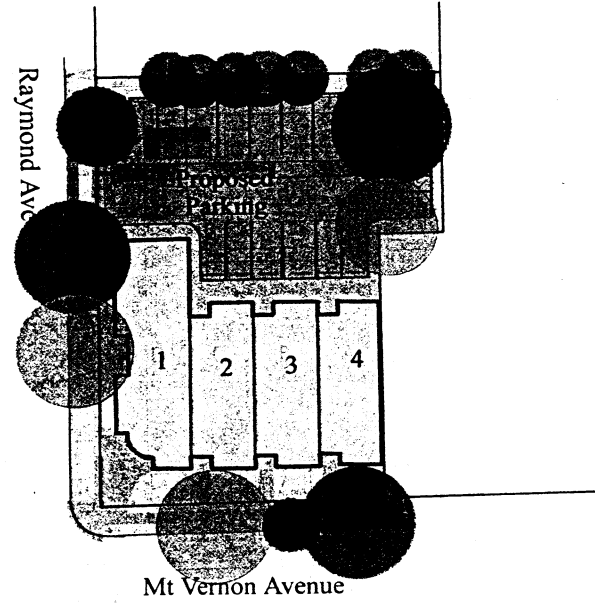
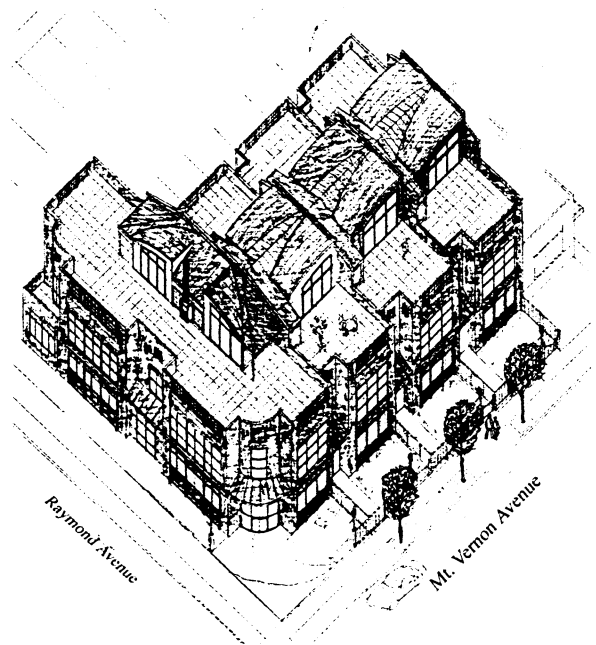


# The Lofts at Del Ray Village



**2707-2711 Mt. Vernon Ave**

**Development  
Special Use Permit  
#2003-0021**

**Department of Planning and Zoning  
Planning Commission Meeting  
June 7, 2005**

Docket Item #22  
DEVELOPMENT SPECIAL USE PERMIT  
#2003-0021  
THE LOFTS AT DEL RAY VILLAGE

Planning Commission Meeting  
June 7, 2005

**ISSUE:** Consideration of a request for a development special use permit, with site plan, modifications, and subdivision, for the construction of a mixed-use building.

**APPLICANT:** Gaver Nichols

**LOCATION:** 2707-2711 Mount Vernon Avenue

**ZONE:** CL/Commercial Low; Mount Vernon Avenue Urban Overlay Zone

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**PLANNING COMMISSION ACTION, JUNE 7, 2005:** On a motion from Mr. Komoroske, seconded by Ms. Fossum, the Planning Commission voted to recommend approval of the request, subject to compliance with all applicable codes, ordinances and staff recommendations, with changes to conditions #1n, 3b, 4i, 32, 39, and 43. The motion carried on a vote of 7 to 0.

Reason: The Planning Commission agreed with the staff analysis, and found the proposal consistent with the Mount Vernon Avenue Business Area Plan, the Mount Vernon Avenue Design Guidelines, and the Mount Vernon Avenue Urban Overlay Zone District.

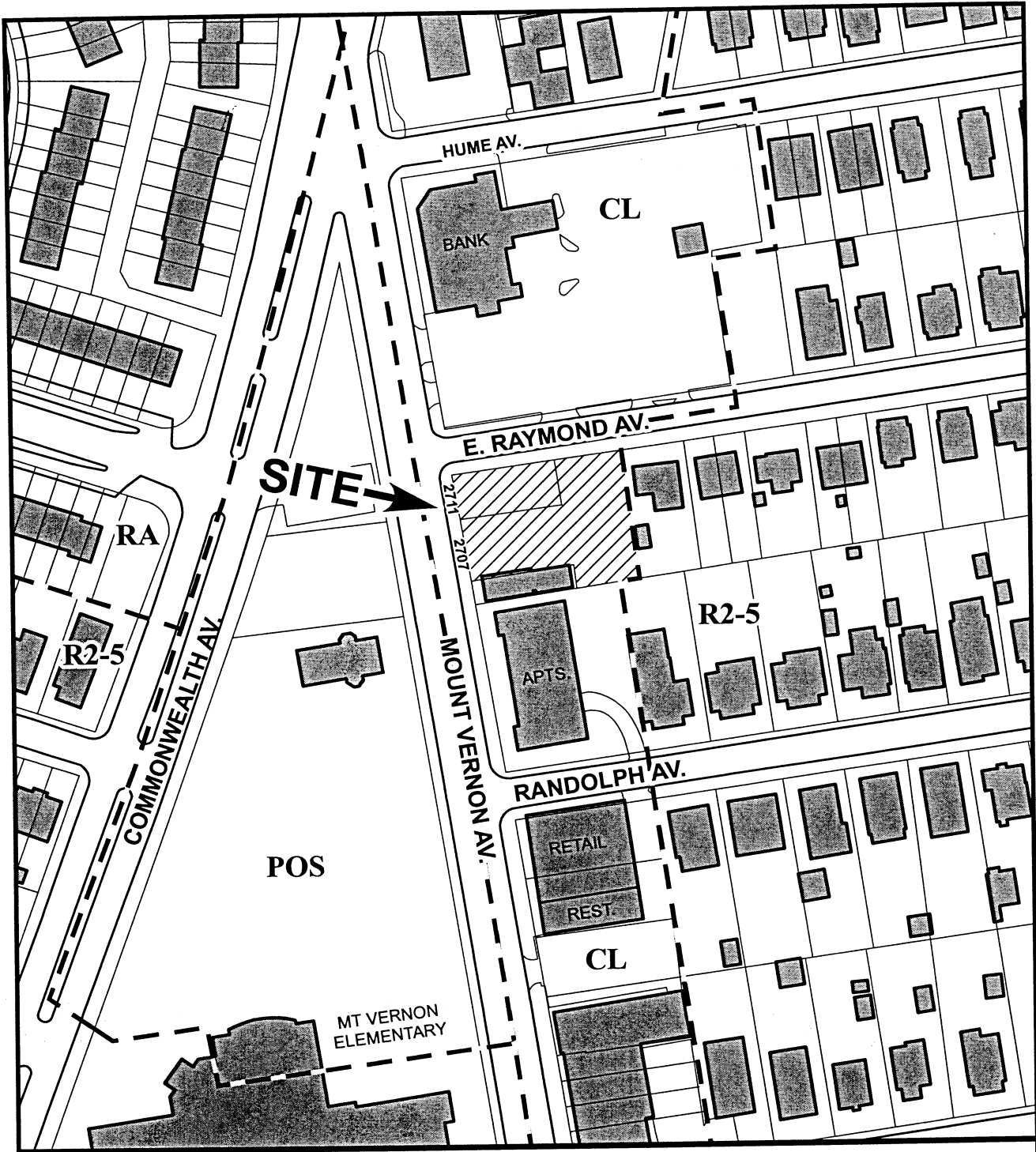
Speakers

Gaver Nichols, applicant, spoke in support of the application.

James Snyder, applicant, spoke in support of the application.

Amy Slack, representing the Del Ray Civic Association Land Use Committee, stated the Association was generally in favor of the project but had concerns over the proposed conditions regarding crosswalk treatment and sidewalk width.

Kenneth Carlisle, resident 103 Raymond Avenue, expressed concerns over the proposed parking lot landscaping, and drainage.



**DSUP #2003-0021**

**06/07/05**



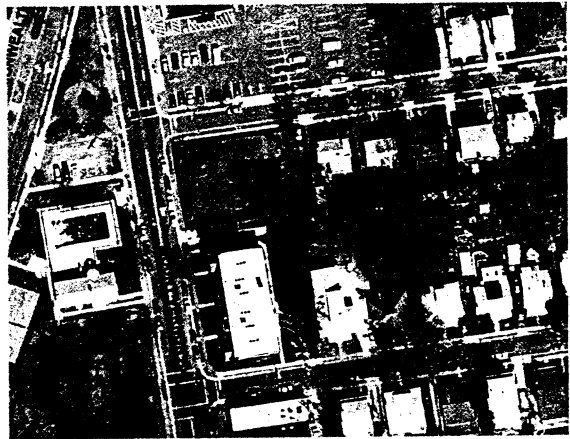
**I. IMPACTS/BENEFITS:**

<b>IMPACT/BENEFIT</b>	<b>COMMENTS</b>
<b>Consistency with the Mount Vernon Area Plan</b>	<ul style="list-style-type: none"> <li>• The proposal is a mixed-use project, with ground floor commercial and upper level residential, continuous street wall building mass with a stepped-back third story, parking lot at the rear of the site, enhanced streetscape and pedestrian improvements to help to provide an active and vibrant development along Mount Vernon Avenue.</li> </ul>
<b>Use</b>	<ul style="list-style-type: none"> <li>• Four dwelling units with ground floor commercial or residential use.</li> </ul>
<b>Open Space</b>	<ul style="list-style-type: none"> <li>• 15% ground level open space, with additional rooftop/terrace level open space.</li> <li>• Small landscaped front yards.</li> </ul>
<b>Pedestrian/Streetscape</b>	<ul style="list-style-type: none"> <li>• Corner sidewalk plaza.</li> <li>• Concrete paver sidewalks with street landscaped strip and five added street trees.</li> <li>• Ground level commercial activity.</li> </ul>
<b>Building Compatibility</b>	<ul style="list-style-type: none"> <li>• Three story building height, with the third story setback 15 feet from the front and rear.</li> </ul>
<b>Traffic/Transit</b>	<ul style="list-style-type: none"> <li>• Adjacent to bus stops.</li> <li>• Pedestrian improvements.</li> <li>• High-speed internet access provided to encourage telecommuting.</li> </ul>
<b>Parking</b>	<ul style="list-style-type: none"> <li>• Parking lot located at rear of site.</li> <li>• 1 space per dwelling - 4 residential, 12 for commercial/visitor (16 total)</li> </ul>
<b>Environment</b>	<ul style="list-style-type: none"> <li>• Green building elements such as non-toxic building materials, energy efficient appliances, low emission paints, high efficiency mechanical equipment and recycled materials.</li> <li>• Existing 17" diameter Oak tree to be retained</li> </ul>

## II. EXECUTIVE SUMMARY:

### A. Overview:

This proposal for a new building at the corner of Mount Vernon and Raymond Avenues is the first project to use the new form-based code adopted as part of the recently approved Mount Vernon Avenue Business Area Plan and the new Mount Vernon Avenue Urban Overlay Zone. The proposed development will be mixed use, with the potential for ground floor commercial and residential use on the upper levels, the proposal requires a special use permit as part of the optional guidelines for infill buildings on Mount Vernon Avenue.

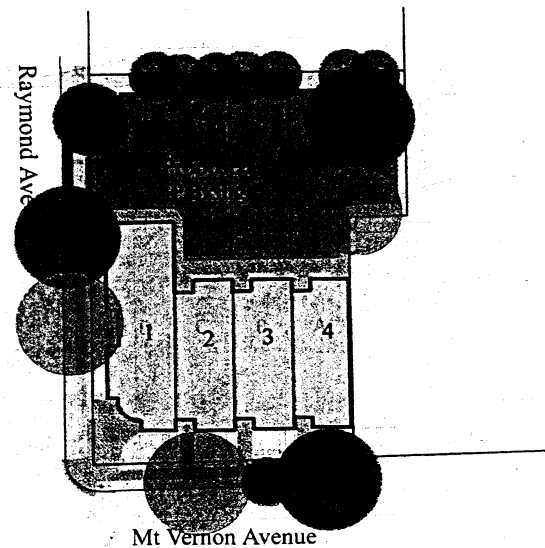


*Aerial Photograph with Site Outlined*

As proposed, the three-story mixed use building will include approximately 4,500 sq. ft. of commercial (personal service and/or office) use on the ground floor and four residential units on the upper two levels of the building. A 16 space surface parking lot, which provides the required parking, will be located in the rear of the building and will be accessed from Raymond Avenue.

The proposal presents an opportunity to redevelop a long vacant site on Mount Vernon Avenue with a mixed-use building that has the potential to contribute to the activity and character of the Avenue in the way envisioned by the Mount Vernon Avenue Plan. The site was identified in the Mount Vernon Avenue Business Area Plan as an opportunity site for redevelopment. The infill development principles of the Plan include:

- Encourage a mix of uses and commercial uses on the ground floor;
- Promote residential uses on the upper floors;
- Allow for appropriate infill development by “stepping” down the height of buildings;
- Providing buffers for adjoining residences in the rear;
- Protect adjacent residential neighborhoods;
- Enhance the streetscape and the pedestrian-environment; and



*Rendered Site Plan*

- Protect and enhance the unique character of Mount Vernon Avenue.

The redevelopment of the site presents challenges and opportunities that include:

*Challenges*

- Providing an appropriate mass and scale that are compatible with Mount Vernon Avenue and the adjoining modest scale residential uses;
- Ensuring that the building is well designed as one of the first significant developments since the adoption of the Mount Vernon Avenue Business Area Plan;
- Maintaining a level of ground level open space and “openness” for the development; and
- Protecting adjacent homes from the impacts of the development.



*Mt Vernon Avenue Elevation*

*Opportunities*

- Redevelopment of a site that has been identified by the Mount Vernon Avenue Business Area Plan as a potential redevelopment site;
- Pedestrian and streetscape improvements;
- Mixed-use development;
- Ground level open space-openness; and
- Neighborhood serving commercial uses.

The proposed mass, scale and mix of uses are compatible with the Plan, which in combination with the proposed pedestrian and streetscape improvements, will provide an urban mixed-use building on Mount Vernon Avenue. The proposed uses will add to the vibrancy of this portion of Mount Vernon Avenue and staff is recommending improved sidewalks, crosswalk treatments, street trees, landscaping, front yard landscaping, fencing, and pedestrian scale lighting, all of which will contribute to the streetscape and pedestrian environment.

**B. Issues Addressed by Staff Recommendations:**

While staff is recommending approval, a series of recommended conditions have been included to address the need for additional buffering to screen the eastern portion of the property, to provide

additional open space, streetscape and pedestrian improvements, and to ensure the use of high quality building materials.

***Buffering-Screening on the Eastern Property line***

A fundamental principle of the Plan and form-based zoning for this site requires that appropriate building setbacks be provided at the rear of lots and that parking lots be adequately screened in order to minimize impacts on the adjacent residential properties. The design guidelines require a six to ten foot landscaped screening buffer for surface parking lots located at the rear of Mount Vernon Avenue parcels. The project proposes the minimum six-foot strip along the rear property line with a single row of screening vegetation. To provide additional screening for the adjoining single family home, staff is recommending that the applicant be required to supplement its proposal by providing a six ft. tall decorative fence for screening and evergreen plantings at a mature height and dense spacing at the time of planting. Staff has also added recommendations to minimize spillover lighting and glare for the adjoining single family home.

***Pedestrian Circulation, Streetscape and Open Space***

The applicant is providing small front yards, landscaping and a corner area that will provide a sense of “openness” for the development from the street, and an opportunity for some green-landscaped areas in the rear. However, these spaces are small, and therefore need to be exceptionally well designed and landscaped in order to achieve their potential benefit for both the residents of the project and the public. For example, the corner entrance area should be designed more as a plaza that could also be used by the public and could contribute, along with enhanced pedestrian features along the street, to the public realm. More specifically, open space and pedestrian conditions include:

- A plaza design with decorative pavers, benches, and special features, at the corner of Mount Vernon and Raymond Avenues;
- Additional landscaping and on-site pedestrian scale lighting;
- Public benches and trash receptacle for the street frontages; and
- Bicycle racks.

With these conditions, the proposed development will provide a significant amount of pedestrian improvements on Mount Vernon Avenue and open space areas that could contribute to the quality of life for both residents and the Avenue.

***Building Design - Compatibility***

The proposed building on Mount Vernon Avenue consists of four articulated bays and a curved corner element, which recalls elements of other Art Deco or Art Moderne buildings on Mount

Vernon Avenue. The third floor is setback approximately 15 feet and designed in a more contemporary form with contemporary materials. While the overall approach is appropriate, the appearance of the building will rely heavily on the detail of each element of the building. Because many of the details are not reflected in the current drawings submitted by the applicant, staff has included recommendations to ensure that the high quality materials, detailing and architecture expected by the Plan and important for this visually prominent location are provided.

**C. Community:**

The proposal was discussed at four meetings of the Del Ray Citizens Association Land Use Committee, most recently in February 2005, and also on May 19, 2005. The Del Ray Citizens Association Land Use Committee positions were:

- Supportive of the project in general;
- Felt that the open space along Mt. Vernon Avenue should be consistent with the open space in front of the apartment building to the south of the site; and
- Supportive of the vision clearance waiver.

**D. Staff Recommendation:**

Staff recommends **approval** with the recommendations of approval as outlined within the staff report.



### III. BACKGROUND:

The uses surrounding the site include a single family house to the east, the SunTrust Bank and surface parking lot across Raymond Avenue to the north, the Nicolas Colesanto Center and Park and the Mount Vernon Elementary School across Mount Vernon Avenue to the west, and a three-story apartment building to the south on Mount Vernon Avenue. The uses to the east primarily consists of single-family homes, and is zoned R2-5.



*Adjoining SunTrust Bank*

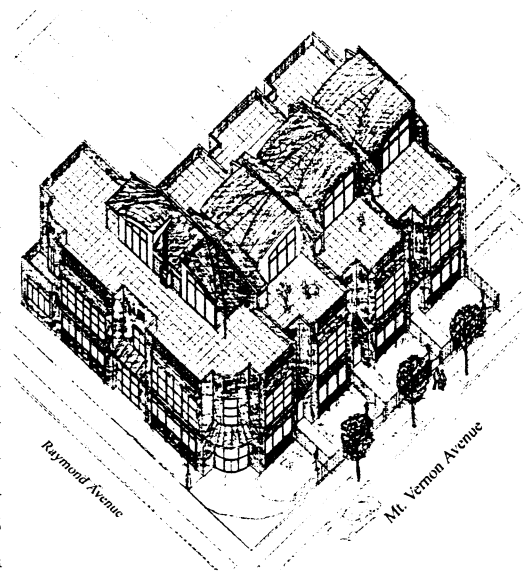


*Adjacent Dwelling on Raymond*

The 13,619 sq ft site has been vacant for a considerable amount of time and is a site where redevelopment has been anticipated by the community, the City and the Mount Vernon Avenue Business Area Plan. A single family house previously occupied the middle of the site, and was demolished in the mid 1970's. The site is presently divided into two lots of record.

### IV. PROJECT DESCRIPTION:

The proposed development is a three-story building with a basement level. The property will be subdivided into four lots and the building will be divided into four vertical units. Within each unit, the upper two floors will be a residential unit, and the ground floor and basement will be built as commercial space. There is a total of 4,473 sq ft of commercial space on the ground floor. The four individual units (including both residential and commercial space) range in size from 2,053 sq ft to 2,949 sq ft of floor area. The residential units will contain from 1,057 to 1,464 sq ft, and each unit will contain two bedrooms. The residential units also have rooftop decks, in the front and rear of each unit. A surface parking lot for sixteen parking spaces,



*Corner View of Proposed Building*

including one handicapped, seven standard, and eight compact spaces, will be provided in the rear of the building. The parking lot will be screened on Raymond Avenue with a brick wall and landscaping.

The commercial space included in the building will be office and/or personal service uses. Although at other locations on Mount Vernon Avenue, retail use is required for ground floor street uses, a fundamental principal of the Plan is to distinguish between the “core” area on the Avenue, which has been designated as a retail focus area, and the sites, such as this one, which are outside the “core.” In order to best achieve a retail concentration where it is most vital, ground level space in the retail focus area requires retail use; outside the core, retail is neither required nor supported so as not to detract from retail efforts within the core. Office and other commercial uses in the proposed building have the potential to add neighborhood-serving uses, add activity to the street, and provide space for office uses (e.g. architect’s office) that may not be as desirable in the retail focus area. The applicant’s building arrangement will also allow for “live/work” opportunities, whereby an owner of a unit can live upstairs and have his office on the ground floor.



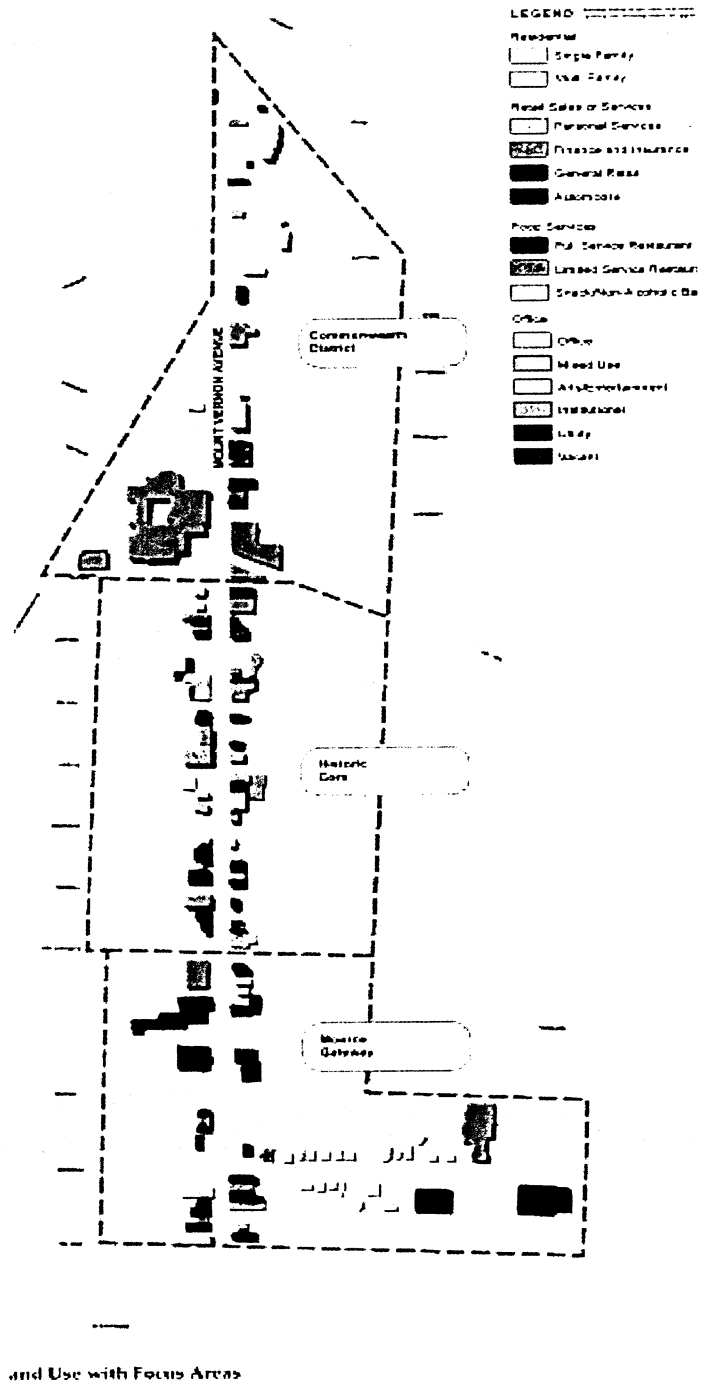
*Adjoining Apartments*

While staff strongly supports the mix of uses proposed for the building, it is important to note several factors that may contribute to its future use. First, retail uses, while not prohibited by the zoning at this location, have not been included as an option because there is insufficient parking to support them. A parking reduction would be necessary if a restaurant or other retail use is to occupy the commercial space in the building, which will require a subsequent special use permit approval. Second, there is no requirement that the units include any commercial use on the ground floor. Given the market, staff sees the potential for future purchasers of each of the four units, or at least some of them, using the ground floor and basement areas for residential use. The zoning permits an all residential building at this location and, while staff encourages the ground floor commercial use, an all residential building here would not have a significantly negative impact on the neighborhood.

The building will be setback from the sidewalk on Mount Vernon Avenue approximately 10 feet, providing small front yards to soften the building. The green setback area is similar in size to the minimum 15 setback at the apartment building immediately to the south of the site, and thus provides a compatible urban design for this now undefined portion of Mount Vernon Avenue. The front areas also provide open space for both the residents and occupants of the new building and for the community. The building is setback approximately 50 ft. from the rear property line, and that area is used as parking and for landscape screening.

The applicant is proposing a total of 3,595 sq ft of open space for the site, with 2,159 sq ft at ground level and 1,436 sq. ft. on the second floor roof/third floor terrace level. Each lot will have individual open space provided in its respective front yard and rooftop areas, and share common open space at the rear of the site. Shown as a percentage, for the entire project there is 13.4% site provided as ground floor usable open space. The amount of ground level usable open space that is required by the overlay zone for this site area is 15%. In order to meet the minimum 15% level, Staff recommends a condition that the ground level open space be increased slightly, in the final site plan process. Staff has discussed with the applicant that this can be accomplished through increasing the width of the landscaped strip along the easterly property line from six to eight feet.

The parking provided complies with the zoning requirements under the new Mount Vernon Avenue Urban Overlay Zone, as a "Tier 2" lot within the urban overlay zone. The zone requires one parking space for each residential dwelling (4 spaces required) and 1 space/200 sq ft for the personal service commercial ground floor and basement (10 spaces required) for a total of 14 required parking spaces; and, as an alternative, if the commercial areas are used for office space, then 1 space/225 sq ft is required (11 spaces required), for a total of 15 spaces.



*Mt Vernon Ave Plan  
 Land Use with Focus Areas*

DSUP#2003-0021  
THE LOFTS AT DEL RAY VILLAGE

The site is served by the new Metrobus Line #10B, which runs from Braddock Road Metro Station and uses Mount Vernon Avenue and South Glebe Road to access Potomac Yard Retail Center before going on to Crystal City. A bus shelter is directly across Mt. Vernon Avenue from the site, adjacent to the Nicolas Colasanto Center and Park. The bus service started March 12, 2005, and the hours of operation are weekdays between the hours of 6:45 a.m. and 9:30 p.m. Buses on this route run every 26 minutes.

**V. ZONING:**

The new Mount Vernon Urban Overlay Zone gives developers along Mount Vernon Avenue a choice: they can comply with the long standing rules of the CL/Commercial low zone or, under Section 6-606, they may opt to follow the new provisions for Form Based Development as part of a special use permit. In this case, the applicant has chosen the form based code approach which requires a SUP and compliance with the design guidelines. The information below relates to the specific dimensions and requirements of the form based zoning.

<b>DEL RAY LOFTS</b>		
Property Address:	2707-2711 Mt Vernon Avenue	
Total Site Area:	13,169 sq. ft.	
Zone:	CL - Mount Vernon Overlay Zone	
Current Use:	Vacant	
Proposed Use:	Residential dwellings and ground floor commercial use.	
<b>Requirements - Form Based Code (Tier 2)</b>		<b>Proposed</b>
<u>Street wall</u>	- minimum 100% of the width of the lot.	94.6%
<u>Front setback</u>	- maximum 15 ft from the property line.	10 ft.
<u>Height</u>	- minimum two levels, maximum three levels (max 40 ft.) - 28 degree angle	Three Levels 33 ft. 22 1/2 degree angle
<u>Rear buffer</u>	- Minimum screening of 6-10 ft landscaped buffer adjacent to residential depending on the quality of screening	6 ft.
<u>Stepback</u>	- Required building stepback at third level 10-15 ft.	12ft. to 15 ft.
<u>Lot Occupancy</u>	-Maximum 60%	34%
<u>Open Space</u>	- Minimum 15% of the lot area (Tier 2)	15% ground level minimum*
<u>Parking</u>	- Residential 1 space/unit: 4 - Personal Service ½ of 1 space/400 sqft: 10 or Office ½ of 1 space/450 sqft: 11 <span style="float: right;">Total: 15</span>	4  12 16
* As conditioned		

## **VI. STAFF ANALYSIS:**

This application is an important one because it proposes the redevelopment of one of the large vacant opportunity sites on Mount Vernon Avenue, and is the first development proposal to use the form based code provisions so integral to the new Mount Vernon Avenue Plan and zoning. As such, staff's principal concern was to ensure that the project not only met the Plan and zoning guidelines, but served as a model for future infill developments on Mount Vernon Avenue.

The new Plan guidelines and zoning are designed to provide a basis for development applications like this one. They allow landowners and developers to know beforehand the City and the community's goals for development, and provide staff and decision-makers with a foundation on which to judge urban infill projects for their success in meeting those goals.

### ***A. The Mount Vernon Avenue Business Area Plan and Urban Overlay Zone:***

The recently adopted Plan was a response to community and City concerns about the long term competitiveness of Mount Vernon Avenue and the direction of future development along the street. While much of the street will not be redeveloped, care and sensitivity are required for those few sites, including this site, where redevelopment is possible. The planning process, through its extensive community involvement, has provided a long term vision for Mount Vernon Avenue. The *Plan* provides an overall market, design, land use, parking, and transit framework, identifies appropriate types of uses and levels of development, and directs future development of Mount Vernon Avenue through a set of guiding principles and form based code provisions.

In terms of a land use strategy, the Plan strives for compatible, vibrant infill redevelopment while protecting neighboring residential areas. The subject property is within the Commonwealth District in the Plan, and is identified as an "opportunity" site, one for which development is anticipated and the land use principals and strategies of the Plan were designed. The following are principles of the *Plan* which relate to a review of the proposed development.

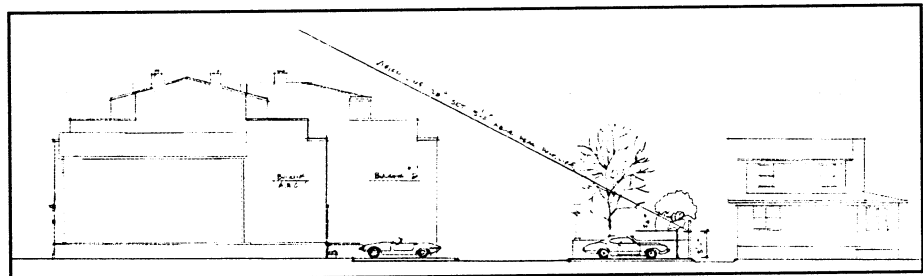
#### ***PRINCIPLE: Encourage and support mixed-use development***

While the site is outside the retail "core" area, the applicant is proposing approximately 4500 sq ft of commercial use on the ground floor, with four residential units, on the upper floors. The project contains both residential and commercial uses to help provide a additional pedestrian activity for the area. The combination of uses could contribute to reduced automobile trip generation and greater level of pedestrian activity on Mount Vernon Avenue.

**PRINCIPLE:** *Promote appropriate infill development*

Appropriate infill development is development which conforms to the mixed use goals of the plan and the urban design of the existing street. The proposal is compatible in form to nearby buildings, and protects adjacent residential homes. The Plan defines the urban design objectives for new development as follows:

- New construction should reflect the scale of existing buildings;
- A consistent street wall should be maintained, with some variations to allow for landscaped open space, an opportunity for side windows and for site access where necessary;
- New construction should be two to two and one-half stories, with a setback where a third story is provided;
- New buildings should help define the corners where side streets intersect Mt. Vernon Avenue, with retail storefront windows extending onto the side streets;
- Appropriate building setbacks and parking lot screening will minimize impacts on adjacent residential properties;
- Ground level retail storefronts should contribute to the vitality of the streetscape and the pedestrian experience;
- Direct driveway access to Mt. Vernon Avenue is not desirable; and
- Off-street parking lots should be located to the rear of the property, with access provided from rear alleys, when available, side streets or access easements from adjoining properties.



*Illustration of 28 degree Setback Plane*

The form based development process requires compliance with the above objectives, and with the form based design guidelines of the Plan and principles as outlined below.

In this case, staff finds that the proposal meets each of the above objectives as well as the guidelines.

**PRINCIPLE:** *Protect Residential Neighborhoods*

The development is setback approximately 52 ft. from the property line bordering the adjacent single family home to the east and, with the additional screening required by the conditions, will

provide a dense evergreen landscaped screen plus a decorative fence at the rear. The parking lot, while screened from view, provides additional buffer depth in the rear. The height of the building is within the prescribed 28% setback plane. Finally, staff has also added recommendations to minimize spillover lighting and glare for the adjoining property.

***PRINCIPLE: Enhance Pedestrian Streetscape***

The design of the proposed project includes a four foot wide public sidewalk, the addition of a landscaped strip along the sidewalk, and a front yard setback, all of which will improve the pedestrian experience on Mount Vernon Avenue. In addition, staff is recommending several additional conditions regarding the paving and landscaping of the public sidewalk, and for the front yards and entrances, to better integrate the project into the Mount Vernon Avenue streetscape.

***PRINCIPLE: Provide Visual Open Space***

Visual open space is provided in the form of small, but green front yards along the street, and the potential for a larger corner plaza area, with pedestrian improvements, at the corner of Raymond and Mount Vernon Avenues.

Staff's recommended conditions regarding the overall design and materials of the building, for open space and streetscape improvements of the highest quality, and for enhanced rear screening, are all included to make the project more compatible with the Mount Vernon Avenue Business Area Plan, with the design standards, and with the adjoining neighborhoods.

***B. Issues Addressed by Staff Recommendations:***

***Pedestrian and Streetscape Enhancements:***

As a prominent corner site the development presents an opportunity to improve the quality of the pedestrian experience and streetscape design on this part of the Avenue. A goal for any new development in the area is to integrate the development into the Mount Vernon and Raymond Avenues' pedestrian environment. To further that goal, staff has included requirements to enhance the pedestrian and streetscape improvements, including:

- That tree protection be provided for the two existing street trees on Mount Vernon Avenue and the Oak tree adjacent to Raymond Avenue;
- Provision of an additional street trees on Raymond and Mount Vernon Avenues;
- Concrete paver sidewalk on Mount Vernon Avenue;
- Designing the corner entrance as a pedestrian plaza-courtyard;
- Low scale pedestrian lighting be provided on site; and



- Provision of a stamped asphalt crosswalk across Raymond Avenue.

Landscaping and Open Space:

In order to successfully fit the project into the established community, and to encourage a safe and pleasant pedestrian environment, the open space and landscaping components are critical. Staff recommends several measures to enhance the front and rear open space areas, to better compliment the existing neighborhood's green areas and landscaping, and to improve the landscaping of the proposal that include:

- Relocate the proposed refuse storage area out of the eastern border landscaping strip;
- Front yard landscaping and plantings;
- Foundation plantings and shrubs on the exterior perimeter of the building;
- Decorative fencing; and
- Decorative paving.

The applicant has also proposed 1,436 sq ft of rooftop open space as an additional amenity, which utilizes the third story setback areas. These areas offer individual private open space for each unit. In order to enhance the quality of this rooftop open space, and protect adjacent uses from possible spillover effects, staff recommends as conditions:

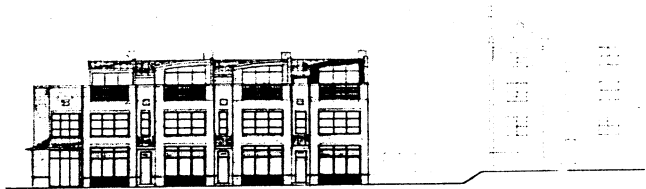
- Features and elements such as seating, trash receptacles, and pedestrian-scale on-site lighting are to be provided;
- That the lighting for the roof-top open space shall be pedestrian scale lighting and shall not be visible from the adjoining streets; and
- That any noise generated in conjunction with the roof top open space shall be limited to the type and hours normally associated with a residential use.

Screening and Buffers:

Along the site's eastern border, the applicant has proposed a landscaping strip next to the parking lot with a row of seven Leyland Cypress trees. In order to ensure adequate screening of the parking lot from the adjacent residential uses, staff recommends a condition instead requiring that this screening along the eastern property line be increased, and consist of a variety of evergreen plantings, with ten foot spacing, and that two additional trees be planted along the southern property line. In addition, staff is recommending a decorative fence be provided on the eastern property line extending from the front of the house to the southerly property line, and then extending along the southern property line from the site's southeast corner. These measures will provide better screening for the adjacent residential uses to the east and south.

*Building Compatibility:*

The discussions between the applicant and the City have focused primarily on the site design and scale of the development in order to best meet the principles of the Mount Vernon Avenue Business Area Plan. For example, Staff has worked with the applicant to provide variety by articulating the front and side of the building form in both plan and elevation. In addition, staff has focused on setback areas, because the Plan recommends that the buildings be setback 10 to 15 feet to maintain the existing scale of buildings on Mount Vernon Avenue.



*Mount Vernon Avenue Elevation*

In terms of architectural style, the applicant is proposing a brick building with punched openings, which recall elements of buildings on the Mount Vernon Avenue. While the overall body of the building is reminiscent of the Art Deco style on the Avenue, the third floor which is setback is more contemporary in form and materials with a roof with varied lines.



*Raymond Avenue Elevation*

While the overall body of the building is reminiscent of the Art Deco style on the Avenue, the third floor which is setback is more contemporary in form and materials with a roof with varied lines.

Staff is concerned that much of the design details have not yet been finalized. With this style, building details including elements such as windows, railings and trim will be critical to ensure that the finished product is the high quality building at this prominent location. Staff has therefore added a condition that the materials of the building shall be entirely masonry (brick, precast, stone), and that the applicant work with staff regarding the final detailing of the building at the final site plan review stage.

*Green- Sustainable Building Techniques:*

As has been the practice for recent previous projects, staff has included a recommendation that requires the applicant and City to work together to incorporate environmentally-sensitive methods of building and operation to help the City achieve goals for sustainability. There is not any one single technique for designing and building a green building to these specifications, but certified buildings often preserve natural vegetation, contain non-toxic or recycled-content building materials, maintain good indoor air quality, use water and energy efficiently, conserve natural resources, feature natural lighting, and recycled construction materials.

**VII. COMMUNITY:**

The applicant has worked with the City and the community to address concerns and incorporate the necessary elements into the design proposal in response to these issues. Overall, the applicant presented his project four times to the Del Ray Citizens Association and its Land Use Committee, where the proposal was well received. At their most recent meeting, the Land Use Committee expressed the following:

- Supported the project in general;
- Wanted to see that the planting strip along Mt. Vernon Avenue be consistent with that presently found in front of the apartment building to the south of the site; and
- Supported the vision clearance waiver.

The committee did not have a consensus on the requirement to put in textured pavement treatment for a crosswalk across Raymond Avenue.

**VIII. CONCLUSION:**

Staff recommends **approval** with its recommended conditions.

**STAFF:** Eileen Fogarty, Director, Department of Planning and Zoning;  
Jeffrey Farner, Chief, Development;  
Matthew Le Grant, Urban Planner.

**IX. STAFF RECOMMENDATION:**

Staff recommends **approval** subject to compliance with all applicable codes and ordinances and the following conditions:

**Building Design:**

1. **CONDITION AMENDED BY THE PLANNING COMMISSION** The final design for the building shall be consistent in massing, articulation, general design and the architectural styles and character as generally depicted in the architectural elevations dated March 15, 2005, and also provide additional refinements to the satisfaction of the Director of P&Z, that shall include:
  - a. Resolve inconsistencies between the elevations as drawn and the axon drawing, especially on the Raymond Ave. side of the building.
  - b. Clarify the massing of the street corner of the building especially at the loft level, and the arced roof forms. The intersection of the forms at the building corner is treated awkwardly with the addition of the small overhangs, integrate with the loft level more with the building below. This could be accomplished by extending the recess on the Raymond Ave. side of the building through the loft level.
  - c. The details of the windows and doors need to be made more consistent throughout the building. Variations in the configuration of the windows and doors and mullion patterns might respond to the forms of the building.
  - d. In order to better integrate the elements of the building, provide a transition from the brick walls with punched openings of the lower levels of the building, to the largely metal and glass forms of the loft level.
  - e. With the exception of architectural detailing and the screening for the mechanical equipment, the materials of the entire building shall be entirely masonry (brick, precast, stone).
  - f. The material for the proposed retaining walls and handicap ramp shall be brick.
  - g. The proposed screening wall for parking on Raymond Avenue shall be brick and shall be a minimum of 3' to 3.5' tall.
  - h. The HVAC units and mechanical appurtenances shall be located on the roof-tops, recessed and screened from view from the public streets. Details on the screening methods shall be provided on the final site plan.
  - i. The roof for the third floor shall be metal.
  - j. Color elevations shall be submitted with the final site plan.
  - k. All refinements to the design and materials shall be revised prior to the release of the final site plan.
  - l. Architectural elevations (front, side and rear) shall be submitted with the final site plan. Each elevation shall indicate the average finished grade line.

- m. The balconies' railings and detailing elements such as the precast elements shall be provided with the final site plan.
  - n. Any fencing on Mt. Vernon Avenue shall be limited to a height of three and one half feet and shall be decorative metal fencing. (P&Z)(PC)
2. The building shall reflect the use of sustainable techniques for building systems design and efficiency through the use of sustainable materials such as Hardi plank, lower emission paint, and energy efficient appliances, windows, and mechanical systems. (P&Z)

**Landscaping:**

3. **CONDITION AMENDED BY THE PLANNING COMMISSION** The final landscape plan shall be provided with the final site plan to the satisfaction of the Directors of P&Z and RP&CA Departments. The plan shall include the level of landscaping depicted on the preliminary landscape plan and shall also provide:
- a. The applicant shall ensure that the amount of ground level open space that qualifies as usable open space be equal to at least 15% of the lot area.
  - b. The screening along the eastern property line site shall consist of a variety of **evergreen** plantings spaced ten foot on-center; and along the southernmost property line that two additional trees be planted instead of the proposed bamboo planting, and shall be subject to consultation with the adjacent property owner.
  - c. A decorative 6 ft. board fence shall be provided along the eastern property line extending from the front of the house to the **site's southeast corner**, and also continuing along the southernmost property line.
  - d. Provide an additional street tree on Raymond Avenue.
  - e. The tree species for the street trees on Mount Vernon and Raymond Avenues shall be revised to Goldenrain Tree.
  - f. Tree protection shall be provided for the 5" caliper street trees on Mount Vernon Avenue and the 17" caliper tree on Raymond Avenue. Provide tree protection details for street trees to remain. The proposed utilities and limits of disturbance shall be located outside the dripline of each tree.
  - g. Foundation plantings and shrubs on the exterior perimeter of the building.
  - h. Landscaping and decorative pavers shall be provided in the front yard of each unit.
  - i. Evergreen shrubs to screen the proposed transformer. All utility structures (except fire hydrants) shall be clustered where possible and located so as not to be visible from a public right-of-way or adjoining property. When such a location is not feasible, such structures shall be located behind the front building line and screened.

- j. All plant specifications shall be in accordance with the current and most up to date edition of the American Standard For Nursery Stock (ANSI Z60.1) as produced by the American Association for Nurserymen; Washington, D.C.
  - k. All work shall be performed in accordance with Landscape Specifications Guidelines, 4th Edition as produced by the Landscape Contractors Association (LCA) of Maryland, District of Columbia and Virginia; Gaithersburg, Maryland.
  - l. Utility lines such as water, storm sewer and electric lines shall be located to minimize impacts on proposed street trees and open space.
  - m. The location of all light poles shall be coordinated with the street trees.
  - n. All landscaping shall be maintained in good condition and replaced as needed.
  - o. At west property line, remedy conflict between fence, proposed plantings and necessary ground area for plantings to thrive. Provide detailed section that includes, parking, planting area, brick pads, fence and neighboring structures.
  - p. Along Raymond Avenue remedy conflict between proposed street trees and proposed utilities.
  - q. Provide class 2 pruning of *Quercus palustris* as approved by the City Arborist.
  - r. If proposed masonry wall is to be constructed, provide wall on a grade beam with end piers in lieu of spread footing-to minimize impact upon tree. Prior to commencement of construction, verify methods, procedures and tree protection in the field with the City Arborist.
  - s. Along Mount Vernon Avenue, amend existing conditions survey to include 2 existing street trees (*Koelreutaria paniculata*) to remain.
  - t. Remove existing Linden (stump) at southern end of ROW.
  - u. Provide height and width for proposed plantings. Amend planting schedule accordingly. (P&Z) (RP&CA)(PC)
4. **CONDITION AMENDED BY THE PLANNING COMMISSION** The applicant shall provide pedestrian streetscape improvements that at a minimum shall provide the level of improvements depicted on the preliminary plan and shall also provide the following to the satisfaction of the Director of P&Z:
- a. The proposed sidewalks and lead walks on Mount Vernon Avenue shall be concrete pavers and shall comply with the standards for Mount Vernon Avenue.
  - b. The corner sidewalk-entrance shall be designed as a corner plaza through the use of special paving surfaces, benches, trash receptacles, landscaping, etc. to encourage its use.
  - c. Low scale pedestrian lighting.
  - d. The applicant shall provide parking spaces for use by residents and commercial patrons.
  - e. All sidewalks shall align and connect with the existing sidewalks.
  - f. All streetscape improvements shall be completed prior to the issuance of a certificate of occupancy permit.

- g. The concrete pavers for the sidewalk shall be extended to include the handicapped access ramp at the corner.
  - h. As required by the Mount Vernon Avenue Urban Design Guidelines, the sidewalk materials should be Unidecor concrete pavers in the same color as existing (by Balcon Manufacturing or equal). Also, the sidewalk should extend from property line to curb. If grass strip adjacent to curb is desired, sidewalk shall be widened to provide a minimum 6' unobstructed width.
  - i. Applicant shall provide ~~a stamped asphalt~~ cross walk treatment across Raymond Avenue, ~~pattern to be consistent with the recommendations of the Mt. Vernon Avenue Plan Implementation Committee.~~ pattern of existing Unidecor concrete pavers.
  - j. Align handicap ramp at corner of Raymond and Mt. Vernon Avenues to be perpendicular to Raymond Avenue.
  - k. Applicant shall widen the sidewalk along Raymond Avenue to provide a minimum 6' unobstructed width. Sidewalk shall be concrete to match existing. (T&ES) (P&Z)(PC)
5. The rooftop open space shall be designed to function as high-quality usable open space for the residents. At a minimum, the revised plans for the plaza decks shall include the following to the satisfaction of the Directors of P&Z and RP&CA:
- a. Features and elements such as seating, trash receptacles, and pedestrian-scale lighting.
  - b. Varied and high quality paving materials.
  - c. The lighting for the roof-top open space shall be pedestrian scale lighting and shall not be visible from the adjoining streets. Noise generated in conjunction with the roof top open space shall be limited to the type and hours normally associated with a residential use. (P&Z)

### **Parking**

- 6. In order to promote tele-commuting, each of the units will have wireless high-speed internet access. (P&Z)
- 7. A minimum of sixteen parking spaces, as represented on the preliminary plan, shall be provided. The residential and commercial parking spaces shall include all applicable signage. The parking lot shall include an easement for the shared parking (P&Z)
- 8. A minimum of one space for each unit shall be provided as part of the purchase price for each residential unit. (P&Z)

9. The applicant shall provide off-street parking for all construction workers without charge. Compliance with this condition shall be based on a plan, which shall be submitted to the Department of P&Z and T&ES prior to the issuance of the Excavation/Sheeting, and Shoring Permit. This plan shall set forth the location of the parking to be provided at various stages of construction, how many spaces will be provided, how many construction workers will be assigned to the work site, and mechanisms which will be used to encourage the use of mass transit. The plan shall also provide for the location on the construction site at which information will be posted regarding Metro schedules and routes, bus schedules and routes. If the plan is found to be violated during the course of construction, a correction notice will be issued to the developer. If the violation is not corrected within ten (10) days, a "stop work order" will be issued, with construction halted until the violation has been corrected. (P&Z)

**Site Plan**

10. A freestanding subdivision, development or freestanding retail sign(s) shall be prohibited. (P&Z)
11. Temporary structures for construction shall be permitted and the period of such structures shall be subject to the approval of the Director of P&Z. The trailer shall be removed prior to the issuance of the certificate of the last certificate of occupancy permit. (P&Z)
12. All homeowners association covenants shall be approved by the Director of P&Z and the City Attorney prior to applying for the first certificate of occupancy permit for the project. The association covenants shall include the conditions listed below, which shall be clearly expressed in a separate section of the covenants.
  - a. The principal use of the parking shall be for passenger vehicle parking only; storage which interferes with the use of a parking space for a motor vehicle is not permitted.
  - b. That an ingress/egress easement is provided for parking area.
  - c. All landscaping and open space areas within the development, shall be maintained by the homeowners and condominium owners.
  - d. Exterior building improvements or changes by future residents shall require the approval of the City Council, as determined by the Director of P&Z.
  - e. The property is subject to all conditions of the approved special use permit.(P&Z)
13. Any inconsistencies between the various drawing submitted by the applicant shall be reconciled to the satisfaction of the Directors of P&Z and T&ES. (P&Z)
14. The applicant shall identify a person who will serve as liaison to the community throughout the duration of construction. The name and telephone number of this



individual shall be provided in writing to residents, property managers and business owners whose property abuts the site, and to the Directors of P&Z and T&ES. (P&Z)

15. A temporary informational sign shall be installed on the site prior to approval of the first final site plan for the project and shall be displayed until construction is complete or replaced with a marketing sign incorporating the required information: the sign shall notify the public of the nature of the upcoming project and shall provide a phone number for public questions regarding the project. (P&Z)
16. Provide a site lighting plan to the satisfaction of the Director of T&ES in consultation with the Chief of Police. The plan shall show the existing and proposed street lights and site lights. Indicate the type of fixture, and show mounting height, and strength of fixture in Lumens or Watts. Provide manufacturer's specifications for the fixtures. Provide lighting calculations to verify that lighting meets city standards and are located to prevent excessive spillover lighting and glare from adjacent residential properties. (P&Z) (T&ES)
17. Before commencing any clearing or grading of the site, the applicant shall hold a meeting with all adjoining property owners and Civic Association to review the hauling routes, location of construction worker parking, plan for temporary pedestrian and vehicular circulation, and hours and overall schedule for construction. The Departments of P&Z and T&ES shall be notified of the date of the meeting before the permit is issued. Copies of plans showing the hauling route, construction worker parking and temporary pedestrian and vehicular circulation shall be posted in the construction trailer and given to each subcontractor before they commence work on the project. (P&Z)
18. The applicant shall submit a final location survey for the buildings prior to issuance of a certificate of occupancy permit. (P&Z)
19. All driveway entrances and sidewalks in public ROW or abutting public ROW shall meet City standards. (T&ES)
20. Residents of this development shall not be eligible to receive residential permit parking permits. (T&ES)
21. Applicant shall provide a shared parking arrangement so that all parking spaces will be usable by any resident, visitor or patron of the development. (T&ES)
22. The applicant shall not utilize the City right-of-way for loading and delivery purposes and confine these activities to areas of the parking lot. (T&ES)

23. The applicant shall provide adequate storage space for trash and recycling bins to the satisfaction of the Director of T&ES. (T&ES)
24. Provide screening for proposed solid waste enclosure. Provide details on plans. (T&ES)
25. Show all existing and proposed easements, both public and private. (T&ES)
26. Replace existing curb and gutter, sidewalks, and handicap ramps that are in disrepair or broken. (T&ES)
27. Provide City standard pavement for emergency vehicle easements. (T&ES)
28. Prior to the release of the final site plan, provide a Traffic Control Plan for construction detailing proposed controls to traffic movement, lane closures, construction entrances, haul routes, and storage and staging. (T&ES)
29. All Traffic Control Device design plans, Work Zone Traffic Control plans, and Traffic Studies shall be sealed by a professional engineer, registered in the Commonwealth of Virginia. (T&ES)

**General**

30. The easements depicted on the subdivision shall be revised to coincide with the parking lot and drive aisle depicted on the final site plan. The final subdivision plan shall be consistent with the final site plan, Section 11-1700 of the Zoning Ordinance, and shall be approved and recorded prior to the release of the final site plan. (P&Z)
31. Provide wheel stops for all parking spaces, not just the spaces adjacent to the building. (P&Z)
32. **CONDITION AMENDED BY THE PLANNING COMMISSION** Relocate Redesign the proposed refuse cart pad locations, to the satisfaction of the Director of Planning and Zoning so to be out of the eastern border landscaping strip. (P&Z)(PC)

**Stormwater**

33. All downspouts must be connected to a storm sewer by continuous underground pipe. Show location and alignment of roof drains for front portion of proposed building. (T&ES)

34. Provide proposed elevations (contours and spot shots) in sufficient details on grading plan to clearly show the drainage patterns. (T&ES)
35. Developer to comply with the peak flow requirements of Article XIII of AZO. (T&ES)
36. If combined uncontrolled and controlled stormwater outfall is proposed, the peak flow requirements of Article XIII of AZO shall be met. (T&ES)
37. Plan must demonstrate to the satisfaction of the Director of T&ES that adequate stormwater outfall is available to the site. If adequate outfall is not available, developer is to design and build any on or off- site improvements to discharge to an adequate outfall. (T&ES)
38. The applicant is advised that all stormwater designs that require analysis of pressure hydraulic systems and/or inclusion and design of flow control structures must be sealed by a professional engineer, registered in the Commonwealth of Virginia. If applicable, the Director of T&ES may require resubmission of all plans that do not meet this standard. (T&ES)
39. **CONDITION AMENDED BY THE PLANNING COMMISSION** ~~Applicant shall relocate~~ T&ES recommends that the proposed 15" storm sewer along Raymond Avenue be relocated into the street for maintenance purposes and to avoid conflict with the proposed street trees. However, T&ES will evaluate other locations within the public right of way if the applicant demonstrates that it cannot be located in the street. This portion of the storm sewer will be publicly maintained. (T&ES)(PC)
40. Provide a separate sanitary sewer lateral connection to existing main for each unit or add a note to the plans indicating that the proposed sanitary main serving the site shall be privately owned and maintained. (T&ES)
41. Prior to release of final site plan, applicant shall submit an agreement for maintenance of proposed storm water management facilities, sanitary sewer main, if applicable, and parking lot to be reviewed and approved by the Director of T&ES and the City Attorney. The agreement must be submitted with the second final site plan submission. (T&ES)
42. Applicant shall provide \$850 to the Director of T&ES for the purchase and installation of one (1) City standard street can along the public street. (T&ES)
43. **CONDITION AMENDED BY THE PLANNING COMMISSION** The developer agrees to deliver all solid waste, as defined by the Code of the City of Alexandria, to a refuse disposal facility designated by the Director of T&ES. The developer further agrees

to stipulate in any future lease or property sales agreement that all tenants and/or property owners shall also comply with this requirement. The applicant shall work with the Director of T&ES to determine if city collection of refuse is feasible.(T&ES)(PC)

44. Correct spelling mistakes on sheet 3 under Stormwater & Best Management Practice Narrative. (DEQ)
45. The drainage area map on sheet 5 indicates that the northwest section of the parking lot does not flow towards the BMP. The drainage area map also indicates that the front section of the roofs drain towards Mount Vernon Ave., but it is uncertain how this drainage gets into the storm sewer system and BMP. (DEQ)
46. Sand filter designs are recognized to be 60% efficient rather than 65% efficient. Worksheet C should be amended to reflect this rating. (DEQ)
47. Project discharges into Four Mile Run before flowing into the Potomac River. (DEQ)
48. Sheet 6 indicates that the total site area is 0.302 acres and sheet 7 indicates that the total site area is 0.298 acres. (DEQ)
49. The City of Alexandria encourages the use of green building technology. Provide specific examples where this development will incorporate this technology, including low impact development, green roofs, and energy efficient materials, into its design. (DEQ)
50. The storm water collection system is part of the Four Mile Run watershed. All on-site storm water curb inlets and public curb inlets within 50 feet of the property line shall be duly marked to the satisfaction of the Director of T&ES. (DEQ)
51. Project lies entirely within an area described on historical maps as containing marine clays. Construction methodology and erosion and sediment control measures must account for this. (DEQ)
52. The City's storm water management regulations in terms of water quality are two-fold: phosphorus removal requirements and water quality volume default. Compliance with the phosphorus requirements does not relieve the applicant from the water quality default requirement. The water quality volume from the site's proposed impervious area must be treated in a Best Management Practice storm water facility. Any deviation from this requirement must be addressed through a formal exception letter to the City as discussed in Memorandum to Industry #2002-0001. (DEQ)

53. Provide complete pre and post development drainage maps including areas that contribute surface runoff from beyond project boundaries: topographic information, storm drains, BMP's and either Worksheet A or B and Worksheet C if applicable. Calculations as shown are incorrect and inadequate. Full explanation of stormwater treatment must be included for drainage areas 1, 2 & 3. Any combined treatment agreements with offsite properties/owners must be documented. (DEQ).
54. The storm water Best Management Practices (BMPs) required for this project shall be constructed and installed under the direct supervision of the design professional or his designated representative. Prior to release of the performance bond, the design professional shall submit a written certification to the Director of T&ES that the BMPs are:
  1. Constructed and installed as designed and in accordance with the approved Final Site Plan.
  2. Clean and free of debris, soil, and litter by either having been installed or brought into service after the site was stabilized. (DEQ)
55. The applicant shall submit a storm water quality BMP Maintenance Agreement with the City to be reviewed as part of the Final #2 Plan. It must be executed and recorded with the Land Records Division of Alexandria Circuit Court prior to approval of the final site plan. (DEQ)
56. The applicant shall be responsible for maintaining storm water Best Management Practices (BMPs) until activation of the homeowner association (HOA), if applicable, or until sale to an owner. Prior to transferring responsibility for the BMPs to the HOA or owner, the applicant shall execute a maintenance service contract with a private contractor for a minimum of three years and transfer the contract to the HOA or owner. A copy of the contract shall also be placed in the BMP Operation and Maintenance Manual. Prior to release of the performance bond, a copy of the contract shall be submitted to the City. (DEQ)
57. If the units will be sold as individual units and a home owner's association established the following two conditions shall apply:
  1. The applicant shall furnish the Homeowner Association with an Owner's Operation and Maintenance Manual for all the Best Management Practices (BMP's) used on site. The manual shall include at a minimum: an explanation of the functions and operations of the BMP(s); drawings and diagrams of the BMP(s) and any supporting utilities; catalog cuts on maintenance requirements including mechanical or electrical equipment; manufacturer contact names and phone numbers; a copy of the executed maintenance service contract; and a copy of the maintenance agreement with the City.
  2. The Developer shall furnish each home purchaser with a brochure describing the storm water BMP(s) installed on the site, outlining the responsibilities of the

homeowners and the Homeowner's Association (HOA) with respect to maintenance requirements. Upon activation of the HOA, the Developer shall furnish five copies of the brochure per unit to the HOA for distribution to subsequent homeowners.

Otherwise the following condition applies:

The Developer shall furnish the owners with an Operation and Maintenance Manual for all Best Management Practices (BMPs) on the project. The manual shall include at a minimum: an explanation of the functions and operations of the BMP(s); drawings and diagrams of the BMP(s) and any supporting utilities; catalog cuts on maintenance requirements including mechanical or electrical equipment; manufacturer contact names and phone numbers; a copy of the executed maintenance service contract; and a copy of the maintenance agreement with the City. (DEQ)

58. Prior to release of the performance bond, a copy of the Operation and Maintenance Manual shall be submitted to the City on a digital media. (DEQ)
59. Prior to release of the performance bond, the applicant is required to submit a certification by a qualified professional to the satisfaction of the Director of T&ES that the existing storm water management facility adjacent to the project and associated conveyance systems were not adversely affected by the construction and that they are functioning as designed and are in a condition similar to prior to construction began. If maintenance of the facility or systems were required in order to make this certification, provide a description of the maintenance performed. (DEQ)
60. If applicable, loudspeakers shall be prohibited from the building exterior. (DEQ)
61. If a restaurant is proposed, the use of loudspeakers or musicians outside is prohibited. (DEQ)
62. If fireplaces are to be included in the development, the applicant is required to install gas fireplaces to reduce air pollution and odors. Animal screens must be installed on chimneys. (DEQ)
63. A "Certified Land Disturber" must be named on the Erosion & Sedimentation Control sheets at the pre-construction meeting prior to commencement of activity in accordance with the Virginia Department of Conservation and Recreation guidelines. (DEQ)
64. During the construction phase of this development, the site developer, its contractor, certified land disturber, or owner's other agents shall implement a waste and refuse control program. This program shall control wastes such as discarded building materials, concrete truck washout, chemicals, litter or trash, trash generated by construction workers or mobile

food vendor businesses serving them and sanitary waste at the construction site and prevent its off site migration that may cause adverse impacts to the neighboring properties or the environment to the satisfaction of Directors of Transportation and Environmental Services and Code Enforcement. All wastes shall be disposed off site properly in accordance with all applicable federal, state and local laws. (DEQ)

65. A security survey is to be completed for any sales or construction trailers that are placed on the site. This is to be completed as soon as the trailers are placed on site by calling the Community Relations Unit at 703- 838-4520. (Police)
66. The house numbers are to be placed on the front and back of each unit. (Police)
67. Trees are not to be planted under or near light poles. (Police)
68. All trees are to be limbed up a minimum of 6 feet as they mature to allow for natural surveillance. (Police)
69. No shrubs higher than 3 feet are to be planted within 6 feet of walkways. (Police)
70. Any proposed shrubbery is to have a maximum height of 36 inches when it matures. (Police)
71. In reference to the Commercial Office use, the applicant is to contact the Community Relations Unit of the Alexandria Police Department at 703-838-4520 regarding a security survey for the business. (Police)
72. In reference to the Commercial Office use, the applicant is to contact the Community Relations Unit of the Alexandria Police Department at 703-838-4520 regarding a robbery awareness program for all employees. (Police)

**Modifications requested by the applicant and recommended by staff:**

1. Modification to reduce vision clearance from 100 feet to 75 feet.

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Staff Note: In accordance with section 11-506(c) of the zoning ordinance, construction or operation shall be commenced and diligently and substantially pursued within 18 months of the date of granting of site plan approval.

CITY DEPARTMENT CODE COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F - finding

Transportation & Environmental Services:

- C-1 All drainage facilities must be designed to the satisfaction of T&ES. Drainage divide maps and computations must be provided for approval.
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line.
- C-3 The applicant must comply with the Article XIII of the City's zoning ordinance, which includes requirements for storm water pollutant load reductions, treatment of the water quality volume default, and storm water quantity management.
- C-4 The applicant must comply with the City of Alexandria, Erosion and Sediment Control Code, Section 5, Chapter 4. This includes naming a Responsible Land Disturber on the Erosion and Sediment Control sheets prior to engaging in land disturbing activities in accordance with Virginia Erosion and Sediment Control Law.
- C-5 All required permits from Virginia Department of Environmental Quality, Environmental Protection Agency, Army Corps of Engineers, Virginia Marine Resources must be in place for all project construction and mitigation work prior to release of the final site plan. This includes the new state requirement for a VPDES permit for all construction activities greater than 1 acre.
- C-6 A performance Bond to guarantee installation of the required public improvements must be posted prior to release of a development plan.
- C-7 All downspouts must be connected to a storm sewer by continuous underground pipe.
- C-8 The sanitary sewer tap fee must be paid prior to release of the plan.
- C-9 All easements and/or dedications must be recorded prior to release of the plan.
- C-10 Plans and profiles of utilities and roads in public easements and/or public right-of-way must be approved prior to release of the plan.



- C-11 All drainage facilities must be designed to the satisfaction of T&ES. Drainage divide maps and computations must be provided for approval.
- C-12 All utilities serving this site to be placed underground.
- C-13 Provide site lighting plan to meet minimum city standards.
- C-14 Plan shall comply with the Chesapeake Bay Preservation Act in accordance with Article XIII of the City's zoning ordinance for storm water quality control.
- C-15 Provide a phased erosion and sediment control plan consistent with grading and construction per City of Alexandria, Erosion and Sediment Control Code, Section 5, Chapter 4.
- C-16 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line.
- F-1 Due to commercial use of site, solid waste pick-up is to be private.

Code Enforcement:

- C-1 An automatic sprinkler system is required for the entire project. **Condition met. Fire Lines and FDCs shown. See C-9 below for clarification on Fire Protection Plan.**
- C-2 A separate tap is required for the building fire service connection for each fire sprinkler system. **Condition met.**
- C-3 Show location of all Fire Department Connections. **Condition met.**
- C-4 A fire hydrant shall be provided on the same side of the street and within 100 feet of the FDC. **Condition met.**
- C-5 Applicant must provide Emergency Vehicle Easement on front and back side of building. An Emergency Vehicle Easement is required in the parking lot. This is required to be recorded in the land records. **Clearly delineate boundaries of emergency vehicle easement from ingress / egress utility easement on plans.**
- C-6 All exterior walls within 5 feet from an interior property line shall have a fire resistance rating of 1 hour, from both sides of the wall. As alternative, a 2 hour fire wall may be provided. This condition is also applicable to skylights within setback distance. Openings in exterior walls between 3 and 5 feet shall not exceed 25% of the area of the entire wall

surface (This shall include bay windows). Openings shall not be permitted in exterior walls within 3 feet of an interior lot line. This applies to the walls between units and the south wall that is proposed to be built on the property line.

- C-7 This structure contains mixed use groups and is subject to the mixed use and occupancy requirements of USBC. There shall be no openings between use groups. Unit D is not in compliance due to the open area between the first floor office and the second floor residence. **Condition not met.**
- C-8 Prior to submission of the Final Site Plan, the developer shall provide a fire flow analysis by a certified licensed fire protection engineer to assure adequate water supply for the structure being considered. **Fire flow shall be submitted on 8 ½ x 11 paper prior to submission of Final #1.**
- C-9 The developer shall provide a building code analysis with the following building code data on the plan: a) use group; b) number of stories; c) type of construction; d) floor area per floor; e) fire protection plan. **Incomplete Building Code Analysis: Missing Complete Use Group, only one use shown; Incomplete Construction Type listed; missing square footage per floor; missing NFPA standard applicable to fire sprinkler system; provide Building Code Analysis as text block within plan set.**
- C-10 The final site plans shall show placement of fire easement signs.
- C-11 New construction must comply with the current edition of the Uniform Statewide Building Code (USBC). **Change Note 6 on Sheet 3 to current edition of the Uniform Statewide Building Code. The 1996 USBC has been discontinued.**
- C-12 Construction permits are required for this project. Plans shall accompany the permit application that fully detail the construction as well as layouts and schematics of the mechanical, electrical, and plumbing systems.
- C-13 A soils report must be submitted with the building permit application.
- C-14 A Certificate of occupancy shall be obtained prior to any occupancy of the building or portion thereof, in accordance with USBC 119.0.
- C-15 Sheeting and shoring shall not extend beyond the property line; except when the developer has obtained a written release from adjacent property owners which has been recorded in the land records; or through an approved encroachment process.
- C-16 Verify that all 1st floor entrances are handicapped accessible.

- C-17 The handicapped parking space shall be located as close as possible to the building and it's sidewalks. **Condition met.**
- C-18 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to Code Enforcement that will outline the steps that will taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.
- C-19 Roof drainage systems must be installed so as neither to impact upon, nor cause erosion/damage to adjacent property.
- C-20 Permission from adjacent property owners is required if access to the adjacent properties is required to complete the proposed construction. Otherwise, a plan shall be submitted to demonstrate the construction techniques utilized to keep construction solely on the referenced property.
- R- 1 Based on a history of sound transmission complaints, it is recommended that all walls and ceilings that separate dwelling units from each other or other uses have a STC rating of at least 60.

Historic Alexandria (Archaeology):

No comments.

Health Department:

No comments.

Park, Recreation and Cultural Activities:

- R-1 Along Raymond Avenue, amend existing conditions survey. Change species of tree to remain from Quercus alba to Quercus palustris. Change caliper dimension from 15 inches to 17 inches.

Police Department

**The following recommendation related to site lighting has not been included as a condition; rather, staff has recommended that the applicant prepare a lighting plan to the satisfaction of the Director of T&ES in consultation with the Chief of Police, which will likely result in lower lighting levels in recommended by the Police:**

- R-1 Lighting for the parking lot's sixteen spaces is to be a minimum of 2.0 foot candles minimum maintained. The light is to be shielded so as to not trespass onto other properties.
- F-1 No lighting plan submitted at this time.

Virginia American Water Company

1. Hydraulic calculations (computer modeling) will be completed to verify main sizes upon final submittal of the site plan. Profiles will be required for hydraulic connections.
2. Fire and domestic services must be separate connections to the existing eight-inch water main in Mt. Vernon. Avenue.
3. VAWC does not offer three inch services, please change to either two-inch copper or four-inch DICL.
4. Delete the proposed "water service/fire line typical connection" detail shown on sheet 3 of 11.
5. A double detector check backflow prevention device is required on all fire services. If located inside the premise, it must have a remote reading meter in a separate accessible room.

APPLICATION for  
DEVELOPMENT SPECIAL USE PERMIT with SITE PLAN  
DSUP # 2003-0021

PROJECT NAME: THE LOFTS AT DEL RAY VILLAGE

PROPERTY LOCATION: 2707 AND 2711 MT. VERNON AVENUE

TAX MAP REFERENCE: 2707 = 024.04 03 02 MAP/Block/LOT  
2711 = 024.04 03 01 " " ZONE: CL

APPLICANT Name: GAVIN NICHOLS, ARCHITECT, AGENT FOR NICHOLS, GRAMANN & SNYDER (OWNERS)

Address: P.O. BOX 2921 ALEXANDRIA, VA. 22301 703-836-5209

PROPERTY OWNER Name: NICHOLS, GRAMANN & SNYDER

Address: P.O. BOX 2921 ALEXANDRIA, VA. 22301 703-836-5209

SUMMARY OF PROPOSAL: WE PROPOSE TO RESUBDIVIDE 2 EXISTING LOTS INTO 4 NEW LOTS IN ORDER TO CONSTRUCT A LIVE, WORK, LOFT MIXED USE PROJECT. WE PROPOSE 4 UNITS OF COMMERCIAL (ST FLOOR) W/ ACCESSORY APARTMENTS ABOVE.

MODIFICATIONS REQUESTED: WE REQUEST A PARKING REDUCTION IN THE CL ZONE FOR LOTS A, B, C, & D. WE REQUEST A MODIFICATION TO THE VISION CLEARANCE LINE REQUIREMENT IN THE CL ZONE. (SEE ATTACHED SHEET)

SUP's REQUESTED: \_\_\_\_\_

THE UNDERSIGNED hereby applies for Development Site Plan, with Special Use Permit, approval in accordance with the provisions of the Zoning Ordinance of the City of Alexandria, Virginia.

THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article XI, Section 11-301 (B) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

THE UNDERSIGNED also attests that all of the information herein provided and specifically including all surveys, drawings, etc., required of the applicant are true, correct and accurate to the best of his knowledge and belief.

GAVIN NICHOLS, ARCHITECT, AGENT  
Print Name of Applicant or Agent

Gavin Nichols Architect Agent  
Signature

P.O. BOX 2921  
Mailing/Street Address

703-836-5209  
Telephone # Fax #

ALEXANDRIA, VA. 22301  
City and State Zip Code

7/20/04  
Date

===== DO NOT WRITE BELOW THIS LINE - OFFICE USE ONLY =====

Application Received: \_\_\_\_\_  
Fee Paid & Date: \$ \_\_\_\_\_

Received Plans for Completeness: \_\_\_\_\_  
Received Plans for Preliminary: \_\_\_\_\_

ACTION - PLANNING COMMISSION: \_\_\_\_\_

ACTION - CITY COUNCIL: \_\_\_\_\_

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All applicants must complete this form.

Supplemental forms are required for child care facilities, restaurants, automobile oriented uses and freestanding signs requiring special use permit approval.

1. The applicant is the (check one):

- Owner             Contract Purchaser  
 Lessee             Other: \_\_\_\_\_

State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership in which case identify each owner of more than ten percent.

GAVER NICHOLS - 1/3 OWNERSHIP  
DANNY GRAMMANN - 1/3 OWNERSHIP  
JIM SNYDER - 1/3 OWNERSHIP

If property owner or applicant is being represented by an authorized agent such as an attorney, realtor, or other person for which there is some form of compensation, does this agent or the business in which the agent is employed have a business license to operate in the City of Alexandria, Virginia?

- Yes.            Provide proof of current City business license GAVER NICHOLS ARCHITECT  
 No.            The agent shall obtain a business license prior to filing application, if required by the City Code.

**NARRATIVE DESCRIPTION**

2. The applicant shall describe below the nature of the request in detail so that the Planning Commission and City Council can understand the nature of the operation and the use, including such items as the nature of the activity, the number and type of patrons, the number of employees, the hours, how parking is to be provided for employees and patrons, and whether the use will generate any noise. If not appropriate to the request, delete pages 4-7.  
(Attach additional sheets if necessary)

THE APPLICANT PROPOSES TO RESUBDIVIDE TWO EXISTING LOTS IN THE CL ZONE AND CREATE 4 NEW LOTS. OUR GOAL IS TO CREATE A LIVE/WORK PROJECT WHERE PEOPLE COULD LIVE AND WORK. THE CL ZONE ALLOWS A COMMERCIAL/OFFICE USE WITH AN ACCESSORY APARTMENT ABOVE. THIS IS AN OLD CONCEPT WHICH THE APPLICANT FEELS IS PERFECT FOR DEL RAY - THE NEIGHBORHOOD WHERE THE PROJECT IS LOCATED AND ALSO WHERE THE APPLICANTS LIVE. OUR PROJECT IS ONE WHICH WE FEEL COULD HELP THE REDEVELOPMENT OF THE ARLANA CORRIDOR. WE ALSO FEEL IT COULD BE THE GATEWAY TO DEL RAY AS A VISITOR ENTERS TOWN FROM THE NORTH ON MT. VERNON AVENUE.

OUR PROPOSAL STRIVES TO MEET ALL CODE CONDITIONS IN THE CL ZONE BUT WE ASK FOR SEVERAL MODIFICATIONS WHICH WE FEEL ARE MINOR. 1) WE ASK FOR A MODIFICATION TO THE VISION CLEARANCE LINE REQUIREMENT. THE GRANTING OF THIS REQUEST ALLOWS THE BUILDING TO TURN THE CORNER TO RAYMOND AVE. AND TO REINFORCE THE 10' SETBACK ON MT. VERNON AVE. WE HAVE CURVED OUR FAÇADE TO HELP ACHIEVE THE ABOVE GOALS. (2) WE ASK FOR A REDUCTION IN THE PARKING REQUIREMENTS FOR OUR USE IN THE CL ZONE. OUR NEW LOTS A, B & C MEET PARKING REQUIREMENTS EXCEPT FOR THE BASEMENT STORAGE SPACE NEEDING TO "BE PARKED" LOT "D" NEEDS A 2-SPACE WAIVER EXCEPT FOR BASEMENT STORAGE AGAIN NEEDING TO "BE PARKED" WE PROPOSE AN EASEMENT SO LOT "D" COULD PARK ON LOT A (2 EXTRA SPACES.)

OUR PROJECT SEEKS TO HELP KEEP THE DEL RAY NEIGHBORHOOD MOVING FORWARD, BY BRINGING A 24 HR USE TO A RATHER EMPTY SIDE OF THE STREET. OUR LIVE/WORK CONCEPT WE BELIEVE IS THE BEGINNING OF AN REDEVELOPMENT OF THE AVENUE. WE HAVE VISITED WITH SEVERAL CITIZEN ASSOCIATIONS, MANY NEIGHBORS AND THE PUBA AND HAVE GATHERED MANY POSITIVE REACTIONS OF SUPPORT FOR OUR PROJECT. WE ASK FOR YOUR SUPPORT AND VISION.

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3. How many patrons, clients, pupils and other such users do you expect?  
Specify time period (i.e., day, hour, or shift).

WE PROPOSE AN OFFICE USE ON THE FIRST FLOOR WITH AN ACCESSORY  
APARTMENT ABOVE, THIS IS A LOW INTENSITY USE FOR THE C ZONE

4. How many employees, staff and other personnel do you expect?  
Specify time period (i.e. day, hour, or shift).

EXPECTATIONS ARE OFFICE STAFF OF 2-6 PEOPLE  
WITH AN APARTMENT DENSITY OF 2 PEOPLE PER RESIDENTIAL USE

5. Describe the proposed hours and days of operation of the proposed use:

Day	Hours	Day	Hours
<u>M-F</u>	<u>7AM-6PM OFFICE</u>		
<u>Sat-Sun.</u>	<u>CLOSED.</u>		
<u>Residential Apartment - USED 24 HRS/DM.</u>			
<u>(THE ABOVE IS AN ESTIMATE AND MAY VARY)</u>			

6. Describe any potential noise emanating from the proposed use:

- A. Describe the noise levels anticipated from all mechanical equipment and patrons.

NOISE LEVELS ARE EXPECTED TO BE THOSE FOUND IN AN  
OFFICE ENVIRONMENT - LIMITED AND THOSE FOUND IN A  
RESIDENTIAL USE - LIMITED.

- B. How will the noise from patrons be controlled?

PATRONS WILL BE INDIVIDUAL CLIENTS OF EACH  
OFFICE. NOISE SHOULD BE LIMITED IN NATURE.  
ALL BUILDINGS WILL BE INSULATED AND CONSTRUCTED OF  
MASONRY.

7. Describe any potential odors emanating from the proposed use and plans to control them:

WE EXPECT NO ODORS BASED UPON OUR COMMERCIAL  
OFFICE/RESIDENTIAL USE.



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8. Provide information regarding trash and litter generated by the use:

A. What type of trash and garbage will be generated by the use?

WE EXPECT 1 TRASH CAN PER WEEK PER RESIDENTIAL APARTMENT  
WE EXPECT 1 TRASH CAN PER WEEK PER COMMERCIAL USER -  
MOST REFUSE WILL BE PAPER WASTE AND NORMAL HOUSEHOLD WASTE

B. How much trash and garbage will be generated by the use?

WE EXPECT 2 TRASH CANS PER UNIT. X 4 UNITS = 8 TRASH CANS  
OF WASTE PER WEEK.

C. How often will trash be collected?

TRASH WILL BE COLLECTED BY ALEXANDRIA CITY STAFF ON  
THEIR NORMAL WEEKLY TRASH COLLECTION ROUTES.

D. How will you prevent littering on the property, streets and nearby properties?

OUR MIXED USE OF LIGHT OFFICE/COMMERCIAL & A RESIDENCE  
ABOVE SHOULD NOT CREATE A LITTERING PROBLEM.

9. Will any hazardous materials, as defined by the state or federal government, be handled, stored, or generated on the property?

[ ] Yes.  No.

If yes, provide the name, monthly quantity, and specific disposal method below:

NOT APPLY

10. Will any organic compounds, for example paint, ink, lacquer thinner, or cleaning or degreasing solvent, be handled, stored, or generated on the property?

[ ] Yes.  No.

If yes, provide the name, monthly quantity, and specific disposal method below:

NOT APPLY

11. What methods are proposed to ensure the safety of residents, employees and patrons?

THE NEW BUILDINGS ARE DESIGNED TO KEEP SIGHT LINES OPEN,  
AND EACH BUILDING WILL HAVE EXTERIOR LIGHTING ON THE  
BUILDING

**ALCOHOL SALES**

12. Will the proposed use include the sale of beer, wine, or mixed drinks?

[ ] Yes.     No.

If yes, describe alcohol sales below, including if the ABC license will include on-premises and/or off-premises sales. Existing uses must describe their existing alcohol sales and/or service and identify any proposed changes in that aspect of the operation.

NOT APPL.

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**PARKING AND ACCESS REQUIREMENTS**

13. Provide information regarding the availability of off-street parking:

A. How many parking spaces are required for the proposed use pursuant to section 8-200 (A) of the zoning ordinance?

WE PROVIDE 16 PARKING SPACES ON SITE

B. How many parking spaces of each type are provided for the proposed use:

5 Standard spaces  
10 Compact spaces  
1 Handicapped accessible spaces.  
Other.

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- C. Where is required parking located? (check one)  on-site [ ] off-site.

If the required parking will be located off-site, where will it be located:

NOT APPLY.

Pursuant to section 8-200 (C) of the zoning ordinance, commercial and industrial uses may provide off-site parking within 500 feet of the proposed use, provided that the off-site parking is located on land zoned for commercial or industrial uses. All other uses must provide parking on-site, except that off-street parking may be provided within 300 feet of the use with a special use permit.

- D. If a reduction in the required parking is requested, pursuant to section 8-100 (A) (4) or (5) of the zoning ordinance, complete the PARKING REDUCTION SUPPLEMENTAL APPLICATION.

14. Provide information regarding loading and unloading facilities for the use:

- A. How many loading spaces are required for the use, per section 8-200 (B) of the zoning ordinance? NOT APPLY

- B. How many loading spaces are available for the use? 0

- C. Where are off-street loading facilities located? IN PARKING LOT OF THE BUILDINGS. IN THE DRIVE ADJACENT TO FRONT ON RAYMOND OR MT. VERNON AVENUE.

- D. During what hours of the day do you expect loading/unloading operations to occur? DURING BUSINESS HOURS AS REQUIRED.

- E. How frequently are loading/unloading operations expected to occur, per day or per week, as appropriate?

WE EXPECT MINOR NEED FOR LOADING OPERATIONS AS WE PROPOSE AN OFFICE USE.

15. Is street access to the subject property adequate or are any street improvements, such as a new turning lane, necessary to minimize impacts on traffic flow?

STREET ACCESS TO THE PROPERTY IS ADEQUATE. WE PROPOSE TO CLOSE AN EXISTING CURB CUT & CONSTRUCT A NEW ONE.

## MOUNT VERNON AVENUE URBAN OVERLAY ZONE

### Sec. 6-600 Mount Vernon Avenue Urban Overlay Zone

6-601 *Purpose.* The Mount Vernon Avenue Urban Overlay Zone is intended to supplement traditional zoning for certain properties on Mount Vernon Avenue in order to achieve a mixed use, pedestrian oriented community that both supports economic activity and protects existing residential neighborhoods, and to provide for appropriately scaled infill development that is compatible with the character of Mount Vernon Avenue, the existing community and the Town of Potomac Historic District. The provisions of this overlay zone therefore:

- (A) encourage certain uses, especially those ground floor uses that promote an active retail street;
- (B) provide more flexibility for some uses, by allowing administrative approvals subject to standards instead of a special use permit;
- (C) promote signage that creates a more attractive streetscape in keeping with the character of the street;
- (D) encourage the retention of contributing structures within the Town of Potomac Historic District; and,
- (E) encourage compatible development of infill and vacant sites by allowing the use of form based development in lieu of the traditional CL zoning approach, subject to standards and the principles of the Mount Vernon Avenue Business Area Plan.

### 6-602 *Application of overlay zone.*

- (A) *Overlay zone.* The Mount Vernon Avenue Urban Overlay Zone shall apply to all property with frontage on Mount Vernon Avenue between Nelson Avenue on the south and Commonwealth Avenue on the north, and shown in more detail on the "Mount Vernon Urban Overlay Zone Map, dated \_\_\_\_\_ (date of adoption)."
- (B) *Retail Focus Area.* Within the Mount Vernon Avenue Urban Overlay Zone, a portion of the area is designated as a Retail Focus Area, and is the subject of specific additional regulations. The Retail Focus Area is generally consistent with the Town of Potomac Historic District boundaries on Mount Vernon Avenue, and extends from Bellefonte Avenue on the south to Uhler Avenue on the north. The Retail Focus Area is shown in more detail on the map titled, "Mount Vernon Avenue Urban Overlay Zone Map, dated \_\_\_\_\_ (date of adoption)."
- (C) The overlay zone requirements including the retail focus area provisions, parking provisions, sign provisions, form based development provisions, and

administrative uses shall apply in addition to the requirements of the underlying CL zone. In the case of a conflict, the overlay zone shall prevail.

6-603 *Uses.*

- (A) *Permitted and Special Use Restrictions* The following uses, otherwise allowed either as permitted or special uses in the CL zone, are not permitted in the overlay zone area:
- (1) Seminary, convent or monastery;
  - (2) Medical laboratory;
  - (3) Public school;
  - (4) Funeral home;
  - (5) Rooming house;
  - (6) Check cashing business;
  - (7) Payday loan business;
  - (8) Pawnshop;
  - (9) Motor vehicle parking or storage, except that a public parking lot is allowed with a special use permit.
- (B) *Special Use Additions.* The following uses are allowed by special use permit, in addition to those listed in the CL zone:
- (1) amusement enterprise, limited to live theater, music venues and similar entertainment opportunities.
- (C) *Retail Focus Uses.* Within the retail focus area, uses occupying first floor space of a building shall be limited to the following:
- (1) Retail shopping establishment
  - (2) Restaurant
  - (3) Amusement enterprise, as limited in Section (B)(1) above.
  - (4) Personal service establishment, provided that the use shall occupy no more than 30 feet frontage on Mount Vernon Avenue, and provided further that additional frontage space may be permitted with a special use permit.
  - (5) Arts and crafts studios, which are facilities where arts and crafts products are created on site. If at least 50% of the frontage of the space on Mount Vernon Avenue is devoted to retail display and sales, then the use is not considered a personal service establishment.
  - (6) Office or residential uses, in an existing building with a first floor located at least 40 inches above the grade of the sidewalk.

- (D) *Administrative Uses.* Notwithstanding any contrary provisions of the zoning ordinance, the following uses may be allowed by the Director by administrative review and approval pursuant to the standards and procedures of Section 6-608 of this ordinance; provided however that the Director may determine that a special use permit approval shall be required if the applicant fails to consent to the conditions of the administrative permit or if after consultation with the Police Department it is determined that there are documented criminal or nuisance activities or zoning ordinance violations at the proposed location or with the proposed operator. Alternatively, at the applicant's discretion, the applicant may seek special use permit approval for such uses pursuant to Section 11-500 of this ordinance.
- (1) Restaurants, up to a maximum of 60 seats
  - (2) Outdoor dining, up to a maximum of 16 seats
  - (3) Amusement enterprise, limited to live theater
  - (4) Outdoor food and crafts markets
  - (5) Neighborhood outdoor garden center, limited to a maximum size of 10,000 square feet
  - (6) Outdoor display of retail goods
- (E) *Accessory Apartments.* The regulation for accessory apartments in Section 4-108 is modified to allow residential uses on the upper floors of a building to apply to up to eight apartments.
- (F) *Noncomplying Uses.* Notwithstanding the language of 12-301 regarding the definition of noncomplying uses, any use within the urban overlay zone that is legally existing on \_\_\_\_\_ (date of ordinance adoption) and inconsistent with these provisions shall be deemed a noncomplying use and allowed to continue subject to the rules for noncomplying uses in Section 12-302 of this ordinance.

6-604 *Parking Requirements.* The provisions of Article VIII of this ordinance shall apply within the overlay zone the following additions and modifications:

- (A) The requirements of Sections 8-200(F) (1) and (2) regarding provision of parking as a result of a change of use, a significant enlargement or a significant alternation shall not apply if the use after the change, enlargement or alteration is a retail establishment.
- (B) Outdoor dining requires no parking for the first 16 seats.
- (C) Outdoor food and crafts markets shall have no parking requirement, and may, like other permitted temporary uses approved by the Director, occupy areas

with required parking spaces for their limited duration.

- (D) For form based development pursuant to Section 6-606, parking additions or modifications are provided in that Section.

6-605 *Signs.* The provisions of Article IX of this ordinance shall apply within the overlay zone the following additions and modifications:

- (A) *Sign Designs Compatible with Mount Vernon Avenue.* The following sign types are permitted:

- (1) *Sign type.* All signs shall be wall-mounted, projecting signs, glass applied or located on the valance of an awning;

- (2) *Sign Location.* All signs shall be located below second floor windows;

- (3) *Awnings.* Awnings shall be designed to coordinate with the design of the building. Awnings shall not be internally illuminated. Light fixtures mounted to the building wall to illuminate the building or sidewalk are permitted.

- (B) *Prohibited Signs on Mount Vernon Avenue.* The following specific sign types are prohibited:

- (1) Freestanding signs, exceeding six square feet in size and six feet in height. Except that such freestanding signs existing on \_\_\_\_\_ (date of adoption) may be replaced on a one-time basis with a monument sign not to exceed eight feet in height. Any such replacement signs, shall be deemed a noncomplying structure, subject to Section 12-100, and shall not be subject to the conditions of Section 6-605 (C).

- (2) Signs with internal illumination.

- (3) Box signs hung perpendicular to a building wall.

- (C) *Noncomplying Status.* Any signs existing on \_\_\_\_\_ (date of adoption) that are inconsistent with the requirements of Sections 6-605 (A) and (B) shall be subject to the following restrictions: such signs may not be physically expanded, enlarged or intensified; such signs must be removed if the use existing on \_\_\_\_\_ (date of adoption) to which it is accessory ceases operation, or if the use of the sign is abandoned for a period of 12 months. No change of sign face or message shall be permitted for a sign deemed noncomplying under this Section.

6-606 *Form Based Development.* The following system for new development within the overlay zone has been designed to supplement and substitute for the conventional zoning rules found in the CL zone in order to assure that new buildings and additions to existing buildings include the most desirable characteristics of Mount Vernon Avenue and are compatible with existing buildings in the area. Form based development provides an option for developers and property owners who choose to build pursuant to the following standards instead of the rules for development under the CL zone.

- (A) *Waiver of CL zone rules.* The area and bulk requirements of the CL zone shall not apply for development for which a form based development SUP is approved.
- (B) *Eligible construction.* Any new construction or addition to an existing building that exceeds 1,000 square feet may apply for a form based development special use permit.
- (C) *SUP Procedure.* An application for form based development SUP shall follow the procedures and application requirements for special use permits pursuant to Section 11-500.
- (D) *Eligible land parcels.* The land that is the subject of an application for form based development SUP shall be a lot within the overlay zone that has frontage on Mount Vernon Avenue and that conforms to the following:
  - (1) *Historic Buildings.* Each building listed as a contributing building in the records of the National Register of Historic Places for the Town of Potomac Historic District and over 750 square feet in size shall be retained.
  - (2) *Consolidation of lots.*
    - (a) Consolidation of lots for the purpose of development is permitted only in extraordinary circumstances because the form based development standards are based on the size of typical, existing lots and reflect the historic development pattern.
    - (b) An applicant for form based development who proposes the consolidation of lots for development shall demonstrate by clear and convincing justification that the resulting development achieves a design, mass, scale and configuration which are more consistent with the form based development



standards than would be possible without consolidation.

- (c) An applicant for form based development who proposes to consolidate a CL-zoned lot without frontage with a lot with frontage on Mount Vernon Avenue shall demonstrate by clear and convincing justification that the resulting development achieves a design consistent with and meets the goals of the form based development standards to a greater extent than would occur without consolidation and that the impact on adjoining residential development is no greater than would occur without consolidation.

(E) *Standards and requirements for form based development.* An application for form based development SUP shall be reviewed for consistency and compliance with the following:

- (1) The standards for SUP approval in Section 11-500.
- (2) Chapter 6 of the Mount Vernon Avenue Business Plan, as adopted as part of the Potomac West Small Area Plan, which includes the City's goals for the urban design and streetscape elements for buildings on Mount Vernon Avenue, and enumerates both general and specific elements for applicants to follow related to, without limitation, building height, setbacks, coverage, buffering, access and parking locations, facade treatment and articulation, scale and massing, and architecture.
- (3) The following specific rules regarding open space and parking based on the size and scope of development:
  - (a) *Tier 1: lots of 7,000 square feet or less.*
    - (1) *Open Space.* The undeveloped land resulting from the building coverage in Chapter 6 of the Mt. Vernon Avenue Business Area Plan should be located, designed and planted so as to serve as an amenity for residents and users of the building.
    - (2) *Parking.* The parking requirements of Section 8-200 (a) shall not apply for land locked interior lots and may be reduced for corner lots and lots with rear access as part of the form based development SUP review process.

(b) *Tier 2: lots of 7,001-15,000 square feet.*

- (1) *Open Space.* A minimum of 15% of the lot area shall be provided in open and usable ground level open space. The provision of additional open space at ground level and in the form of roof tops, terraces or similar non-ground level open space is strongly encouraged.
- (2) *Parking.* For residential uses, a minimum of one space for each dwelling unit is required. For any other use, a minimum of 50 % of the number of parking spaces otherwise required under Section 8-200 of this ordinance shall be provided, plus such additional number as is feasible consistent with achieving the goals of Chapter 6 of the Mount Vernon Avenue Business Area Plan.

(c) *Tier 3: lots of greater than 15,000 square feet:*

- (1) *Open space.* A minimum of 25% of the lot area shall be provided in open and useable ground level open space that is publicly visible and consolidated in a size and location appropriate for the size and type of project being proposed. The provision of additional open space at ground level and in the form of roof tops, terraces or similar non-ground level open space is strongly encouraged and may be required.
- (2) *Parking.* The parking requirements of Section 8-200 are not waived. Parking sufficient to meet the full requirement of the project shall be provided.
- (3) *Additional requirements.* Tier 3 projects are expected to represent the highest standards of building design and materials, site layout and orientation, provision of open space, and the ability to be integrated into the scale, character and context of the existing neighborhood. To achieve this standard, additional requirements suitable for the size, scope and type of project may be imposed consistent with Chapter 6 of the Mount Vernon Avenue Business Area Plan.

- (F) *Degree of compliance.* An application for form based development shall meet or exceed each of the above standards and guidelines fully, specifically and rigorously. Any failure to meet the above standards will result in the denial of an application unless a deviation is approved as provided herein. Deviation from any of the standards of Section 6-606 (E) shall be explained in narrative as well as graphic form and supported by design and rationale demonstrating that the proposal achieves the goals of the Mount Vernon Avenue Business Area Plan to the same extent as strict compliance with the standard and/or guideline from which deviation is requested. Each such deviation shall be specifically approved by City Council as part of the form based development SUP. Any request for a deviation shall be clearly identified in the notice provision under Section 11-300.

6-607 *Standards and Procedures for Administrative Approvals.*

- (A) *Application of this Section generally.*
- (1) An applicant may seek administrative approval of a use listed in Section 6-603(D) pursuant to the standards and procedures outlined in this Section.
  - (2) At the applicant's discretion, the applicant may choose, as an alternative to an administrative permit, to seek special use permit approval for such uses pursuant to Section 11-500 of the zoning ordinance.
  - (3) Any change in the nature of the use or any enlargement, extension or increase in the intensity of that use beyond that outlined in the standards of this Section shall be subject to review by the Director and shall require a special use permit approved by the city council;
  - (4) In the event any person, whether owner, lessee, principal, agent, employee or otherwise, materially fails to comply with any standard of this Section, the Director may suspend or revoke the administrative approval in whole or in part and on such terms and conditions as deemed necessary to effect the cure of such failure. The applicant or his successor in interest may appeal this suspension or revocation pursuant to Section 11-205(B) et. seq. of this ordinance, except that such appeal shall be heard by the Planning Commission.

(B) *Procedure.*

- (1) Applicants for administrative permits under this Section shall file an application with the Director on such forms and subject to such procedures as the Director may establish for the purpose. The application shall include a statement identifying the applicant as required by Section 11-503 of this ordinance.
- (2) Notice of a pending administrative permit application shall be made in a newspaper of general circulation in the city, posted on the subject property, and given to nearby civic and business associations. The public may submit comments to the Director within 14 days after publication of the notice.
- (3) After review for compliance with the standards of this Section 6-607, the Director may approve, approve with conditions, or deny the application. The decision of the Director shall be deemed to have the force and effect of a special use permit, under Section 11-500, except that provisions of 11-507 shall not apply. The Director's decision may be appealed to the Planning Commission. Such appeal shall be filed within 30 days from the date of the decision appealed by filing a notice of appeal with the Department of Planning and Zoning. Such notice shall be a written statement specifying the grounds on which the person is aggrieved and the basis for the appeal.

(C) *Standards for Administrative Permits.*

- (1) *General standards for all administrative uses:*
  - (a) The application shall be reviewed for compliance with this Section 6-607 as well as with applicable provisions of Section 11-500.
  - (b) The Director may determine that administrative approval is not appropriate and that special use permit approval shall be required if the applicant fails to consent to the conditions of the administrative permit or if after consultation with the Police Department it is determined that there are criminal or nuisance activities or zoning ordinance violations at the proposed location or with the proposed operator.
  - (c) The administrative permit shall be granted to the applicant only or to any business or entity in which the applicant has a

controlling interest. Any change in the ownership of the use that is the subject of the administrative permit may be transferred administratively with the approval of the Director pursuant to the requirements of Section 11-503(F) of this ordinance.

- (d) The applicant shall provide information on alternative forms of transportation to access Mt. Vernon Avenue including but not limited to printed and electronic business promotional material, posting on the business website, and other similar methods. The applicant shall encourage its employees and customers to use mass transit or to carpool when traveling to and from work, by posting information regarding DASH and METRO routes, the location where fare passes for transit are sold, and advertising of carpooling opportunities.
- (e) At such time that a shared parking program has been adopted by the City Council, the applicant shall participate in the program. In addition, the applicant shall require its employees who drive to work to use off-street parking.
- (f) The applicant shall install signs inside the building indicating the location of off-street parking in the area and shall inform customers about the parking.
- (g) Trash and garbage shall be stored inside or in sealed containers that do not allow odors to escape or invasion by animals. No trash and debris shall be allowed to accumulate outside of those containers. **Outdoor trash receptacles shall be screened to the satisfaction of the Director of Planning and Zoning.**
- (h) The applicant shall contact the Crime Prevention Unit of the Alexandria Police Department for a security survey and robbery awareness program for employees prior to the operation of the business.
- (i) Litter on the site and on public rights-of-way and spaces adjacent to or within 75 feet of the premises shall be monitored and picked up at least twice during the day and at the close of the business, and more often if necessary, to prevent an unsightly or unsanitary accumulation, on each day that the business is in operation.

- (j) No outdoor speakers shall be permitted.
- (k) The administrative permit approved by the Director pursuant to this Section 6-607 shall be displayed in a conspicuous and publicly accessible place. A certificate provided by the city shall inform the public of its right to examine the list of standards associated with the permit. A copy of the list of standards associated with the permit shall be kept on the premises and made available for examination by the public upon request.
- (l) Improvements may be required to the facade or the front of the business establishment, including landscaping and site improvements, consistent with Chapter 6 of the Mount Vernon Avenue Business Area Plan as adopted as part of the Master Plan, and as determined by the Director to be necessary and appropriate to achieve the design and streetscape objectives of that Plan.
- (m) The Director may require conditions additional to those listed in the standards of this Section if the Director finds it to be reasonable to support the use and its compatibility with surrounding uses and the neighborhood.

(2) *Specific Standards for Live Theater*

- (a) The applicant may offer limited wine and beer sales in conjunction with performances at the intermission or one hour before the performances commence, with the appropriate licenses as required by law.
- (b) The applicant may offer wine and beer in conjunction with a show opening or other wine and cheese event, with the appropriate licenses as required by law. A maximum of one event each month is permitted.
- (c) The hours of performances shall be limited to 11:00 a.m. to 11:00 p.m. daily.

(3) *Specific Standards for Outdoor Food and Crafts Markets*

- (a) No alcohol sales shall be permitted;

- (b) No on-site storage of trailers is permitted;
- (c) No on-site food preparation shall be permitted;
- (d) The hours of operation shall be limited to 7:00 a.m. to sundown and the market shall be open on those days specified in the approved permit, not to exceed a maximum of two days a week.
- (e) Market operations shall include:
  - (1) The applicant shall designate one person to serve as the Market Master, and another person to serve as alternate, and shall provide the names of those persons and their home and work telephone numbers to the Director prior to the opening of the market;
  - (2) The Market Master or his/her designee shall be present prior to the opening of the market and at the closing of the market and shall oversee the cleanup of the lot and adjacent sidewalk areas at the end of the market;
  - (3) The Market Master shall prepare a plan for the layout of the market for approval by the Director prior to beginning operations, and shall obtain approval of the Director for any changes to those plans.
  - (4) The Market Master shall prepare a set of rules for operation of the market for approval by the Director who shall review any changes to those rules. Copies of those rules shall be given to each vendor, to nearby residents and businesses, and to the civic associations in the vicinity;
  - (5) The rules shall state who is eligible to sell goods in the Market and under what conditions. It is expected that the market shall include the sale of produce, and baked and prepared goods, and that the produce will be predominantly grown by the vendors, except during the spring and late fall when resale produce may predominate;

- (6) The Market Master shall maintain a list of vendors with addresses and telephone numbers.

(4) *Specific Standards for Restaurants*

- (a) The hours of operation shall be limited to 7:00 a.m to ~~11:00 p.m. daily~~ 10:00 p.m. Sunday through Thursday and 7:00 a.m. to 11:00 p.m. Friday and Saturday. The closing hour for indoor seating may extend until 12:00 midnight four times a year for special events.
- (b) The applicant shall post the hours of operation at the entrance to the restaurant.
- (c) Meals ordered before the closing hour may be served, but no new patrons may be admitted after the closing hour, and all patrons must leave by one hour after the closing hour.
- (d) Restaurant seating shall be limited to 60 seats.
- (e) Limited, non-amplified live entertainment may be offered at the restaurant. No admission or cover fee shall be charged. All entertainment shall be subordinate to the principal function of the restaurant as an eating establishment. Any advertising of the entertainment shall reflect the subordinate nature of the entertainment by featuring food service as well as the entertainment.
- (f) Full service restaurants with a minimum of 40 seats may offer delivery service which shall be limited to one delivery vehicle, with a dedicated off-street parking space, and shall not be parked on the public right-of-way.
- (g) Beer and wine table service may be provided. No off-premise alcohol sales are permitted.
- (h) No food, beverages, or other material shall be stored outside.
- (i) Kitchen equipment shall not be cleaned outside, nor shall any cooking residue be washed into the streets, alleys or storm sewers.



- (j) The applicant shall control odors and smoke from the property to prevent them from becoming a nuisance to neighboring properties, as determined by the Department of Transportation and Environmental Services.

(5) *Specific Standards for Outdoor Dining*

- (a) No more than sixteen seats may be located at outdoor tables in front of the restaurant. Outdoor seating shall not encroach onto the public right-of-way unless authorized by an encroachment ordinance.
- (b) The outdoor dining shall be an accessory use to an approved restaurant.
- (c) The hours of operation of the outdoor dining area shall be limited to 7:00 a.m. to ~~10:00 p.m. daily~~ 10:00 p.m. Sunday through Thursday and 7:00 a.m. to 11:00 p.m. Friday and Saturday. The outdoor dining area shall be cleared and washed at the close of each business day that it is in use.

(6) *Specific Standards for Neighborhood Outdoor Garden Center*

- (a) The site for the outdoor garden center may be no larger than 10,000 square feet.
- (b) The hours of operation shall be limited to between 7:00 a.m. and 9:00 p.m. Monday through Saturday, and from 8:00 a.m. to 8:00 p.m. on Sunday.
- (c) A plan showing the layout of the garden center, including areas for storage, on site deliveries, and vehicles; appropriate screening; the design of any building or structure; and the view from Mount Vernon Avenue and neighboring properties shall be submitted for review and approval by the Director.
- (d) Deliveries shall be limited to during normal business hours and shall occur in the location shown in the approved plan.

- (7) *Specific Standards for Outdoor Display.* Notwithstanding any contrary provisions of this ordinance, the display of goods from a retail sales establishment is permitted, subject to the following:
- (a) The requirements of Section 4-107(A) shall apply.
  - (b) Only goods from the adjacent store are permitted to be displayed.
  - (c) Signage for the outdoor display is allowed in addition to signage otherwise permitted for the business, but shall be limited to a maximum aggregate size of one square foot.
  - (d) No sales may occur in the outdoor display area.
  - (e) The outdoor display area may include no structures or other permanent changes to the exterior.
  - (f) There shall be no music, speakers, or amplified sounds associated with the outdoor display.
  - (g) The approved duration of the outdoor display shall be specified in the permit which may but is not required to be limited to four times a year.
  - (h) The outdoor sales may not encroach into the public right of way.

New Definitions to be part of Text Amendment:

- Section 2-198.1                    *Theater, Live:* An establishment that has an audience viewing hall or room and a permanent stage for the presentation of live performances by live actors to a live audience in a theater setting. Theaters may include but are not limited to live performances of music, dance, plays and orations.
- Section 2 - 127.1                *Check cashing business:* A business regulated by Section 6.1- 432 et seq. of the Virginia Code.
- Section 2 - 182.1                *Payday loan business:* A business regulated by Section 6.1 - 444 et seq. of the Virginia Code.

# Urban Design and Streetscape

## 6.0

Urban design involves the character and definition of those elements that make up the public realm, including the public streetscape, public and private open space, and the buildings that define and address the street. Urban character is defined by the scale and form of the buildings, the pedestrian scale, and the public spaces created by the buildings.

The urban design concept for the *Plan* recognizes the historic and eclectic character of Mt. Vernon Avenue and seeks to protect and enhance its unique character as change takes place. The *Plan* guides future development to maintain a vibrant, low-scale mixed-use neighborhood where Alexandria residents may live, work, shop and play. This chapter provides urban design recommendations for the public streetscape and the private building form to ensure quality design as envisioned by the *Plan*.

The design guidelines outlined in this chapter incorporate the existing Mt. Vernon Avenue Design Guidelines (adopted by Council in 1993). The guidelines herein shall supercede the previously adopted guidelines for this portion of Mt. Vernon Avenue.

### 6.1 Guiding Principles

*Preserve and protect existing residential areas*

- Protect nearby residences from impacts associated with commercial activity

*Encourage and support a mixed-use development*

- Emphasize retail uses on ground floor

*Preserve existing historic scale and character*

- Allow for appropriate infill development and redevelop incompatible buildings
- Implement standards and guidelines to ensure quality development that reflects the scale of existing historic structures

*Celebrate the "Town of Potomac Historic District"*

- Protect and enhance the corridor's visual appearance through streetscape and façade improvements

## 6.2 Building Form Design Approach

Mt. Vernon Avenue is regarded as one of the region's most unique neighborhoods, due in large part to its small town, Main Street character. The current zoning regulations, however, do not provide a framework to ensure that the form and scale of new or infill development will be compatible with the historic scale and character of the existing buildings along the Avenue. With its emphasis on form, quality, and the relationship of buildings to each other and the street, a more flexible design-oriented zoning approach is appropriate to support and encourage appropriately scaled and designed new construction.

The preparation and application of a building form design approach for a particular neighborhood requires a deep understanding of the existing built environment and the relationships between the adjacent properties, uses and the street. In order to understand the unique built environment in this area, an analysis of properties along the Avenue

was conducted. The analysis found several commonalities among the various sections of the Avenue, including:

- Typical commercial lot sizes are approximately 40-60 feet wide by 110 feet deep;
- Typical residential lot sizes are approximately 24 feet wide by 110 feet deep;
- Sidewalk width varies;
- Typical width of the Avenue from curb-to-curb is 40 feet;
- The street wall (i.e., the location of the face of the building) varies, but is generally located 10-15 feet from the curb; and,
- Buildings are primarily 2- 2 ½ stories in height, with some one- and three-story structures interspersed.

### Existing Building Typologies

Mt. Vernon Avenue has a variety of building types (Figures 6.2 – 6.4).

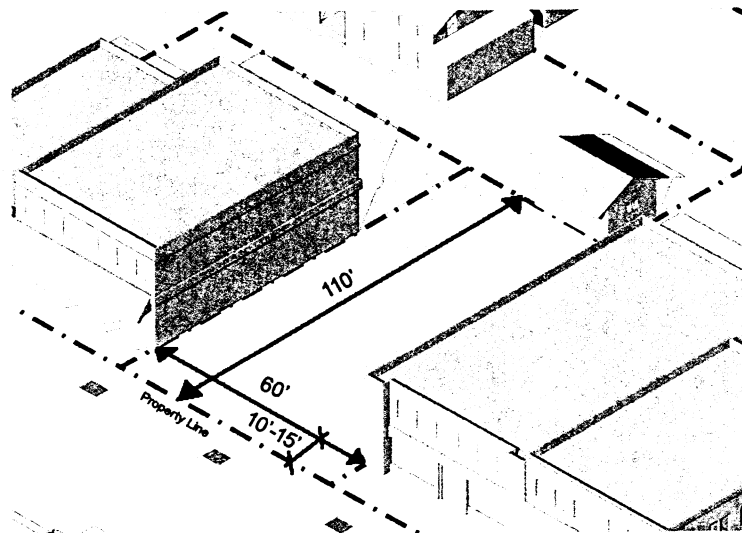


Figure 6.1 Typical infill site

- Retail / Commercial Use
- Flat roofs with parapet
- 60% Glazing / Storefront
- Awnings
- Retail Signage
- Lot Size: ~ 60'x110'
- Lot Coverage: ~ 50% - 60%
- Set Back: ~ 0' - 10'
- Building Height: ~ 12' - 16'

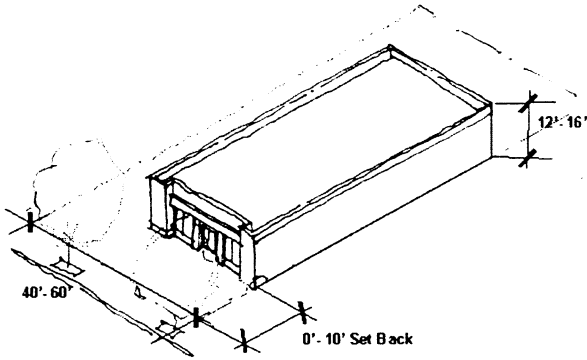


Figure 6.2 Building Typology: One Story Retail / Commercial

- Ground floor retail use
- Flat roofs with parapet
- 75% - 80% glazing/storefront at ground floor
- Vertically proportioned windows at upper floors
- Awnings, overhangs & retail signage
- Entrances, storefronts & architectural features address the corner
- Lot Size: ~ 60'x110'
- Lot Coverage: ~ 60% - 75%
- Set Back: ~ 0' - 5'
- Building Height: ~ 24' - 30'

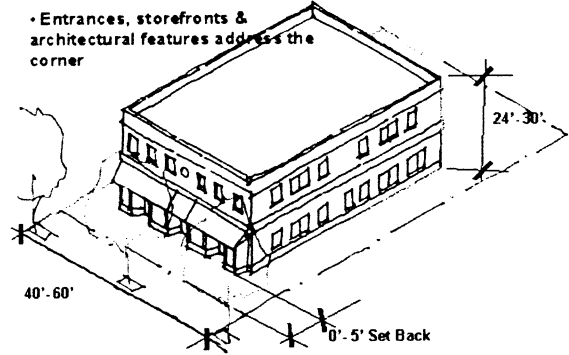


Figure 6.3 Building Typology: Two Story Retail / Commercial

- Flat roofs with parapet
- 75% - 80% Glazing/Storefront at ground floor
- Vertically proportioned windows at upper floors
- Awnings and overhangs
- Retail Signage
- Lot Size: ~ 60'x110'
- Lot Coverage: ~ 75% - 80%
- Set Back: ~ 0' - 5'
- Building Height: ~ 30' - 36'

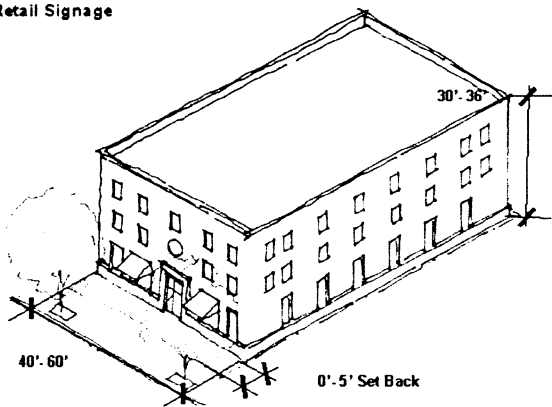


Figure 6.4 Building Typology: Three Story Retail / Commercial

- Commercial Retail - Re-use
- Gabled roof fronts street
- Fenced front yards
- Front porches ~ 8'-10' deep
- Deep roof overhangs
- Vertical windows
- Lot Size: ~ 24'x110'
- Lot Coverage: ~ 30%
- Set Back: ~ 10' - 15'
- Building Height: ~ 18' - 24'

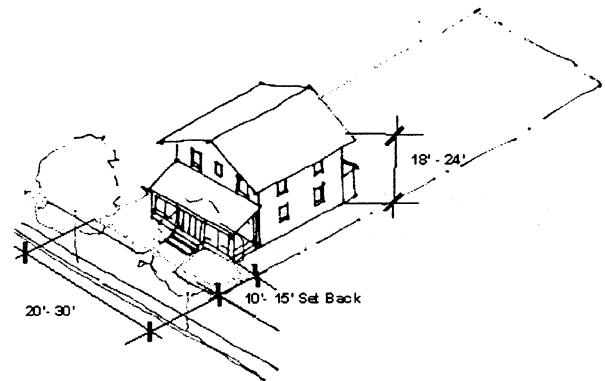


Figure 6.5 Building Typology: Single Family Detached

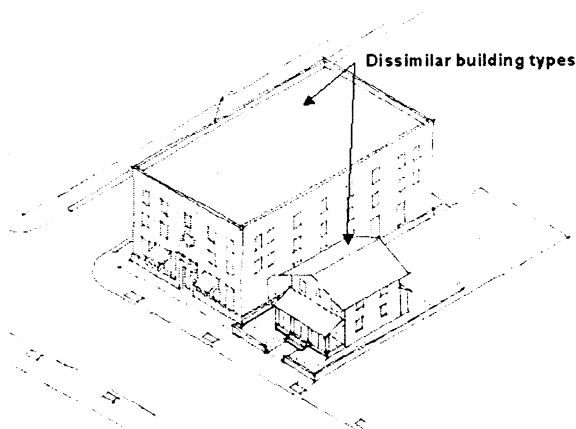


Figure 6.6 Dissimilar building types

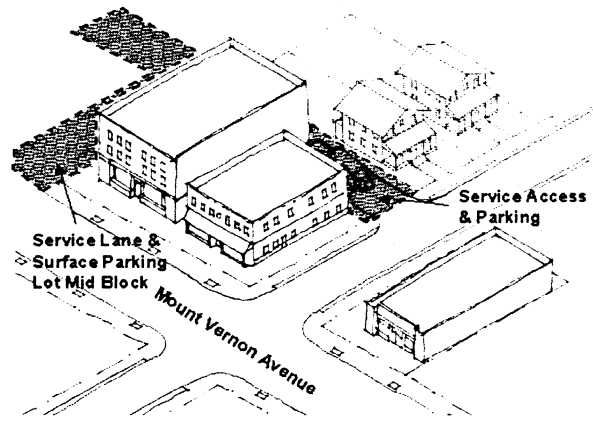


Figure 6.7 Discontinuity of pedestrian flow with mid block curb cut

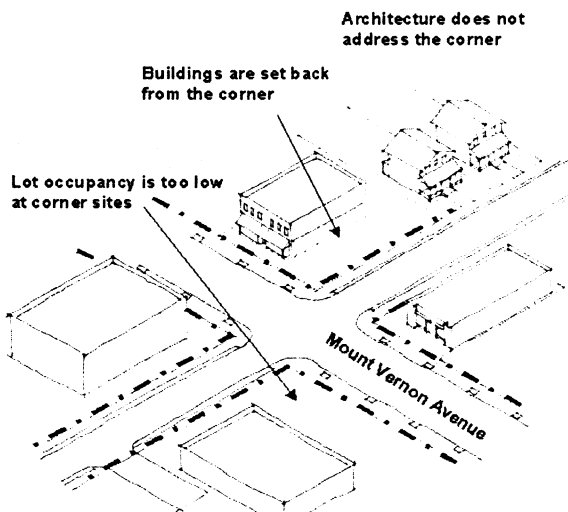


Figure 6.8 Lack of street wall and definitions at corners.

## Issues and Challenges

Critical to this analysis was an understanding of the location of the buildings and parking and their relationship to adjacent commercial and residential properties. As part of this analysis, issues and challenges were identified to assist in the development of the design principles that underlie the building form design approach. These issues and challenges include:

- Instances of dissimilar building types that create variety and diversity in some places and discontinuity of the street wall in other places;
- Building scale, setbacks and massing that are out of proportion or lack appropriate transition between building types;
- The presence of historic structures that should be preserved to maintain the history and character of the street;
- Small infill lots with little opportunity for access to rear yards for parking;
- Some building setbacks and surface parking lots compromise the definition of the street wall;
- Retail and commercial service uses abut to residential uses creating undesirable impacts when the screening/buffering is inadequate;
- Vehicle access directly from Mt. Vernon Avenue interrupts the street wall, as well as the continuity of pedestrian flow and retail when located mid-block; and,
- Lack of street wall definition at some corners where the lot occupancy is low, the buildings are set back from the corner or the architecture does not address its corner location

## Overall Design Principles

The building form design approach is intended to build on the existing pattern of development along the Avenue while preserving the scale of buildings within the historic district and minimizing impacts on the residences that abut the commercial properties.

Generally, the design principles meet the following objectives:

- New construction should reflect the scale of existing buildings;
- A consistent street wall should be maintained, with some variations to allow for landscaped open space, an opportunity for side windows and for other site use where desired;
- New construction should be two to two and one-half stories, with a setback where a third story is provided;
- New buildings should help define the corners where side streets intersect Mt. Vernon Avenue. Ground level retail storefront windows should extend onto the side streets;
- Appropriate building setbacks and parking lot screening will minimize impacts on adjacent residential properties;
- Ground level retail storefronts should contribute to the vitality of the streetscape and the pedestrian experience;
- Direct driveway access to Mt. Vernon Avenue is not desirable; and,
- Off-street parking lots should be located to the rear of the property, with access provided from rear alleys, when available, side streets or access easements from adjoining properties.

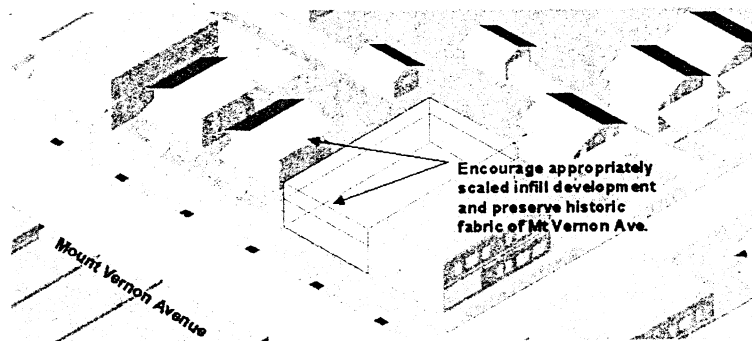


Figure 6.9 Encourage appropriately scaled infill

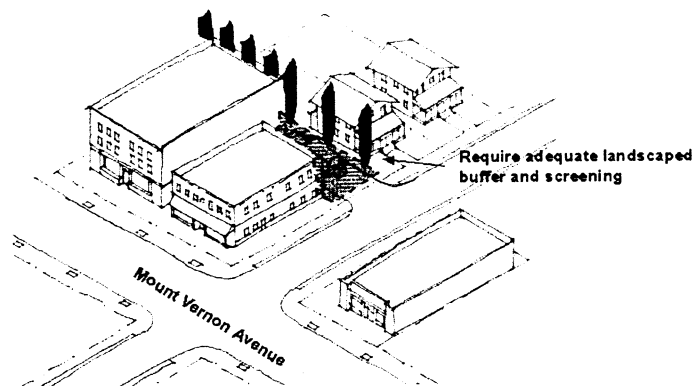


Figure 6.10 Buffer adjoining residences

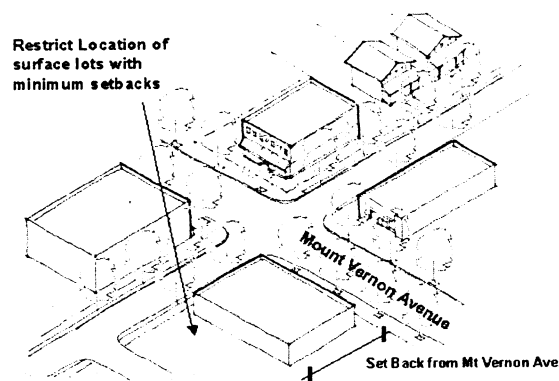


Figure 6.11 Parking in rear



### 6.3 Specific Building Form Design Guidelines

The guidelines are set forth visually, with graphics depicting the desired form and location of buildings and parking areas, building massing, height and scale, building facades, and screening requirements. A brief discussion of the design intent accompanies each graphic.

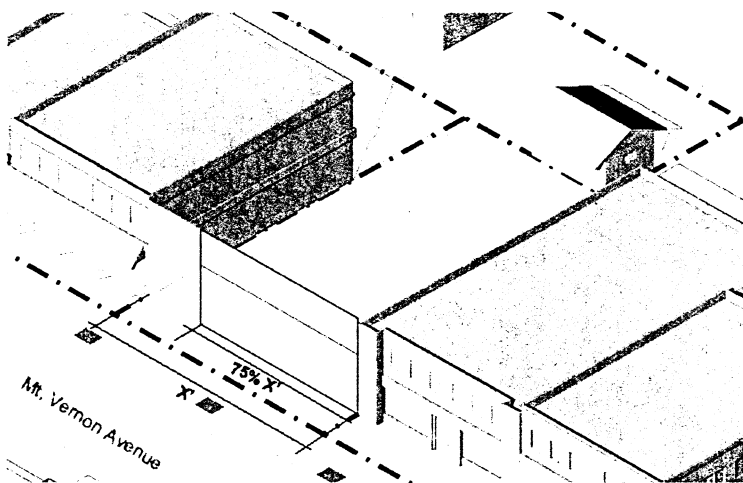


Figure 6.13 Street frontage interior site

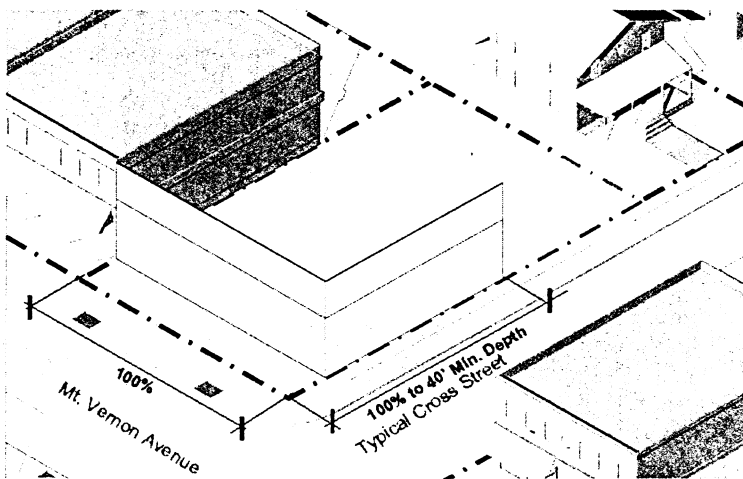


Figure 6.14 Street frontage corner site

#### Street Wall and Frontage

##### DESIGN INTENT

*New construction will define the street wall with a similar height and scale to existing buildings, while minimizing gaps in the continuity of the urban fabric along the Mt. Vernon Avenue corridor and the commercial transition on the corners of the side streets.*

##### On interior sites

It is desirable to have definition of the full frontage along the street. Buildings should define a minimum of 75% of the street wall for the width of lot. The remaining 25% of lot width may be occupied by landscaping, garden walls or similar defining features. (Figure 6.13)

##### On corner sites

Buildings are expected to define 100% of the street front along Mt. Vernon Avenue and 100% of the street front to a depth of 40 feet back from the front building wall on the cross street. The primary building entrance should be on Mt. Vernon Avenue or, where appropriate, oriented toward the corner. However, when the corner is used as an entry or architectural focal element, alteration of the street wall at the corner may be appropriate. (Figure 6.14)

**DESIGN INTENT**

*New development will maintain the continuity of the street wall and contribute to the subtle variety and complexity of building facades along Mt. Vernon Avenue.*

Building facades must be located within 10 – 15 feet of the front property line and align, where appropriate, with at least one existing neighboring building face to maintain continuity in the street wall. (Figure 6.15)

**DESIGN INTENT**

*Architectural elements are used to provide architectural interest and heighten pedestrian activity at the ground level.*

Entry to retail, commercial and institutional buildings should be directly at ground level. The entry to the building should be clearly visible from the street. Prominent, defined entries are encouraged for both architectural interest and as an element of scale and orientation.

Architectural details, such as a change in materials, ornamentation and the use of smaller, human scaled elements will be provided at the pedestrian level. (Figure 6.16)

**Building Height and Massing**

**DESIGN INTENT**

*New construction will be similar in height and scale to existing buildings along the Mt. Vernon Avenue corridor.*

A minimum two-story façade (a minimum of 25 feet in height) is required along Mt. Vernon Avenue. A maximum of three stories, where compatible with existing scale, with a required 10-15-foot setback at the third floor, is permitted along Mt. Vernon Avenue. Where a sloped roof and dormers are proposed, no setback is required at the third floor.

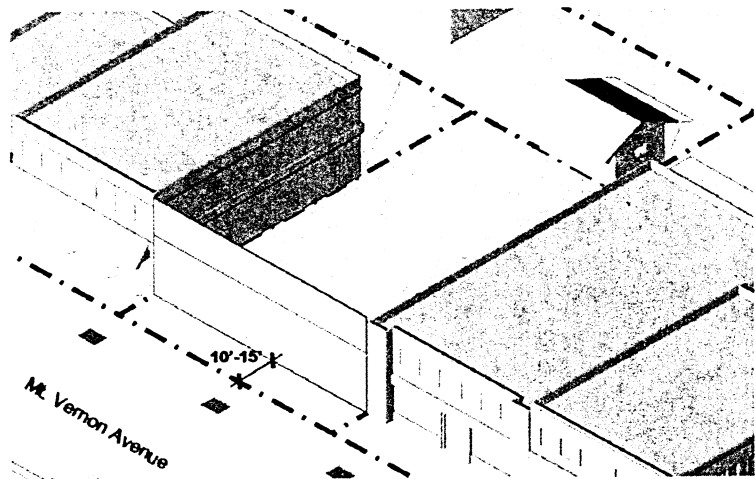


Figure 6.15 Continuity of street wall



Figure 6.16 Architectural detail and interest

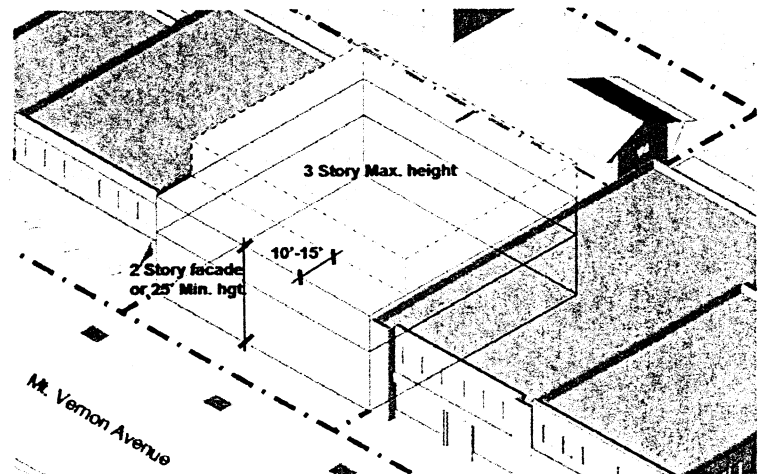


Figure 6.17 Building height and massing

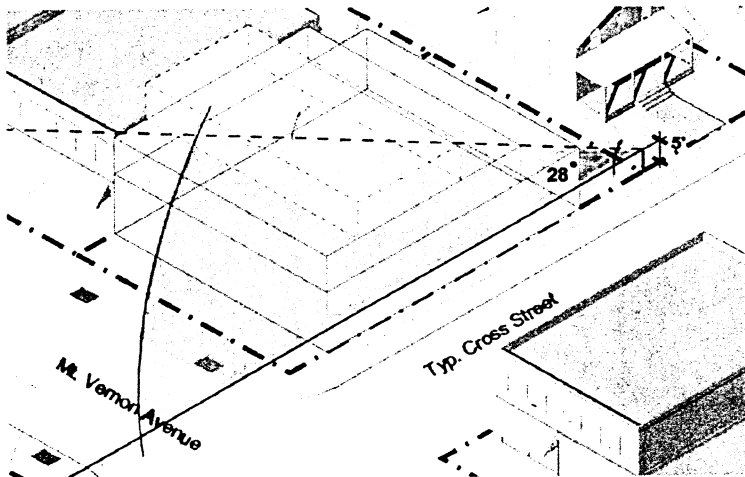


Figure 6.18 28 degree setback angle

**DESIGN INTENT**

*Appropriate massing for new construction provides adequate setbacks for light, air and privacy to neighboring residential uses, while maximizing development opportunity*

Building mass and height may not exceed a 28-degree setback angle measured from 5-feet above the ground at the rear property line. (Figure 6.18)

Ground floor retail in newly constructed buildings particularly in the retail focus area should have a minimum 12-13 foot floor-to-floor height and a minimum depth of 40 feet for the width of the building. Larger retail spaces should have higher floor-to-floor heights, such as the 14-foot minimum shown in Figure 6.19.

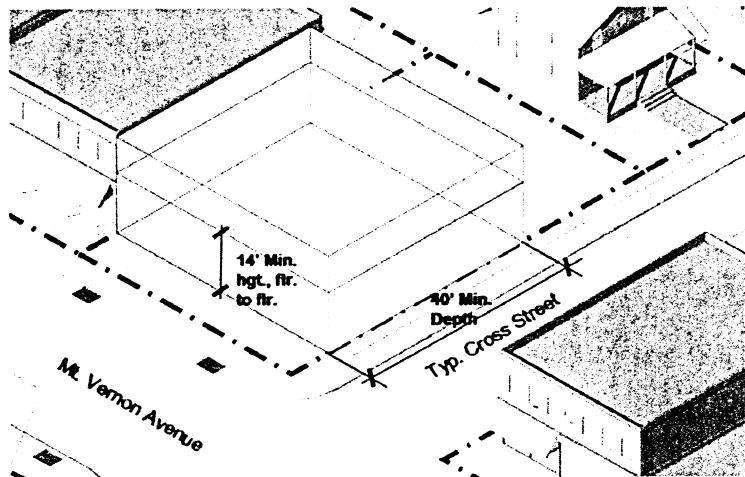


Figure 6.19 Retail floor height and depth

**DESIGN INTENT**

*Facades on new construction have surface articulation and variation in a scale and complexity similar to existing building facades along Mt. Vernon Avenue.*

Building facades may have a maximum width of 60 feet of continuous vertical surface, after which a change in material, plane or vertical articulation is required. Further articulation within the 60-foot width is necessary to break down the building mass into smaller units. Large blank facades are not allowed. (Figure 6.20)

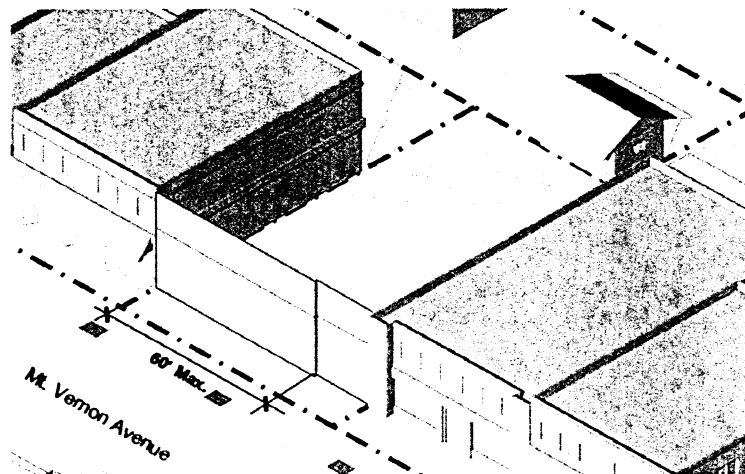


Figure 6.20 Maximum width of continuous facade

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All new development must approximate in street front appearance the existing Mt. Vernon Avenue character of 40-foot to 60-foot wide two story buildings with varying roof heights and setbacks. For new construction that occupies a lot or lots larger than the typical lot of 60 feet by 110 feet, the buildings must be designed to look smaller or have the appearance of separate buildings, with a change in architectural treatment of facades, setbacks, roof lines and styles in order to break up the mass of the buildings. (Figure 6.21)

**DESIGN INTENT**

*Appropriate massing and roof forms enhance the architectural character of the street and add to the continuity and variety of the street wall.*

Architectural elements, such as dormers or details at the cornice level help to break down the apparent mass of the building, compensate for changes in height and scale with existing buildings and create interest in the skyline.

A variety of roof forms are encouraged, including flat with a parapet, sloped with ridge parallel to Mt. Vernon Avenue or a combination of sloped, flat, or appropriately designed forms. Roofs are restricted to a maximum height of 40 feet to the top of the parapet for flat roofs and 40 feet to the mid-point of the slope for all sloped roofs. (Figure 6.22)

Buildings are encouraged to include 3rd floor "loft-type" space (such as illustrated in Figure 6.17) that are stepped back from the front building wall at the second story, creating useable outdoor open space on the second story roof. Such buildings may include unique roof designs on the third floor such as angled or curved trusses which create "loft-type" volume spaces. Such roofs shall be no higher than 45 feet at their highest point.

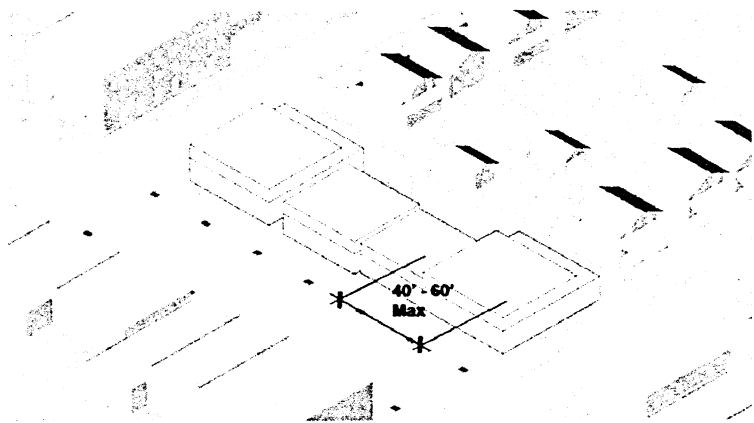


Figure 6.21 Maintain 40–60 foot module

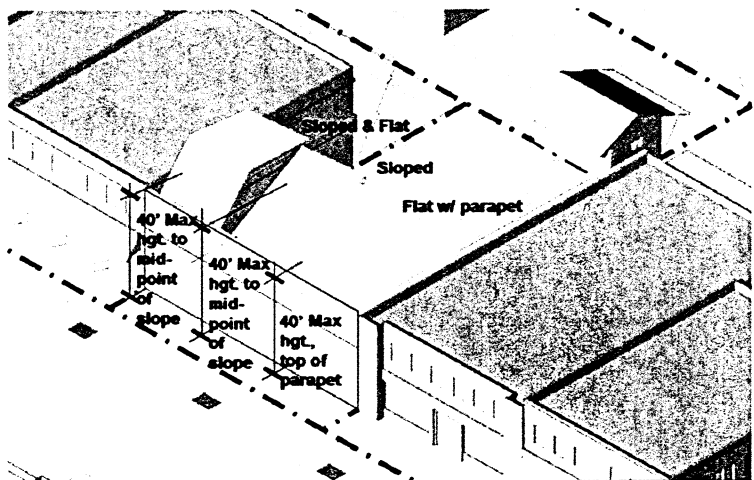


Figure 6.22 Building height

67

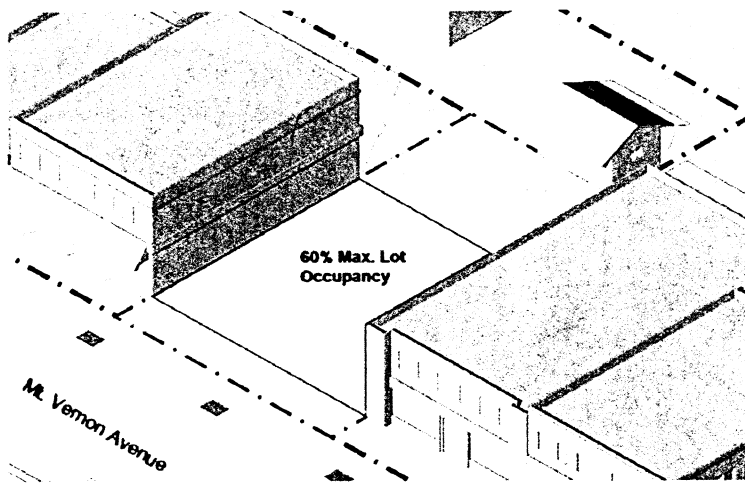


Figure 6.23 Lot occupancy

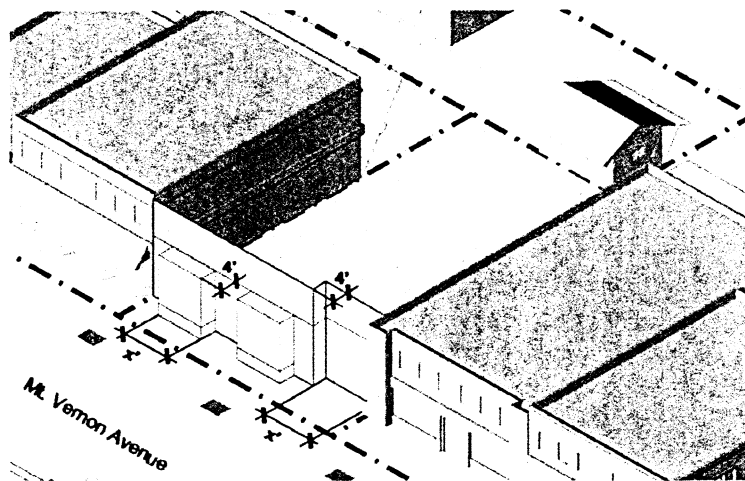


Figure 6.24 Facade articulation

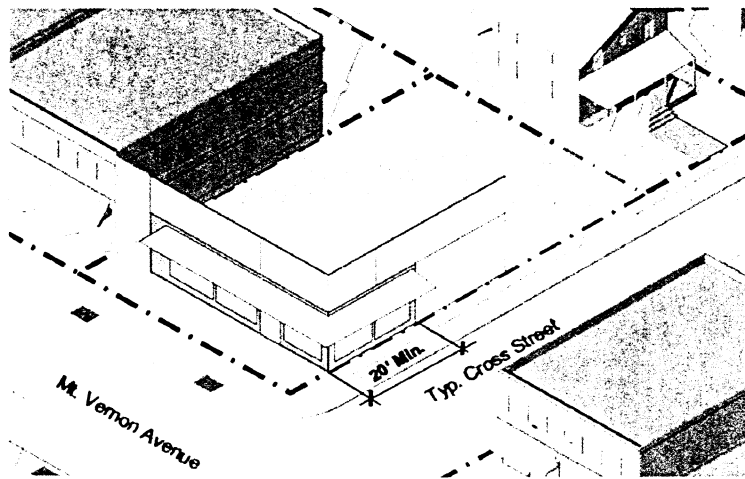


Figure 6.25 Corner articulation

### Lot Occupancy

Maximum lot occupancy of 60% is required on Mt. Vernon Avenue to accommodate building placement on the front of the lot and parking/screening on the rear of lots, except on small lots where off-street parking is waived. In such case, consideration may be made to increase the lot occupancy based on the merit of a given proposal. (Figure 6.23)

### Facade Articulation

#### DESIGN INTENT

*Diversity of the surface articulation and variation of building facades is accomplished through setbacks and projections while minimizing their intrusion into the building setback or detracting from the continuity of the street wall.*

Building façade projections and setbacks may have a maximum depth of 4 feet while maintaining the desired 10-foot setback. Bays or other more subtle means of façade articulation are encouraged. (Figure 6.24)

#### DESIGN INTENT

*Architectural features address the corner and ensure the character and activity of the streetscape extend along the cross streets of Mt. Vernon Avenue.*

Ground level retail storefront windows should extend a minimum of 20 feet along cross streets. The building's primary entrance shall be on Mt. Vernon Avenue or on the corner. Architecture is expected to address and articulate the corner of intersecting streets. (Figure 6.25)

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**DESIGN INTENT**

*Building façades contribute to the architectural character by creating a high amount of transparency at the ground level and a higher opacity on the upper floors.*

For retail/commercial uses the wall/window ratio must be a minimum of 25/75, with 75% glazing on the storefront. For all uses other than retail/commercial, ground and upper floors of building façades must have 30% to 50% glass, as a percentage of the wall surface. Individual "punched" or framed windows shall be provided on the upper levels. (Figure 6.26)

The upper floor windows of new buildings must be vertically proportioned and appropriately scaled to the building façade. The ratio of window height to width should be 1.75/1 or greater. (Figure 6.27)

**Parking and Screening**

**DESIGN INTENT**

*Gaps in the continuity of the street wall are minimized and the pedestrian experience is strengthened by prohibiting curb cuts along Mt. Vernon Avenue and restricting the width and number of curb cuts along side streets.*

*On interior sites*

Curb cuts along Mt. Vernon Avenue are strongly discouraged. Vehicular access to the property should be provided in the rear from alleys or easement from adjoining property/parking area. Where that is not feasible and the proposed development is well-designed, strong consideration will be given for reasonable waiver to parking requirements. (Figure 6.28)

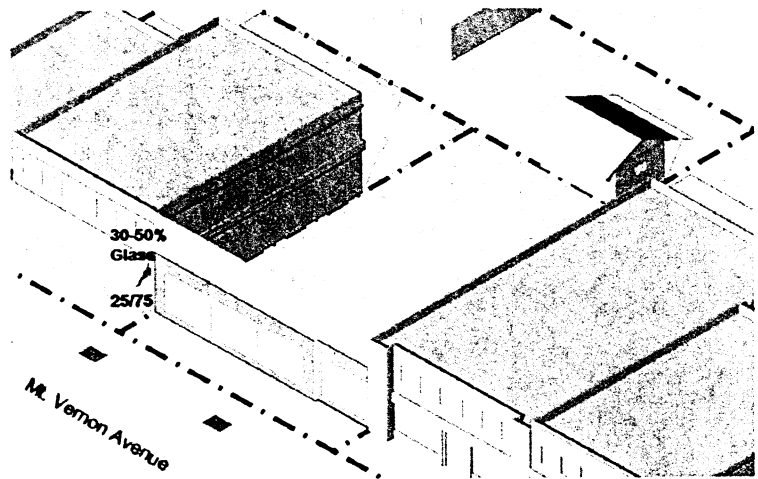


Figure 6.26 Wall / Window ratio



Figure 6.27 Window proportion

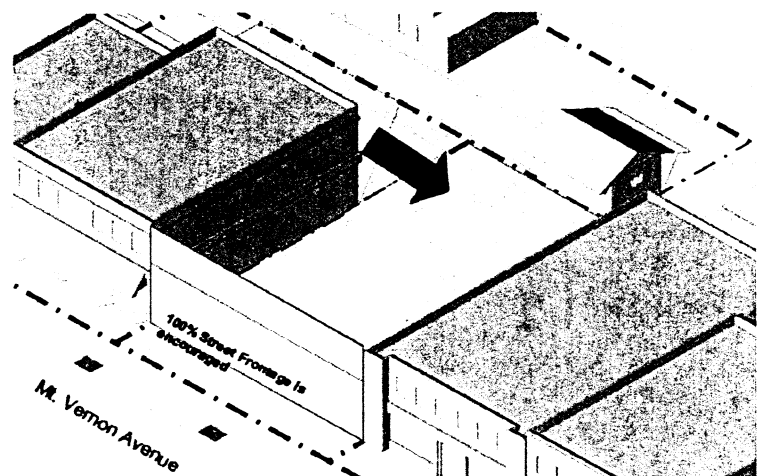


Figure 6.28 Restrict curb cuts on Mt. Vernon Avenue

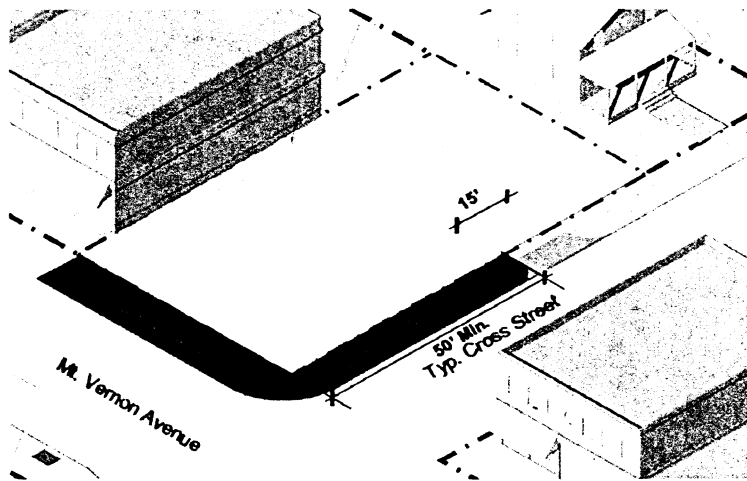


Figure 6.29 Access on corner lots

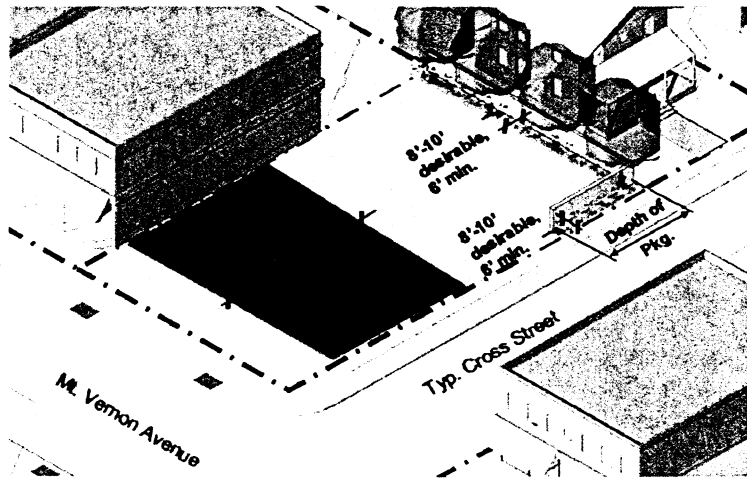


Figure 6.30 Parking and screening

#### On corner sites

Curb cuts are prohibited along Mt. Vernon Avenue for corner sites. Rear yard and parking for corner sites must be accessed from cross streets. While 100% street frontage is encouraged, one curb cut with a 15-foot drive lane is permitted along the cross street provided it is set back 50 feet from the property line at Mt. Vernon Avenue. (Figure 6.29)

#### DESIGN INTENT

*The suitable location of surface parking minimizes gaps in the continuity of the street wall and provides appropriate setbacks for screening and landscape buffering to reduce impacts on neighboring residential uses.*

Above grade and surface parking lots must be setback a minimum of 40 feet from Mt. Vernon Avenue. An 8 – 10-foot landscaped screening buffer is desired (with a 6-foot minimum depending on the quality of the screening) at the rear of the lot (and on the side street for corner lots) for the entire depth of the parking lot, except where a rear alley intersects perpendicular to the lot. In such instance, a break in the screening buffer is required to accommodate current or future access. Regardless of whether the parking requirement has been waived or reduced, a buffer must be provided as described above to provide screening for adjacent uses.

This design standard does not apply to the Town Square site, as it abuts commercially used property to the rear and the goal in the design of the square is to integrate it into the design of the streetscape, providing the opportunity for both large and small gathering spaces.

#### 6.4 Storefront Guidelines

It is important to maintain consistency in building facades and related treatments throughout the Avenue, particularly with Mt. Vernon Avenue's mix of architectural styles and colors that have evolved as

the surrounding areas have grown over the last few decades (Figures 6.31 and 6.32 illustrate various configurations of appropriately desired storefronts).

### Storefront Design

Storefronts are generally the first point of contact with potential customers and define the character of a neighborhood and retail street. Standardized or generic storefronts are strongly discouraged on Mt. Vernon Avenue. Storefront design should reinforce the "Main Street" quality of the Avenue, with its unique small town character. Storefront design should include as many of the following elements as possible:

- Individual storefront displays should change often to add richness to the Avenue
- The primary pedestrian entrance should directly front along the sidewalk or at the corner
- On corner sites, ground level retail storefront windows should extend a minimum of 20 feet along the side street, and both the architecture of the building and the storefront design should address and articulate the corner at intersections along the Avenue
- Storefronts should have a minimum of 75 percent glass at the ground floor facade
- Creative displays of merchandise and services should be included in storefront windows
- Ground level storefronts are encouraged to have exterior awnings that are coordinated with the storefront design. Along the Avenue, particularly in the historic district, shed or sloped awnings are strongly encouraged and are more appropriate than other awning forms. Awnings shall not overwhelm or obscure the architecture and decorative features of historically contributing buildings. Awnings shall not be backlit.



Figure 6.31 Quality storefront

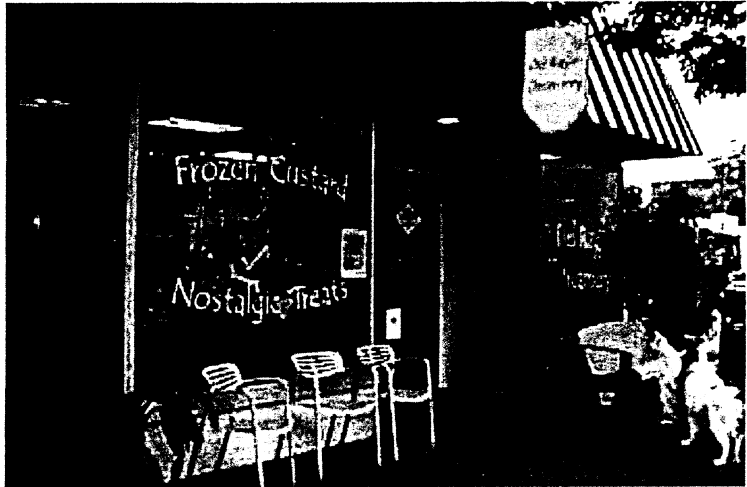


Figure 6.32 Quality storefront

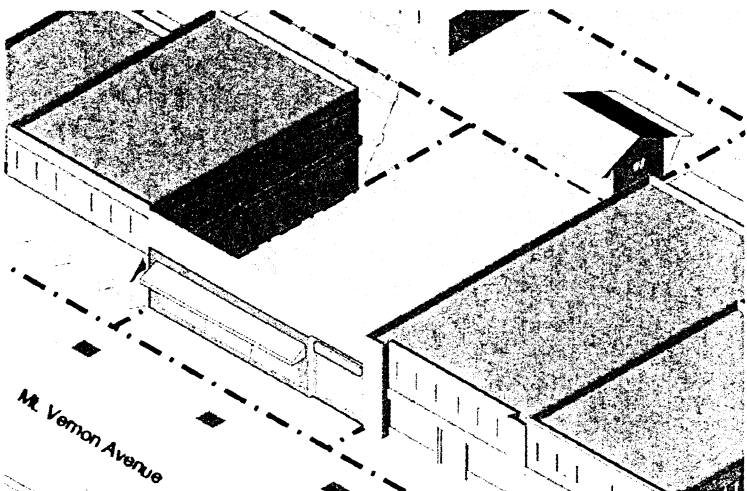
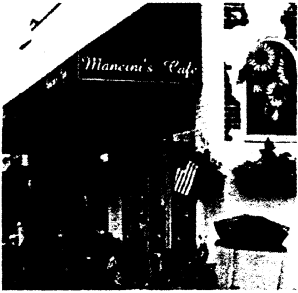


Figure 6.33 Awnings

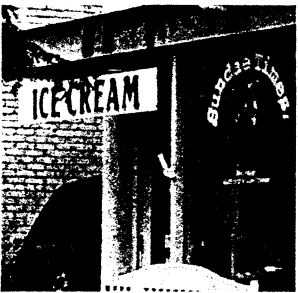
71



## Building Signage



*Business name on Awning*



*Variety of sign types*

Signage should clearly communicate the business name and should be restricted to the ground level. Facades should be enhanced through awnings, decorative signage, unique window dressings and displays, and detailed trim to add variety to the street wall and distinguish stores from one another. These improvements will enhance the pedestrian experience by offering interesting outposts of stores, eateries and miscellaneous services through a unique visual journey along the Avenue.

Signage should be consistent in scale and language, appropriate to the surrounding context and oriented to the pedestrian. Bright and flashy themed signs should be avoided, as they are not in character with the local neighborhood. Most architectural facades along the Mt. Vernon Avenue are traditional in style; in order to preserve this character, they should not be overwhelmed with signage. Commercial signage on the Avenue should consist of small scale, wall mounted signs located between the first and second floors of a building, glass-applied signage in storefront windows, or those hung from posts perpendicular to the building facade. Internally illuminated box signs should be prohibited and existing signs should be replaced with appropriate signage. Freestanding signs should be prohibited. For buildings with multiple retail units, a coordinated signage approach is desired.

## 6.5 Pedestrian Environment and Streetscape Recommendations

The *Plan* recommends improvements to lighting, sidewalks, crosswalks, street trees, signage, site amenities, including street furniture and public art to improve and enhance the pedestrian environment.

### Sidewalks and Right-of-Way Treatment

Sidewalks are generally adequate and easily navigable by foot, but paving type and texture are inconsistent throughout the Avenue. As the Avenue evolved from residential uses to a combination of uses, sidewalks outside of the improved area have remained narrow and unimproved. This is particularly evident in the treatment of the strip of land between the public right-of-way and private property.

Consistency in sidewalk surfaces would result in an improved appearance and cohesive boundary of the Avenue. The *Plan* recommends using two to three paving types such as concrete, brick pavers, and stone that will not only provide an aesthetic improvement but also distinguish areas of use, such as incorporating one paving type for outdoor dining directly adjacent to a

clearly marked walkway of a contrasting material (Figures 6.34 and 6.35). The use of alternative quality pavement material coordinated with the building façade or retail use is encouraged.

In most locations there is a narrow space (approximately 5-10 feet) between the edge of the public sidewalk and the front of the buildings, called the “public/private zone.” This is private property, but this area plays an important role in complementing the sidewalk. There are several options for the treatment of this area, as follows:

- The area is utilized as part of the outdoor seating for the cafes and restaurants;
- It serves as part of the entrance to retail and service uses – so it should be treated as a continuation of the sidewalk;
- It acts as the foreground to existing residential or office uses on the Avenue. As such, it should be planted and maintained with appropriate foundation plantings, with adequate sidewalk area to serve the use.



Figure 6.34

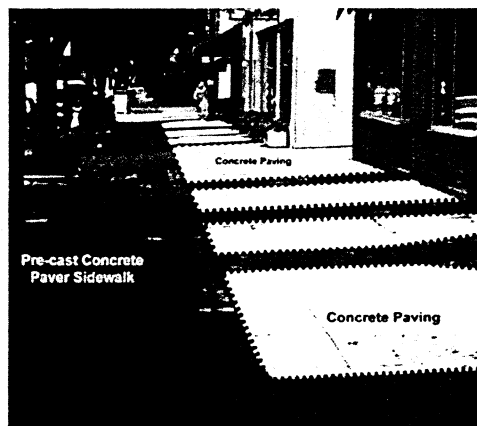
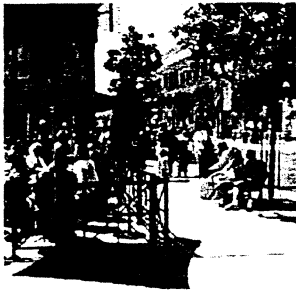


Figure 6.35 Paving defines retail entrance



Outdoor Dining

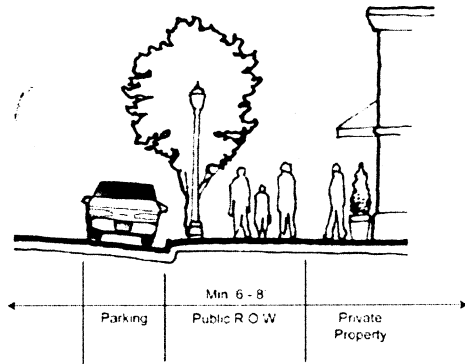


Figure 6.36 Retail, Pave to building foundation

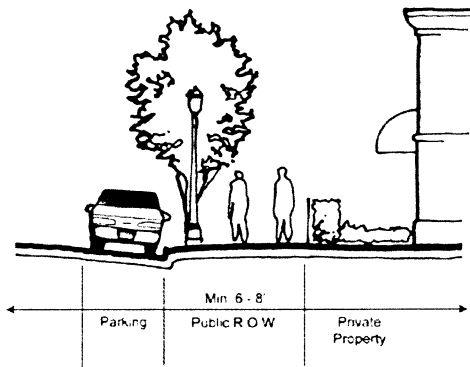


Figure 6.37 Residential Landscaping at entrance

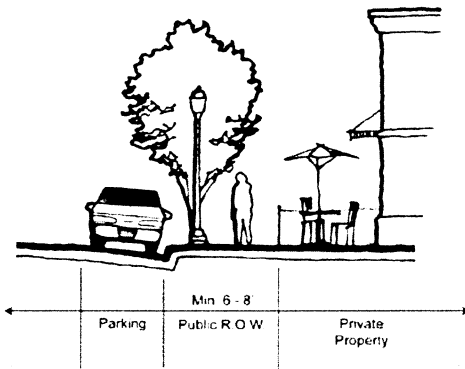


Figure 6.38 Outdoor Dining

The *Plan* recommends that the area located between the city right-of-way and the sidewalk-entry of businesses be paved using the same style of pavement as the existing sidewalk areas – generally brick pavers. Consistency in the treatment of the public/private zone will enhance cohesive identity along Mt. Vernon Avenue. In areas where a residential use is adjacent the right-of-way, ground surfaces is typically planted. For the areas adjacent to commercial and retail uses, the *Plan* recommends that sidewalks be paved to the building foundation. (Figure 6.36 and 6.37). An edge treatment, such as precast white concrete tree planter curb or brick edging for the unidecor pavers, is recommended where the sidewalk meets planting areas or grass.

In order to create activity on the street, outdoor, cafe-style seating should be encouraged and can have areas designated by special paving materials (Figure 6.38). Outdoor seating already occurs in some limited areas of the Avenue, and encouraging additional restaurants and cafes to provide outdoor seating will contribute to the street as a lively public area. Where outdoor dining currently occurs, this space is identified with temporary bollards or planters that identify the edge of the dining area, while others have installed low height metal, or wrought iron fencing. Areas that are used as outdoor dining may be paved in materials that differentiate the areas from pedestrian flow.

The *Plan* recommends that the portions of the Avenue adjacent to parking lots should be treated with a screen or planted buffer. In conjunction with vegetation, low walls can reinforce the delineation and screening of parking areas. (Figures 6.39 and 6.40).

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There are several parking lots and service uses within the Historic Core and Monroe Gateway areas that should be screened to the greatest extent possible. This buffer could include a low seat wall that would provide multiple uses, such as screening and an attractive seating space along the Avenue.



Figure 6.39 Parking area without screen

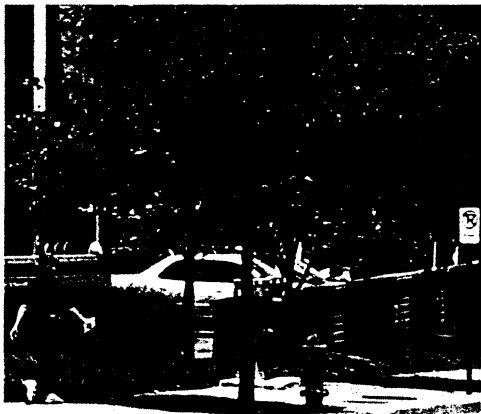


Figure 6.40 Parking area with wall and buffer

### Pedestrian Crosswalks

The existing crosswalks on the Avenue vary in design and maintenance, and several crosswalks are currently being upgraded from painted stripes to stamped asphalt, an attractive and cost effective method for highlighting crossing areas that can be easily updated with routine road maintenance.

A series of actions are recommended to improve the existing conditions of many crosswalks to optimize pedestrian safety. Existing crosswalks in poor condition, such as those at the intersections of Nelson and Monroe Avenues, warrant re-stripping at a minimum in the short term. A related issue is the variety in the treatment of crosswalks at other intersections. For example, the crosswalks at the Howell and Mt. Ida Avenue intersections are constructed of brick pavers, while both a painted ladder-style and a stamped asphalt crosswalk are provided at Del Ray and Oxford Avenues. A unique, but consistent crosswalk treatment is recommended to reinforce the character of the Historic Core area.



The *Plan* also recommends a standard treatment for the crosswalks outside the Core area, with special care taken at the two public schools, George Washington Middle School and Mt. Vernon Community School, to upgrade the existing faded and poorly marked crosswalks. These particular crosswalks should be upgraded in the short term with signage, lighting and enhanced treatment to help distinguish these crossings for drivers and to enhance pedestrian safety for children and others crossing the Avenue

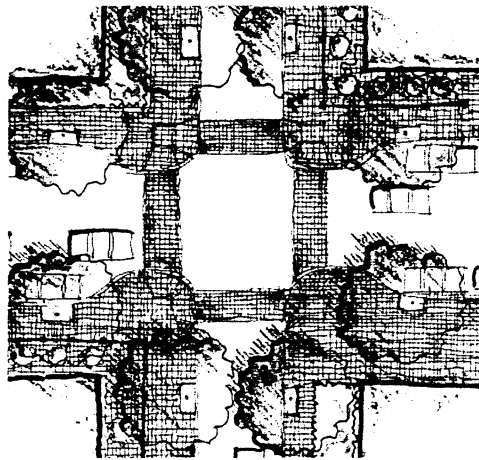


Figure 6.42 Crosswalk, alternative materials

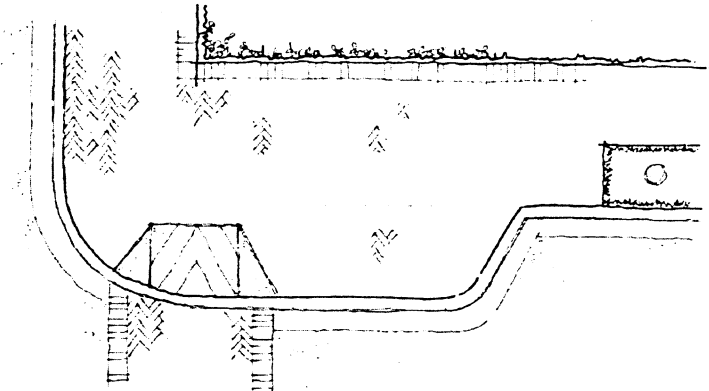


### Bulb-outs

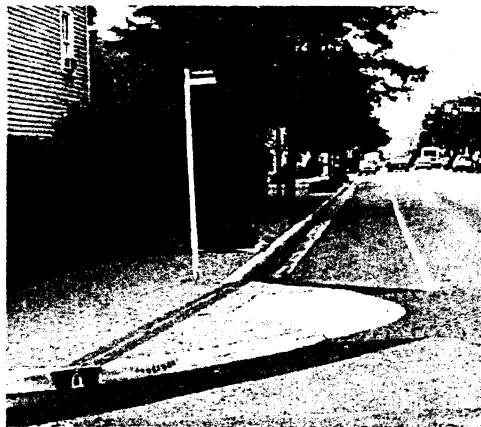
Bulb-outs generally serve to slow traffic, shorten road crossing distance and enhance pedestrian safety. The use of paving materials should continue to be integrated in areas where people and vehicles interact, particularly within the Monroe Gateway and the Historic Core.

The City has provided pedestrian bulb-outs at several intersections. These should also be incorporated at other intersections within the Historic Core area. Such improvements strengthen the Avenue as a safe, pedestrian domain.

Larger bulb-outs are recommended for intersections that accumulate greater numbers of pedestrians and can also offer an opportunity for planted areas or wayfinding at key intersections.



Recommended  
Bulb-out design



Example of Existing Bulb-out

### Lighting

A major concern expressed by community members is the lack of pedestrian-scale lighting along the length of Mt. Vernon Avenue. Currently, the street is lit by tall, cobra-head style lights located on one side of the street that illuminate a broad area of the street for vehicular traffic. In many instances, light from these fixtures is directed away from the sidewalk onto the street and may be obscured by the existing tree canopy, with little light filtering down through the trees onto the sidewalk. These conditions create an illusion of a poorly-lit and undesirable space for pedestrians. Installing pedestrian-scale lighting along the entire length of the Avenue, connecting to the Braddock Road Metro Station will help promote street-level activity during the evening hours and encourage pedestrians and others to use the Metro station during non-daylight hours.

In developing the specifications for streetscape lighting, luminaires should not exceed 14 feet in height. This height preserves the scale of the overall community and its adjacency to residential neighborhoods.

Other options to provide additional light on the sidewalk during evening hours are building lighting and lighted storefront windows. Lighting of storefronts should be done in such a manner that provides light on the sidewalk while not negatively impacting adjacent residences.

As an alternative to the expensive installation of new fixtures, the existing cobra-head style light poles could be modified to include an additional light source oriented towards the sidewalk and pedestrians.

The *Plan* recommends that the cost and feasibility of the pedestrian-scale lighting options be considered, and that whichever alternative is selected, a phasing

plan is developed to implement the new lighting over time. In addition, a plan for new bulb-outs should be developed as part of the overall streetscape improvements to coordinate the installation of these improvements.

The *Plan* also encourages building owners and business operators to install lighting that contributes to the illumination of the sidewalk and enhances the pedestrian experience. A high priority should be placed on the provision of effective lighting for pedestrians.

#### Street Trees

The existing street trees are reasonably mature and generally appropriate for the scale and traffic speed of Mt. Vernon Avenue. However, they are irregular in spacing in some areas and discontinuous in the northern segment of the Avenue.

The *Plan* recommends that trees along the length of the Avenue be replaced over time to ensure consistent streetscape pattern. Deteriorating vegetation easily detracts from the positive elements that the Avenue has to offer.

Newly planted trees should not exceed 30 to 40 feet in spacing so that buildings are not obscured and to ensure the provision of adequate space for both pedestrian movement and lighting (Figures 6.41 and 6.42).

Tree planting will be implemented with the streetscape improvement accompanying the undergrounding from Bellefonte Avenue to Nelson Avenue. A tree planting plan should be developed to infill the remainder of the street.

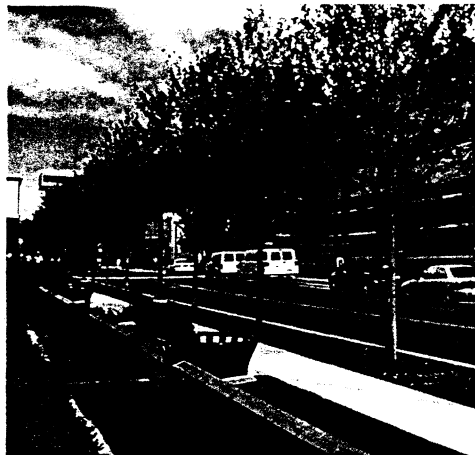


Figure 6.41 Street Trees



Figure 6.42 Street Trees



Bus Stops lack distinction



Banners and historic markers identify the area.

## Public Signage

The signage for both public and private uses is inconsistent throughout the Avenue. Older painted street signs are non-reflective and must be replaced. No signs exist to identify the Town of Potomac Historic District. Bus stop signage is consistent with WMATA signage, but the signs are small and inconspicuous. Bus stops along Mt. Vernon Avenue are generally constructed of asphalt and only marked by Metrobus signage.

Light pole mounted banners are recommended for displaying screen-printed vinyl or fabric signs. Banners can be good theme-oriented displays for neighborhood character that should be considered as one element of a comprehensive package to reinforce and celebrate the identity of the area. Banners should be placed at pedestrian level above head height and could be used to reduce the scale of the cobra head lighting to a more pedestrian scale. The banners should be installed on the sidewalk side of the pole to better orient the banners towards the pedestrian.

Another streetscape improvement should be the incorporation of identity signage at the edge of the Town of Potomac Historic District to coincide with the boundary of the Historic Core (Uhler and Bellefonte Avenues). This signage will provide a special identity feature for this important district and help reinforce the Avenue as a historic main street area. Historic district signage should be incorporated where there is adequate space, such as in planted areas, and where they do not obstruct pedestrian flow.

The Del Ray Citizens Association and Town of Potomac Historical Association have sought to provide interpretative signage in the neighborhood to raise awareness of the Town of Potomac National Historic Register District and

to educate residents and visitors about Del Ray's unique history. A grant has been awarded to the group to design and install signs at several key sites in the community explaining the history of Del Ray and highlighting significant sites. A total of five signs are proposed at the following locations:

- The public parking lot at Mt. Vernon and Oxford Avenues

*The sign in this location will describe the evolution of Del Ray/St. Elmo into the Town of Potomac and its annexation by the City of Alexandria. The sign will include photos showing Mt. Vernon Avenue in 1915 and 1929.*

- The former Town of Potomac Town Hall, now Fire Station #202, 213 E. Windsor Avenue

*A sign will be installed at the Fire Station describing the town fire department, with photos of the fire station at its opening in 1926 and the personnel and equipment of the original fire company.*

- The Mt. Vernon Recreation Center, 2701 Commonwealth Avenue

*A sign is planned for the area adjacent to the recreation center and will describe the electric railway that ran down present-day Commonwealth Avenue. A map of the route, including stations, and photos will also be included.*

- Along Route 1 (Jefferson Davis Highway), exact location to be determined

*A sign will be installed along Potomac Yard to describe the former rail yard operations and will feature photos of the old yard.*

- Charles Hill Park on Oxford Avenue

*This sign will depict the racetrack that was formerly located north of the park.*

The *Plan* supports implementation of this interpretative sign program. The program will complement the related *Plan* recommendations that are intended to better identify and celebrate the area's history.

A wayfinding system should be designed to orient pedestrians and vehicles toward parking, historic attractions, the Avenue, public parks, and the Braddock Road Metro Station. These signs should be designed in accordance with the local character.

Drawing on the strengths of the local arts and crafts community, local artists should be invited into the process for designing local signage and wayfinding features. This can provide a unique element to the Avenue, while highlighting the eclectic identity of area residents.

#### Site Amenities

The community character could be better identified through the integration and improvement of certain amenities. The existing architecture and urban design in the public realm is eclectic and has evolved over time. Elements such as street pole banners, consistent lighting styles and street furniture could help to express the local character. For example, the current street furniture is traditional-style wood and wrought iron benches that are generally in good condition. However, many benches appear weathered from years of exposure and should be updated. Trash receptacles are consistent along parts of the Avenue, but are mixed randomly with aging metal bins that have been painted as part of a local art project. The local touch of art should be supplemented with maintained receptacles.

#### Site Furniture/Public Art

Benches, bicycle racks and trash receptacles should be in keeping with architectural standards of the Avenue. Given the arts and crafts character of the Del Ray neighborhood, there is an opportunity to capture the creative talent on the Avenue by engaging local artists in the design of benches, sculptures, signs, street lamps, murals and mobile art. Art can often serve as functional material such as a sculpture that operates as a seat, outdoor table for games, etc. The physical integration of art into the public realm can help to express the diverse community character in a unique way, showcasing the eclectic essence of the Avenue and its residents. This is can also work to further the goals of an Arts Promotion Strategy as outlined in Section 3.4.

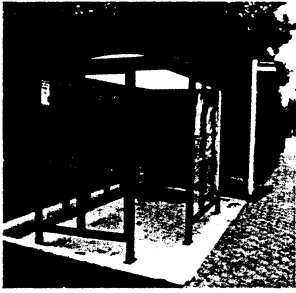
#### Utilities and Service

Access to buildings for service such as delivery or trash removal should be from the rear of the site wherever possible. Trash dumpsters should be screened from view by plant materials, fences or walls. Special consideration should be give to the long-term durability of such screening.

New construction should provide space for pad-mounted transformers within the building footprint. If this is not feasible, other alternatives may be explored. In priority order, these alternatives are: 1) transformers are located adjacent to an alley or at the rear of the property; and 2) they are located behind the building line and screened by an opaque wall and evergreen plantings. On larger redevelopment sites, such as the triangle sites, underground placement in a vault is the most desirable location for transformers.







Bus Shelter

### Bus Shelters

Currently, there are three bus shelters within the study area. The first shelter is located on the east side of Mt. Vernon Avenue at Oxford Avenue, and the second shelter is located on the west side of Mt. Vernon Avenue adjacent to the Nicholas A. Colasanto Center at Raymond Avenue. Another shelter is located just north of the Commonwealth District area on the west side of Mt. Vernon Avenue at Sanborn Place.

Bus shelters should be located at strategic points to capture the greatest ridership, and conveniently deliver and pick up riders in activity nodes along the Avenue. Activity nodes include spaces along the Avenue where there is an accumulation of pedestrian flow and street-level activity; areas near major destinations or intersections; and areas with connections to other transportation modes including additional bus routes, bicycles trails, or pedestrian routes. Shelters should act as points of information for orientation on the Avenue, local trail connections, and local route and schedule information for all transit serving the vicinity (DASH and Metrobus), as well as Metrorail system-wide maps and taxi service information.

Three existing bus stops on Mt. Vernon Avenue meet WMATA's boarding and alighting standards for bus shelters: on the east side at Hume Avenue and Bellefonte Avenue, and on the west side of the Avenue at Commonwealth and Mt. Vernon Avenues. While the ridership warrants bus shelters in these locations, the existing right-of-way is not sufficiently wide to accommodate a shelter. The *Plan* recommends exploring the possibility of acquiring additional right-of-way or an easement from private property owners to allow the installation of bus shelters.

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**Del Ray Lofts**  
**DSUP# 2003-0021**  
**2707-2711 Mt. Vernon Avenue**

**City of Alexandria**  
**Department of Planning and Zoning**

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# Site Characteristics

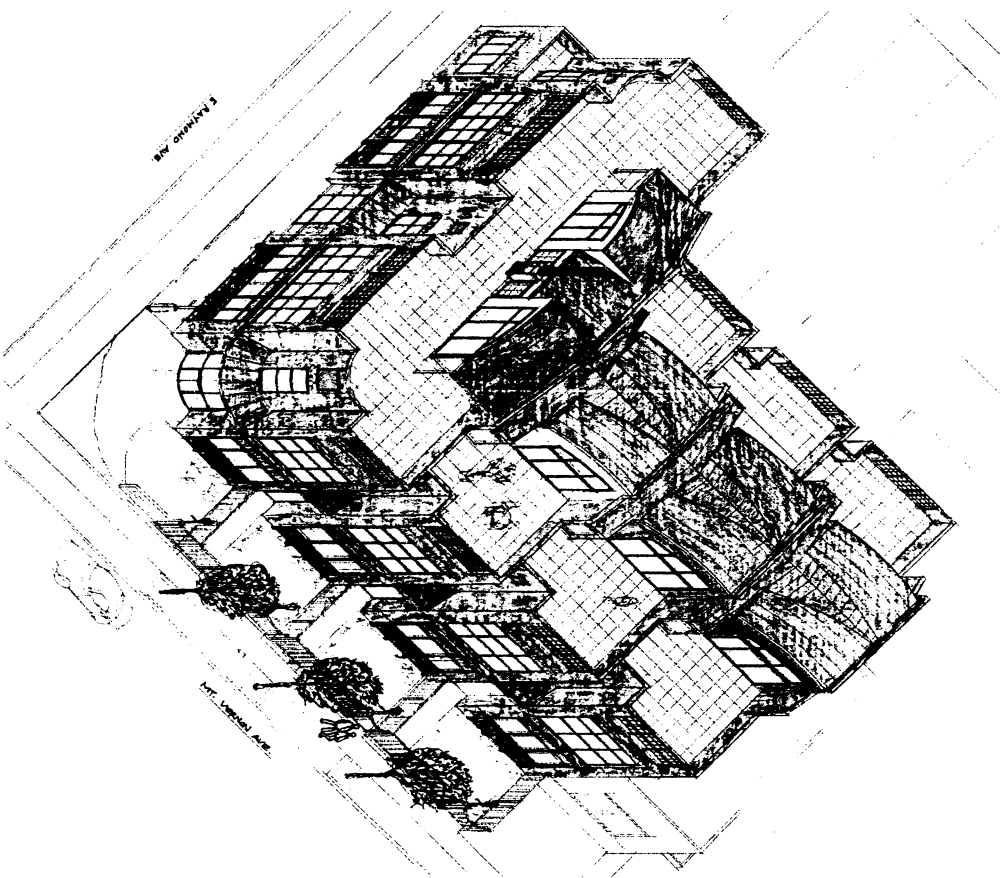
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- **Mount Vernon Ave  
Overlay Zone**
- **13,169 Square foot  
vacant lot**
- **Northeast corner of  
Mt. Vernon and  
Raymond Avenues**

# Proposal

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- 4,500 SqFt Commercial Use
- 4 dwelling units on upper two levels
- 16 space surface parking lot
- 35 feet tall
- 15 % Open Space
- Third floor setback 12 to 15 feet
- Buffer and streetscape improvements

# Adjacent Uses

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Apartments on Mt. Vernon Ave-  
South



Single Family Use on Raymond –  
East

# Challenges and Opportunities

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## **Challenges**

- Appropriate Mass – Scale
- Ensuring Building is Well Designed
- Maintaining Ground Level Open Space “Openness”
- Protecting Adjacent Homes

## **Opportunities**

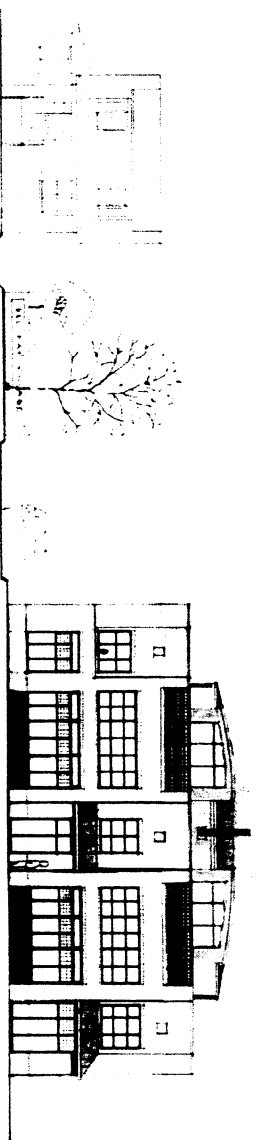
- Presented as a Redevelopment Site in the Plan
- Pedestrian-Streetscape Improvements
- Mixed Use
- Ground Level Open Space – Openness
- Neighborhood Serving Commercial

# Mass-Scale Compatibility

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Mt. Vernon Avenue Elevation - East



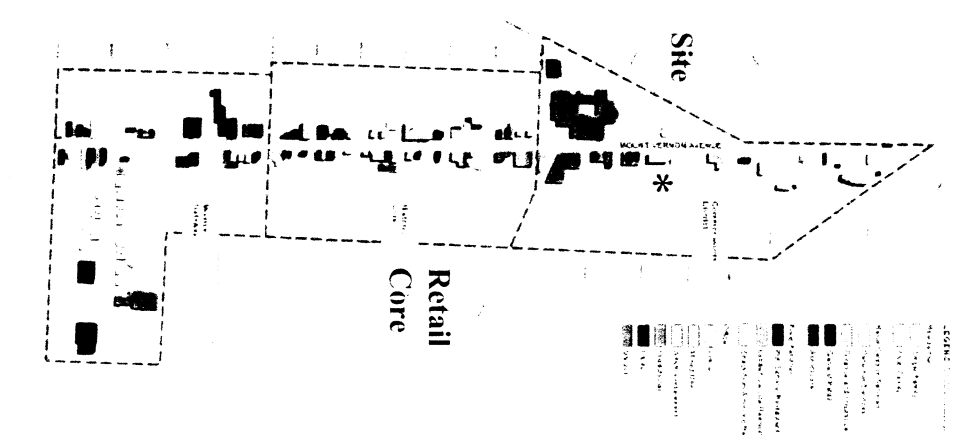
Raymond Avenue Elevation – North 5

# Mt. Vernon Avenue Plan -Form Based Code

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Mt. Vernon Avenue Plan principles  
addressed by Del Ray Lofts project:

- Encourage mixed-use development
- Promote infill projects
- Protect residential neighborhoods
- Enhance pedestrian streetscape
- Provide visual open space





# Recommendations:

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## **STAFF RECOMMENDATION**

- Buffering – Screening on Eastern Property Line
- Pedestrian Circulation, Streetscape, Open Space
- Building Design - Compatibility

## **COMMUNITY**

- Del Ray Land Use Committee Supported
- Conditions Added to Address Concerns regarding Buffers for Adjoining Property Owner

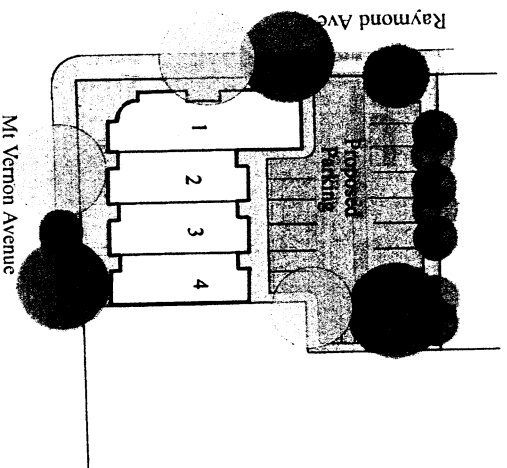
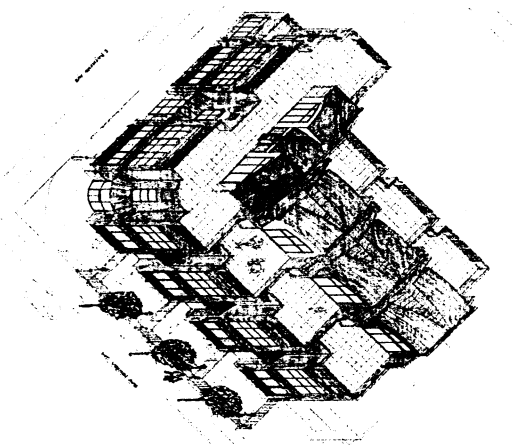
## **PLANNING COMMISSION**

Recommended Approval 7 to 0

7

# Conclusion:

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- Mixed Use Infill Development
  - Consistent with the Mount Vernon Plan
  - Lot Identified in Plan as an Opportunity Site
  - Streetscape Pedestrian Improvements
  - Additional Activity on Mt. Vernon Avenue
- 8**

19)

APPLICATION for  
DEVELOPMENT SPECIAL USE PERMIT with SITE PLAN  
DSUP # 2003-0021

PROJECT NAME: THE LOFTS AT DEL RAY VILLAGE

PROPERTY LOCATION: 2707 AND 2711 MT. VERNON AVENUE

TAX MAP REFERENCE: 2707 = 024.04 03 02 MAP/BLK/LOT  
2711 = 024.04 03 01 " " ZONE: CL

APPLICANT Name: GAVIN NICHOLS, ARCHITECT, AGENT FOR NICHOLS, GRAHAMANN & SNYDER (OWNERS)

Address: P.O. BOX 2921 ALEXANDRIA, VA. 22301 703-836-5209

PROPERTY OWNER Name: NICHOLS, GRAHAMANN & SNYDER

Address: P.O. BOX 2921 ALEXANDRIA, VA. 22301 703-836-5209

SUMMARY OF PROPOSAL: WE PROPOSE TO RESUBDIVIDE 2 EXISTING LOTS INTO 4 NEW LOTS IN ORDER TO CONSTRUCT A LIVE, WORK, LOFT MIXED USE PROJECT. WE PROPOSE 4 UNITS OF COMMERCIAL (ST FLOOR) W/ ACCESSORY APARTMENTS ABOVE.

MODIFICATIONS REQUESTED: WE REQUEST A PARKING REDUCTION IN THE CL ZONE FOR LOTS A, B, C, & D. WE REQUEST A MODIFICATION TO THE VISION CLEARANCE LINE REQUIREMENT IN THE CL ZONE. (SEE ATTACHED SHEET)

SUP's REQUESTED: \_\_\_\_\_

THE UNDERSIGNED hereby applies for Development Site Plan, with Special Use Permit, approval in accordance with the provisions of the Zoning Ordinance of the City of Alexandria, Virginia.

THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article XI, Section 11-301 (B) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

THE UNDERSIGNED also attests that all of the information herein provided and specifically including all surveys, drawings, etc., required of the applicant are true, correct and accurate to the best of his knowledge and belief.

GAVIN NICHOLS, ARCHITECT, AGENT  
Print Name of Applicant or Agent

Gavin Nichols Architect Agent  
Signature

P.O. BOX 2921  
Mailing/Street Address

703-836-5209      \_\_\_\_\_  
Telephone #      Fax #

ALEXANDRIA, VA. 22301  
City and State      Zip Code

7/20/04  
Date

===== **DO NOT WRITE BELOW THIS LINE - OFFICE USE ONLY** =====

Application Received: \_\_\_\_\_  
Fee Paid & Date: \$ \_\_\_\_\_

Received Plans for Completeness: \_\_\_\_\_  
Received Plans for Preliminary: \_\_\_\_\_

ACTION - PLANNING COMMISSION: recommend approval with amendments 7-0

ACTION - CITY COUNCIL: 6/21/05- CC approved Planning Commission recommendation 6-0