Tsehai Beaves |
| Mac Happte | 4410 Red Horse Tavern Lane 22113 | Salome |
| ABIBAH BAHUWI | 5361 TANEY AVE. #202 | Abiba |
| ALIE AKONI | 5361 TANEY AVE. #202 | [Signature] |
| AKONG SOKI | 2115 E. 18th St | [Signature] |
| A. RANTAMU | 5340 HOMES RUN PKWY #1112 | [Signature] |
| Kristin Matthews | 17 Canterbury Sq #202 Alex VA | Kristin Matthews |
| OMAR ETEHALS | 5300 HOMES RUN PKWY | [Signature] |
| ESSEN 20111111 | 5911 E. 18th St APT 211 | [Signature] |
| Janson Kim | 8064 Skonow Hill Bridge | [Signature] |
| Mehdi Sam | 101 S. Bayfield St | [Signature] |
| Seth Adulpo | 5405 Duke St ALEX VA 22304 | [Signature] |

ALEXANDRIA
MOBILE
BUILT AT

PETITION

TO THE ALEXANDRIA CITY COUNCIL MEMBERS

WE, THE UNDERSIGNED RESIDENTS OF THE CITY OF ALEXANDRIA, VIRGINIA, HEREBY
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AT 101 SOUTH VAN DORN STREET.

| NAME | ADDRESS | SIGNATURE |
|-----------------|-------------------------------------|-----------|
| Sharif | 5375 Duke St | |
| SANDRA | 5375 Duke St | |
| ESTHER | 13187 ARMSTEAD ST. WOOD | |
| Viggo | 10300 Ling Commons. cat. | |
| Ethel | 12630 Veirs Mill Rd | |
| Gene | 12630 Veirs Mill Rd | |
| DERRICK | 6272 Edsall Rd. APT 200 | |
| SAMSON | 2444 Reynolds St | |
| Christina | 244 Reynolds St. | |
| ORLANDO | 250 Reynolds St. | |
| Carlos | 250 Reynolds St | |
| REGINA OSEI | 14 CANIER BURY SQ #301 | |
| Geoffrey Damm | 8 S VAN DORN ST U-101 | |
| TESFAYE DERRICK | 100 S VAN DORN ST 206 | |
| SCOTT SEIBEL | 240 S Reynolds St 310 | |
| SOPHIE BERNARD | 309 Yorkman Ave | |
| SHAHID BASHIR | 4901 SEMINARV Rd #726 | |
| JEFF PARKER | 2245 SLUICE CHANNEL PL NORTHERN VA. | |
| BILLOPOPAL | 125 SOUTH REYNOLDS ST APT 303 | |
| SELET ADEO | 5030 SOUTH VAN DORN ST | |
| TAGAI | 834 N. Washington St AIX VA | |
| SEFER Ibrahim | 834 N. Washington AIX VA | |
| ZEWEDI Tadin | 6418 Edsall Rd AIX VA | |
| KOFI MENSAH | 8505 Wild Spruce Drive | |
| MUSA BOJA | 5405 Dulce St AIX VA | |

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| NAME | ADDRESS | SIGNATURE |
|-------------------|---------------------------------|-------------|
| MULL | 9151 Broken Oak Road | [Signature] |
| DOMINIC FRIMBELL | 6151A Edsall Rd, ALEX, VA 22304 | [Signature] |
| Edna R. Maher | 300 Yorkum Pkwy, ALEX, VA 22304 | [Signature] |
| Suhoni | 200 Yorkum Pkwy ALEX 22304 | [Signature] |
| David Delowski | 300 Yorkum Pkwy 1602 | [Signature] |
| Anne Harris | 200 Yorkum Pkwy VA 22304 | [Signature] |
| Harold Ganda | 320 S. Whiting St W1-13 | [Signature] |
| William Gutierrez | 270 S. Whiting St Apt. 802 | [Signature] |
| Luis | 338 S. Whiting St Ppt 11 | [Signature] |
| Romelia | 296 S. Whiting St | [Signature] |
| Brigida | 6941 F Edsall Rd | [Signature] |
| SOR E | 250 S. Whiting St | [Signature] |
| ATIF SHARAF | 6323 STEVENSON AVE | [Signature] |
| MARK DILL | 250 S. Whiting St. | [Signature] |
| Mary Turner | 252 - Stevenson Sq. ALEX VA | [Signature] |
| M. H. Taylor | 205 Yorkum Pkwy #1208 | [Signature] |
| Nick Murt | 200 Yorkum Pkwy | [Signature] |
| Diriba Seboka | 6388 Wingate St. ALEX VA | [Signature] |
| JAMES GRAZICHAK | 5206 BEDLINGTON TERRACE | [Signature] |
| Pearl Schorsch | 9642 Burke Lake Rd Burke | [Signature] |
| Francis Klein | 300 Yorkum Pkwy #501 ALEX | [Signature] |
| Donna P. Poirer | 6166 Edsall Rd #2 ALEX VA | [Signature] |
| Mike Reza | 205 YORKUM PKWAY | [Signature] |
| U. N. Koushik | 309 Yorkum Pkwy | [Signature] |
| Shirley Goodrich | 205 Yorkum Pkwy | [Signature] |

PETITION

TO THE ALEXANDRIA CITY COUNCIL MEMBERS

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[illegible]

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AT 101 SOUTH VAN DORN STREET.

| NAME | ADDRESS | SIGNATURE |
|--------------------|-------------------------------------|--------------------|
| Hafiz Badwi | 225 S. Whiting St. #716, Alexandria | <i>[Signature]</i> |
| THOMAS DOLA | 205 YORKUM PKY 2218 Alex | Thos J Dola |
| KENSANDERS | 350 S. Van Dorn Street Alexandria | Ken Sanders |
| Fewson | 296 Whiting St. # V-22 | <i>[Signature]</i> |
| Kathy Collins | 5999 Stevenson Ave | Kathy Collins |
| Kay DeBogam | 225 S Whiting | <i>[Signature]</i> |
| Walter Wadsworth | 190 S. Whiting St. | Walter Wadsworth |
| Frank Collier | 203 YORKUM PARKWAY #573 | <i>[Signature]</i> |
| Al Johnson | 6020 S Lewis Ave. Alex | Al Johnson |
| Adeliana Sanchez | 4508 Southland Ave Alex. | Adeliana Sanchez |
| James P. Burke III | 250 S. Whiting St. #623 | James P. Burke III |
| Leslie Grant | 5911 Edsall Rd Alex VA | Leslie Grant |
| SAUL JAFFE | 101 S. Whiting ST. Alex 22304 | Saul Jaffe |
| JEAN ANN MAYHAN | 309 YORKUM PARKWAY. Alexandria, VA | Jean Ann Mayhan |
| Richard Blawett | 205 Yorkum Pk. 1024 | Richard Blawett |
| O. Paz | 6052 Edsall Rd | O. Paz |
| MAITHRA SH | 307 YORKUM PARKWAY | Maithra Sh |
| MAGHSOUL LOU | | |
| Pam Slater SR | 6153 J alex Va. | Pam Slater Sr |
| James McLeppin | 6060 Tower Court | James McLeppin |
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PETITION

TO THE ALEXANDRIA CITY COUNCIL MEMBERS

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| NAME | ADDRESS | SIGNATURE |
|-------------------|------------------------------------|-------------|
| Idriss Sankoh | 941 N. Van Dorn St #201 Alex | [Signature] |
| Bernard H. Hing | 5623 HERSHET LN - Alex | [Signature] |
| Fatma | 4949 Monticello Dr Alex VA | [Signature] |
| Marie Jean | 6052 Edsall Rd. | [Signature] |
| ADAM MONTAGUE | 5375 DUKE ST | [Signature] |
| Wm. Bond | 6244 L. Little River Turnpike | [Signature] |
| SAMSON | 455 N. ARMISTEAD ST #14 | [Signature] |
| MARCEI DAVIS | 6325 KING DRIVE | [Signature] |
| Azmat Abbas | 5411 SHEPPLE DR #250 | [Signature] |
| H. Wilds | 401 N. ARMISTEAD ST #305 Alex, VA. | [Signature] |
| MINKAI-CAREW | 4531 ARMISTEAD #5 Alex VA | [Signature] |
| J. LANGFORD | 6804 MARLBOROUGH CP VA | [Signature] |
| MA. WARRACH | 3309 S. GLENN DR - 105 VA | [Signature] |
| PAT. PETERSON | 3145 MONTICELLO AVE VA. 223 | [Signature] |
| Nahah Abdel Majed | 4535 Riverwood Hts Dr - Fairfax VA | [Signature] |
| RITA MEUSAN | 425 N ARMISTEAD ST #12 | [Signature] |
| SANDRA BOBIAK | 425 N ARMISTEAD ST 12 | [Signature] |
| | | |
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Duke Shell / S. pocket

TO THE ALEXANDRIA CITY COUNCIL MEMBERS

[illegible]

PETITION

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[illegible]

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mobi 1/B

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PETITION

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[illegible]

TO THE ALEXANDRIA CITY COUNCIL MEMBERS

[illegible]

PETITION

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AT 101 SOUTH VAN DORN STREET.

| NAME | ADDRESS | SIGNATURE |
|-----------------|----------------------------|-----------------|
| Cherlyn # | 412 N Armistead Street | Cherlyn # |
| NUGENT | 6462 King Louis Dr. | Nugent |
| Nora Ali | 5800 Quantrell Ave | Nora Ali |
| Majid Hossain | 7406 Rence St ALEX VA | Majid Hossain |
| M D Khan | 4810 Beauregard St " " | M D Khan |
| N. A. HAMID | " " " #206 " " | N. A. HAMID |
| HAMIDA Khan | 5800 Quantrell Av #214.... | HAMIDA Khan |
| FAHAD A " | " " " " | FAHAD A |
| FARIDA " | " " " " | FARIDA |
| M. A. B | 6049 HYDRANGE DR MX | M. A. B |
| Jim Friedman | 6321 ALBRO LANE | Jim Friedman |
| Mohammed | 8801 Vandy Dr. Alex VA | Mohammed |
| ADOM SPERMAN | 170 CAMBRIDGE RD ALEX VA | ADOM SPERMAN |
| SEANETTE Blake | 4607 LOGSDON DR. ALEX VA | SEANETTE Blake |
| ALONZO Woods | 4607 LOGSDON DR. ALEX VA | ALONZO Woods |
| Munkailan Carey | 1453 N. Armistead #5 | Munkailan Carey |
| Mohamed | 13806 Poplar Tree Rd, ches | Mohamed |
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AT 101 SOUTH VAN DORN STREET.**

[illegible]

20521
6-14-03

Date: July 13, 2003

I have lived within 1/2 mile of the BJ's location for 31 years.

I am against the construction of a gas filling station at BJ's in Landmark.

There are two reasons I feel this way.

1. Traffic.
2. The potential loss of good jobs in the city

TRAFFIC

The traffic in the area is already at a standstill. You know what Duke St. is like. Stevenson and Walker are just as bad. Many times going to Duke you can't get on to Walker in less than two or three changes of the light. Much of the traffic to and from BJ's uses Stevenson and Walker. Intentionally adding more traffic on these streets is nothing short of insanity.

In the traffic study done by Wells and Associates for BJ's, dated April 7, 2003, on page 3 under conclusions, they say "... A minimal increase in delay at the study intersections would be experienced with the proposed development." However, in Table 2 entitled Trip Generation Analysis, they say that there will be an increase of 1764 trips a day. I don't consider that a minimal increase.

There is only one exit from this site, the one on Stevenson Ave. Adding 1764 additional cars on Stevenson Ave per day is unacceptable.

POTENTIAL LOSS OF GOOD JOBS TO THE CITY.

There are already five gas stations within one block of the proposed installation and there are eight within two blocks. (Two on Edsall and S. Van Dorn, one on Duke and Reynolds, one on Duke and S. Pickett, one on Stevenson and S. Whiting, one on Little River Turnpike at Brighton Mall, and two on Little River and Beauregard) I don't know what you might consider this, but eight within two blocks seems more than adequate.

BJ's projects selling over 4 million gallons of gas per year. Much of these sales will come from those other eight stations. If even one station closes, we lose the mechanical repairing facility and the mechanics' jobs that go with it.

Mechanics in this area make in the range of \$20 to \$35 an hour.

The filling station at BJ's will be automated and may not even generate one minimum wage job.

So we may be trading several \$20-35 per hour jobs for, who knows what?

I'm sure that BJ's wants to expand and make more money, but to them this is just like putting another item on the shelves and possibly doing it without having to hire any new personnel.

More traffic and possibly fewer jobs is a bad tradeoff for the city.

Thanks,



Andy Pohl
(703) 370-9055

andynta@yahoo.com

FAX COVER SHEET**PAGE 1 of 3 (including this cover sheet)****TO: Alexandria City Clerk****PHONE: 703-838-6433 (fax)****FROM: ANDY POHL (703-370-9055, andynta@yahoo.com)****SUBJECT: Material for June 14, 2003 City Council Meeting, Docket #20 & 21.****DATE: June 13, 2003**

Please see that this material is included in the City Councils package for June 14, 2003.

Thanks,

Andy Pohl

6370 Brampton Court
Alexandria, VA 22304
Tel 703-461-8916
Fax 703-461-0855

Landmark Mews Zoning Committee

20 & 21
6-14-03

Fax

To: Mayor Kerry J. Donley

From: Ann Foster

Fax: 703-838-6433

Pages: 6, including cover sheet

Phone:

Date: 6-13-2003

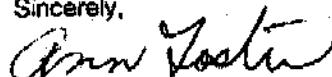
Re: Proposed BJ's Rezoning for Gas Station

The attached explains why our community, for which Stevenson Avenue is the sole outlet, so strongly opposes BJ's application for Master Plan Amendment, Rezoning, and Special Use Permit.

The application is totally misleading as to actual intent and impact. Notice was inadequate. Someone apparently put this on the fast track. The application **does not** have "community support".

We would appreciate your taking time to read the attached and your support of our recommendation to disapprove the application.

Sincerely,



Ann Foster

LANDMARK MEWS COMMUNITY ASSOCIATION

P. O. Box 11153
Alexandria, VA 22312

20921
6-14-03

[Landmark Mews consists of 148 upscale town homes at the end of Stevenson Avenue]

Proposed Rezoning / Special Use permit / Master Plan Modification To Allow BJ's To Build and Operate a Gas Station at the Van Dorn / Stevenson Avenue Site-- June 12, 2003

Introduction:

BJ's requests the City Counsel waive the City's Master Plan, rezone, waive zoning requirements for parking, and grant a special use permit to allow BJ's to build and operate a gas station and bank on BJ's parking lot – in return for enhanced landscaping.

The City should disapprove the applicant's request:

- The applicant makes representations that it knows, or should know, are inaccurate. The effect is to significantly underestimate traffic impacts and future requirements for parking spaces. The result will be increased congestion and inadequate BJ's parking. The applicant has masked all this.

[For examples, please see Attachment 1]

- A BJ's gas station would greatly exacerbate the already unacceptable traffic congestion on Duke, Walker, Stevenson, Van Dorn – hereinafter called Congestion Quadrangle. Congestion Quadrangle is already well above acceptable usage and congestion levels.
- BJ's offer of "cheap gas" is not a public service when the company's ability to undercut the eight other nearby, independent, full service, stations hinges largely on being able to:
 - Persuade City Council to waive requirements that currently attach to the property so that the company can, in effect, build its gas station on "free" land.
 - Have a large retail operation to help absorb the new fixed costs.
 - Use the gas station as a magnet to increase the number of members and the frequency of member visits, which translates to increased retail store sales.
 - Skim off the easy work that requires little or no skills, leaving to others the burden of full car service significantly reduced revenue from gasoline sales.

[Note: If BJ's wants to compete fairly in the gas station business, is should purchase of one of the eight independent gas stations within a mile of the club. Of course, that would defeat BJ's intent which is to draw more members into the its parking lot and hence to the store. If BJ's skims off the gasoline business, the

price of repair work in affected areas will rise -- offsetting, in large measures, the "savings" BJ's purports to be providing the community.]

- BJ's offer to beautify its own property in an area of such limited possibilities is not worth the 30-40 percent (or more) increase in Congestion Quadrangle traffic that should result from gas station, banking, and reorientation of BJ's product lines.

(Note: Kent's Landmark Mews Mobil, a few hundred yards from the proposed BJ's gas station is the station most threatened by BJ's proposal. Kent's station has always been meticulously maintained -- one of the most beautifully landscaped properties in the area, including private residences. In contrast, BJ's, having neglected appearances, now offers improved landscaping only in trade for land use concessions. It is also worth noting that Kent and his staff provide outstanding, cheerful service for our community at very reasonable prices.)

- If the City approves proposed reduction in parking spaces, the expansion of BJ's overall business would lead to a shortage of BJ's parking, to the detriment of surrounding areas, particularly the Van Dorn Shopping Center, which is nearby BJ's club entrance.

Summary and Conclusions

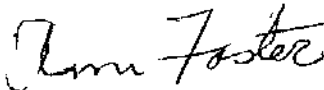
- In the early 90's, BJ's and the City agreed on the terms for building and operating the retail outlet now there. The approved deal stipulated parking spaces and did not include a gas station or a bank.
- Adding both the gas station and the bank is an effort to bring more members into BJ's parking lot and into the store -- but BJ's wants the City to authorize reduced parking as if there would be no increase. The traffic impact will be a far greater than the company represents and parking will end up well below Alexandria standards.
- The City has burdened the West End area with high-density developments, with little prospect for traffic relief. It would be wrong, in this climate, for the City to rework old deals to approve even more intensive use of this property and add to the congestion.
- Any public benefit from BJ's proffer to landscape its own property is far outweighed by the adverse traffic effects and potential parking shortage.

Recommendations

Disapprove BJ's request to build and operate a gas station at the Van Dorn / Stevenson Avenue site.

To streamline the land use process, facilitate staff review, and lessen the risk of being misled, the City should also:

- Require applicants to provide more extensive and visible notification of proposed land use actions to possibly affected neighbors. The large, yellow signboards Fairfax County requires are a better form of public announcement than the paper notices BJ's affixed to a few lamp poles and which can easily be mistaken for advertisements.
- Require that applicants and attorneys representing applicants certify upon submission -- and again before Planning Commission and City Council meetings -- that the information they have provided is current, complete, and accurate.
- The penalty for those who knowingly submit false or misleading information should be disqualification, for say five years, from involvement in City land use matters.
- Reevaluate the need for traffic studies in connection with land use applications if adding to traffic congestion of streets of streets already above acceptable usage levels is not to be a bar against rezoning and special use permits.



Ann Foster, Chair
Zoning and Land Use Committee

Examples Of Misleading Information from BJ's Application:

- 1) BJ's calculates numbers of additional trips by dividing an assumed 7,000 gallons per day business by an estimated 12 gallons per visit. In calendar year 2000, gasoline volume for BJ's clubs with gas stations averaged nearly 12,000 gallons per visit.¹
- 2) BJ's projects future parking space needs based on historical experience. BJ's fails to factor in the effects of recent efforts to increase member visits by expanding retail space within the existing building and by devoting a much larger share of total retail space to groceries, which prompt more frequent visits as opposed to electronic components, books, jewelry, and the like.
- 3) BJ's parking analysis contends that the gas station and bank combined should require only 15 additional parking spaces to support. A Bear Stearns financial analyst reports:

"BJ's has seen increases of 30% to 40% in weekday [traffic] in those clubs with gasoline [stations]."²

- 4) BJ's Traffic Impact Study, although literally correct, creates a totally wrong impression. Using understated trip volumes as explained above, the study concludes:

"...the four key intersections continue to operate at the same overall levels of service as those experienced under background conditions without the proposed improvements."; and

"there will be minimal delay at the study intersections as a result of the proposed development."

[Note: The way these analyses work, a BJ's Traffic Impact Study using realistic trip assumptions, would probably conclude the same. "Overall levels of service" if unsatisfactory remain unsatisfactory, with or without additional traffic. The increment of additional traffic associated with land use variances tend to look small in relation to base load, which is why the situation keeps getting worse.]

- 5) BJ's calculation of 15 additional parking spaces required for addition of the gas station and bank is disingenuous. The analyst plugged in what the City requires if these were stand-alone businesses. Nowhere, does the study take into account BJ's experience that addition of on-site gas stations generates a 30-40% increase in trips. A quote from the *2001 Warehouse Club Industry Guide*, makes this clear:

BJ's believes that as first, members who use the gasoline stations buy only daily merchandise, such as milk, bread and eggs. However, as a purchase pattern

¹ Warehouse Club Focus. *2001 Warehouse Industry Guide*

² *ibid.*

develops around gasoline purchases, the average transactions begin to increase purchases inside the club.

- 6) BJ's (or staff) falsely represents "community support" for the revised application - referring to meetings with the Holmes Run Park Committee and consideration of comments provided at those meetings from people who happened to attend. In fact:
 - a) The Holmes Run Park Committee decided **not** to take a position on the application.
 - b) Membership on that committee, which apparently accepts whoever shows up, consists largely of communities unaffected by traffic in BJ's "congestion quadrangle" and does not purport to speak for neighboring communities that might be more affected.
 - c) The Committee's primary focus is on protecting Holmes Run Park, which is nowhere near BJ's. Apparently the record showed input from that organization in the original BJ's development plan, so the staff made sure that group was notified of the current application, apparently ignoring residents on Stevenson, Stultz, Yoakum Parkway, and Whiting, who would be most directly affected.

20 & 21
6-14-03

Phone Log
Opposed to Gas Station at BJ &

Barbara Loomis
6137 Edsall Rd. #F
Alep.

Cindy Baker
4801 W. Dredlock Rd, Apt. 3

John Edwards
309 Ypsilum Parkway

Ellen Duffy
302 Ypsilum Pkwy, Apt. 904
Watergate at Sandmarke
703-370-3786

SPEAKER'S FORM

**PLEASE COMPLETE THIS FORM AND GIVE IT TO THE CITY CLERK
BEFORE YOU SPEAK ON A DOCKET ITEM.**

DOCKET ITEM NO. 20 + 21

PLEASE ANNOUNCE THE INFORMATION SPECIFIED BELOW PRIOR TO SPEAKING.

1. NAME: Lonnie C. Rich
2. ADDRESS: 101 W. Under Terr., Alex., VA 22301
TELEPHONE NO. 703/519-7901 E-MAIL ADDRESS: _____
3. WHOM DO YOU REPRESENT, IF OTHER THAN YOURSELF? _____
Kent Taylor
4. WHAT IS YOUR POSITION ON THE ITEM?
FOR: _____ AGAINST: ✓ OTHER: _____
5. NATURE OF YOUR INTEREST IN ITEM (PROPERTY OWNER, ATTORNEY,
LOBBYIST, CIVIC INTEREST, ETC.):
Attorney
6. ARE YOU RECEIVING COMPENSATION FOR THIS APPEARANCE BEFORE
COUNCIL? YES ✓ NO _____

This form shall be kept as a part of the Permanent Record in those instances where financial interest or compensation is indicated by the speaker.

A maximum of 5 minutes will be allowed for your presentation. If you have a prepared statement, please leave a copy with the City Clerk.

Additional time, not to exceed 15 minutes, may be obtained with the consent of the majority of the Council present, provided that notice requesting additional time with reasons stated is filed with the City Clerk in writing before 5:00 p.m. of the day preceding the meeting.

The public normally may speak on docket items only at Public Hearing Meetings, and not at Regular Meetings. Public Hearing Meetings are usually held on the Saturday following the second Tuesday in each month; Regular Meetings are regularly held on the Second and Fourth Tuesdays in each month. The rule with respect to when a person may speak to a docket item can be waived by a majority vote of Council members present, but such a waiver is not normal practice. When a speaker is recognized, the rules of procedures for speakers at public hearing meetings shall apply.

In addition, the public may speak on matters which are not on the docket during the Public Discussion Period at Public Hearing Meetings. The Mayor may grant permission to a person, who is unable to participate in public discussion at a Public Hearing Meeting for medical, religious, family emergency or other similarly substantial reasons, to speak at a regular meeting. When such permission is granted, the rules of procedures for public discussion at public hearing meetings shall apply.

Guidelines for the Public Discussion Period

- All speaker request forms for the public discussion period must be submitted by the time the item is called by the City Clerk.
- No speaker will be allowed more than 5 minutes, and that time may be reduced by the Mayor or presiding member.
- If more than 6 speakers are signed up or if more speakers are signed up than would be allotted for in 30 minutes, the Mayor will organize speaker requests by subject or position, and allocate appropriate times, trying to ensure that speakers on unrelated subjects will also be allowed to speak during the 30-minute public discussion period.
- If speakers seeking to address Council on the same subject cannot agree on a particular order or method that they would like the speakers to be called, the speakers shall be called in the chronological order of their request forms' submission.
- Any speakers not called during the public discussion period will have the option to speak at the conclusion of the meeting, after all docketed items have been heard.

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SPEAKER'S FORM

**PLEASE COMPLETE THIS FORM AND GIVE IT TO THE CITY CLERK
BEFORE YOU SPEAK ON A DOCKET ITEM.**

DOCKET ITEM NO. 20521

PLEASE ANNOUNCE THE INFORMATION SPECIFIED BELOW PRIOR TO SPEAKING.

1. NAME: E. L. Byrd
2. ADDRESS: 1750 Tysons Blvd.
TELEPHONE NO. 7125480 E-MAIL ADDRESS: _____
3. WHOM DO YOU REPRESENT, IF OTHER THAN YOURSELF? _____
the applicant
4. WHAT IS YOUR POSITION ON THE ITEM?
FOR: _____ AGAINST: _____ OTHER: _____
5. NATURE OF YOUR INTEREST IN ITEM (PROPERTY OWNER, ATTORNEY,
LOBBYIST, CIVIC INTEREST, ETC.):
attorney
6. ARE YOU RECEIVING COMPENSATION FOR THIS APPEARANCE BEFORE
COUNCIL? YES ☒ NO ☐

This form shall be kept as a part of the Permanent Record in those instances where financial interest or compensation is indicated by the speaker.

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APPLICATION for
DEVELOPMENT SPECIAL USE PERMIT with SITE PLAN
DSUP # 2003-0003

PROJECT NAME: BJs Wholesale Club

PROPERTY LOCATION: 101 S. Van Dorn Street

TAX MAP REFERENCE: 47.00-06-06-01 ZONE: CRMU-M

APPLICANT Name: BJs Wholesale Club, Inc.

Address: 1 Mercer Road, Natick, MA 01760

PROPERTY OWNER Name: Carl M. Freeman Associates, Inc.

Address: 11325 Seven Locks Road, Potomac, MD 20854

SUMMARY OF PROPOSAL: Addition of five fueling stations and a

4,000 square foot pad site for retail

MODIFICATIONS REQUESTED: _____

SUP's REQUESTED: DSUP Amendment, parking reduction, rezoning, Master Plan amendment, auto-oriented use

THE UNDERSIGNED hereby applies for Development Site Plan, with Special Use Permit, approval in accordance with the provisions of the Zoning Ordinance of the City of Alexandria, Virginia.

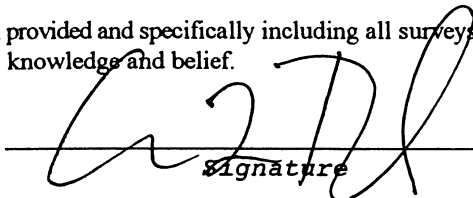
THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article XI, Section 11-301 (B) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

THE UNDERSIGNED also attests that all of the information herein provided and specifically including all surveys, drawings, etc., required of the applicant are true, correct and accurate to the best of his knowledge and belief.

Erika L. Byrd
Print Name of Applicant or Agent

McGuireWoods LLP
1750 Tysons Boulevard, Suite 1800
Mailing/Street Address

McLean, VA 22102


Signature

703-712-5480 703-712-5288
Telephone # Fax #

February 27, 2003
Date

City and State Zip Code

DO NOT WRITE BELOW THIS LINE - OFFICE USE ONLY

Application Received: _____

Received Plans for Completeness: _____

Fee Paid & Date: \$ _____

Received Plans for Preliminary: _____

ACTION - PLANNING COMMISSION: RECOMMEND APPROVAL 7 TO 0

ACTION - CITY COUNCIL: 6/14/03PH--CC denied the request for rezoning
and the special use permit.