

EXHIBIT NO. 1

10  
5-16-09

Docket Item #  
BAR CASE # 2008-0158 and  
2008-0159

City Council  
May 16, 2009

**ISSUE:** Appeal of a decision of the Board of Architectural Review, Old and Historic Alexandria District, approving a Permit to Demolish and Certificate of Appropriateness for an addition and alterations

**APPLICANT:** Karl and Lydia Svoboda

**APPELLANT:** Allan Gruer, on behalf of petitioners

**LOCATION:** 113 Princess Street

**ZONE:** RM/Residential

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## I. SUMMARY

### Issue:

- Neighboring property owners have appealed a decision of the Old and Historic Alexandria Board of Architectural Review (BAR) on March 4, 2009 to approve a Permit to Demolish and a Certificate of Appropriateness for alterations and a rear addition to the townhouse located at 113 Princess Street. The appellants state that the proposed two story rear addition (620 square feet in size) is incompatible with the neighboring properties and will negatively impact the row of townhouses on the 100 block of Princess Street. The townhouses in the 100 block of Princess Street were constructed circa 1970, and were not included in the Old and Historic Alexandria District at the time of construction; they were added to the district circa 1985.
- On appeal, Council must decide whether the proposed changes are appropriate and consistent with the standards and criteria in the Zoning Ordinance (Sec. 10-105(A)(2) and Sec. 10-105(B)) and the *Design Guidelines* for a non-historic townhouse in the Old and Historic Alexandria District. It may uphold, overturn, or amend the Board's decision, or remand the case to the Board for further action.
- The application was heard before the BAR at three hearings: October 1, 2008, November 5, 2008, and March 4, 2009, deferring the application for further study at first two hearings. The application evolved over time in response to comments from the BAR and the neighbors. After both deferrals, the applicants' architect and attorney met with neighbors regarding the project. The applicants hosted an open house to review a revised design on October 30, 2008. Staff coordinated a meeting at City Hall on December 18, 2008 between the applicants and the neighbors who had expressed concerns.
- On March 4, 2009 the BAR voted to approve demolition of the first and second stories as well as a portion of the roof on the rear elevation. The Board also approved a new two-story rear addition and a shed dormer on the roof line. All approved alterations are to the rear elevation. The addition will add 620 square feet of gross square area to the existing gross square floor area of 2544 square feet. Of the 620 square feet, 192 square feet are completely below grade.
- The Board found the proposed addition to be very small in size and similar to other rear additions in the same development, if not in the same string of townhouses. In addition the Board found that the proposed construction would not unduly impact its immediate neighbors and would not compromise the character of the historic district.

**Recommendation:** Council should support the March 4, 2009 decision of the Old and Historic Board of Architectural Review by denying the appeal.

## II. EVOLUTION OF THE APPLICATION AND DECISION

The chronology of the application for 113 Princess Street illustrates the applicants' efforts to work with Planning & Zoning Staff, the Board, and the neighbors. The evolution of the design represents an attempt to meet concerns expressed during the public hearing process, including the elimination of alterations to the front elevation.

### **First Hearing: October 1, 2008**

The Board deferred the application for restudy at the October 1, 2008 hearing. The original application included alterations to the front elevation, including a tripartite gable dormer on the front roof and a projecting bay window at the second story. At the rear, the applicant initially proposed a one-story with basement addition measuring approximately 16.5 feet by 18 feet with an exterior elevator shaft extending to the second story, as well as a shed dormer on the rear roof. The Board expressed concerns about the alterations and encouraged the applicant to explore other design possibilities, as well as meet with the neighbors to discuss the project.

After the first deferral, the applicants' architect, Christine Leonard, met with BAR Staff twice to review and address comments made by the Board and the neighbors. The revisions at this time included alterations to the front dormer, a reduction in size and other changes to the proposed rear addition, and relocation of the elevator shaft. The applicant supplied copies of the revised drawings to the neighbors and hosted an open house on October 30, 2008.

### **Second Hearing: November 5, 2008**

The second submission again included alterations to the front elevation: the projecting bay window at the second story and a tripartite flat-roof dormer on the front roof revised with a lower height and more compatible Colonial Revival detailing. At the rear elevation, the applicant proposed a reduced addition measuring 12 feet by 18 feet and a relocation of the elevator shaft to the eastern side of the property as well as the same shed dormer on the rear roof as originally proposed. In addition, the applicant proposed to demolish the existing chimney.

The Board expressed concerns about some of the alterations and encouraged the applicant to meet again with the neighbors to discuss the project. The Board discussed, with mixed opinions, whether changes on the front elevation were appropriate since other townhouses on the block were unchanged. The Board was generally supportive of alterations for an addition and a dormer on the rear but expressed concern regarding the external elevator shaft. The Board again voted to defer the application and recommended that the applicant continue to work with the neighbors.

On December 18, 2008, Staff coordinated a meeting between the neighbors and the applicants' attorney and architect at City Hall. The applicant proposed a revised design to the neighbors. The neighbors requested that they be given 30-45 days to review the materials with a professional engineer they had retained, prior to the applicant submitting a revised application to the Board. Without hearing further response or receiving the engineering study, the applicants' attorney informed the neighbor's representative on February 18, 2009 that the applicant was proceeding with resubmitting to the BAR.



### III. THIRD HEARING: DECISION ON APPEAL

On March 4, 2009, the Board approved a Certificate of Appropriateness for a two story rear addition with a shed dormer at the third floor, roof level at 113 Princess Street. The Board also approved the demolition of the existing first and second stories and a portion of the roof on the rear elevation, the demolition being necessary for the new construction.

113 Princess Street is one of a group of 86 three-story brick townhouses bounded by North Union, North Lee, Queen and Oronoco Streets which was approved by City Council in 1968 (Special Use Permit #1084) and constructed in 1971. The attached rowhouses are a variety of simple Colonial Revival styles.

The subject townhouse is located roughly in the center of a string of eight attached units along Princess Street. The rear of the subject townhouse at 113 Princess is indented as it exists now, with the rear walls of the neighboring townhouses at 111 and 115 Princess Street projecting from 4 feet and 6 feet beyond the 113 Princess Street's rear wall. The addition approved by the Board permits a rear addition to fill in the rear indentation. The addition is a total of 620 square feet, including basement, first and second floors, but will, as approved, permit the rear wall of 113 Princess to extend approximately 8 feet beyond the rear first floor wall of its neighbor at 111 Princess Street. It will be flush with rear wall of the neighboring second floor. The remaining rear elevations are relatively in line with small variations of 2 to 4 feet. The property currently provides approximately 950 square feet or 53 percent of the lot area as open space, and will provide approximately 700 square feet or 39 percent of the lot area as open space after construction of the addition. The resulting final open space exceeds the RM zone requirement of 35%, or 630 square feet.

The majority of the addition is on the first floor level and consists of a sunroom with a glass roof. At the second floor, the added structure is a design solution to conceal an elevator shaft. The third floor change is a small extension of the roof to incorporate a shed dormer.

The existing townhouse includes a gross square floor area of 2,544 square feet. The proposed additional gross square floor area is 620 square feet. Both numbers include the basement which is entirely below grade (existing 295 square feet and 192 square feet proposed in the basement addition). In terms of footprint, the addition measures 14 feet by 18 feet at the first story and 6 feet by 18 feet at the second story. The dormer is approximately 13.5 feet in width.

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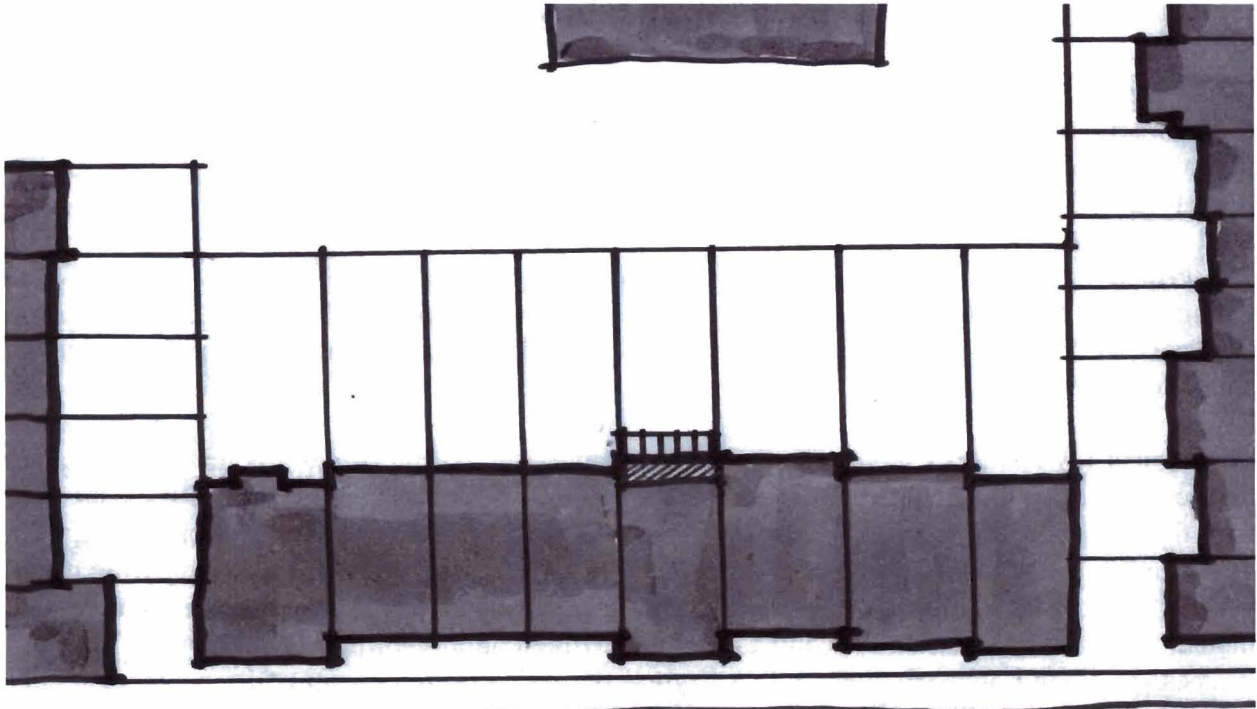


Figure 1 Plan showing proposed first and second level additions

As part of the approval the Board approved the following conditions:

1. The proposed sunroom will be fabricated of wood not metal.
2. Lower sills of the dormer's windows onto the main roof – so they lie flat onto the roof structure. Lower the eave height of the dormer roof 6 inches or more, so that the roof form is sloped rather than flat and takes on a more traditional shed roof form.
3. That the applicant install nightshades on the glass roof of the rear addition to control light spillage;
4. That all the proposed simulated, divided-light windows have exterior applied muntins with interior spacer bars and will be 5/8" in width;
5. That the windows and doors be all wood and not aluminum clad; and,
6. The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
  - a. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
  - b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

The roll call vote was 4-0.

### III. ANALYSIS

The purview of the Board and the Council on appeal for the Certificate of Appropriateness is the specifically limited under Section 10-105(A)(1) which states that:

“the Old and Historic Alexandria District board of architectural review or the city council on appeal shall limit its review of the proposed construction ... of a building ...to [its] exterior architectural features...[and] shall review such features ... for the purpose of determining the compatibility of the proposed construction ... with the existing building... itself ... and with the Old and Historic District area surroundings...”

To determine compatibility of a project, the Board uses both the the zoning ordinance standards of Section 10-105 (A)(2) and the *Design Guidelines* adopted in 1993.

For a demolition permit, Section 10-105(B) requires the Board and City Council to assess the importance of the historic materials that will be lost if demolition were allowed. (Full text of Sec. 10-105 A(1), A(2), and (B) and applicable Guidelines attached.)

**Standards:**

Section 10-105(A)(2) of the zoning ordinance includes the standards by which the Board, and Council on appeal, must limit their review of the addition in this case and includes, in relevant part: or structures.”

- (a) Overall architectural design, form, style and structure, including but not limited to, the height, mass and scale of buildings or structures;
- (b) Architectural details, including, but not limited to, original materials and methods of construction, the pattern, design, and style of fenestration, ornamentation, lighting, signage, and like decorative or functional fixtures of buildings or structures; the degree to which the distinguishing original qualities or character of a building, structure or site (including historical materials) are retained;
- (d) Texture, material, and color, and the extent to which any new architectural features are historically appropriate to the existing structure and adjacent existing structures;
- (e) The relation of the features in this sections 10-105(A)(2)(a) through (d) to similar features of the preexisting building or structure, if any, and to buildings and structures in the immediate surroundings.

The *Design Guidelines* most relevant to the project at 113 Princess Street are the chapters related to: Additions (Residential), Dormers, and Windows. In reviewing the application, the Board based its decision on consistency with those *Guidelines*.

**Basis for Decision:**

The standards and criteria by which this case must be judged under sections 10-105 (A)(2) and 10-105 (B) relate to the appropriateness of demolition and compatibility of the mass, scale and architectural design to the existing structure, as well as to the buildings in the immediate surroundings.

In making its decision, the Board found the proposed demolition on the rear elevation acceptable and stated its support for the elimination of any alteration to the front, which had been a concern to neighbors and Board members alike. It also noted that the proposed rear addition was extremely modest in scale and its massing was designed to minimize its impact to adjacent neighbors. The Board commented that the historic district was not static and it needed to evolve and grow, and that the Board was responsible for supporting the integrity of its historic structures while permitting sympathetic modifications to buildings when those modifications were determined not to be detrimental to the character-defining elements of the historic district.

***Compatibility of Mass, Scale and Architectural Design***

The *Design Guidelines* state that “the design of an addition should respect the heritage of the historic building to which it is attached as well as adjacent buildings....or which echo the design elements of the existing structure.” The Board regularly considers the question of what is an appropriate and compatible addition in terms of scale, mass, and architectural design. The Board found that the proposed rear addition was compatible with the architectural style, scale, mass and form of this townhouse and the surrounding area.

While it can be difficult to define “compatibility,” the Board considers a variety of factors, including size, scale, massing, and architectural forms and character, to determine whether a project will be suitable at a given location and within the overall historic district. In this case, the Board found that the proposed addition was compatible and did not detract from the surrounding buildings nor compromise the character-defining features of the district. The overall size of the new addition is less than ¼ of the original. In respect to scale, the ceiling heights, window sizes, and door sizes of the addition are comparable to the existing and adjacent houses. Regarding massing, the first story of the addition is within the existing indentation, the second story is stepped back from the first story, and the third story alteration consists of a dormer. The addition’s architectural design repeats elements from the original house and others in the adjacent area that are almost identical, including the shed roof form of the first story addition, the pitch and slope of the roof, and the dormer.

Finally, the Board noted that the proposed addition was minimally visible from the public right-of-way and that the size and massing of the addition was smaller in comparison to the existing townhouse than many applications they review. Typical additions in the historic district, including recent ones at 117 South Lee Street, 208 North Fairfax Street, and 725 South Columbus Street are significantly larger relatively than the addition at 113 Princess Street in respect to the original footprint of the house. The Board generally discourages additions that are 50% greater than the existing footprint of the existing building. In respect to open space, with the addition, the property will have a 50-60% greater ratio than open space found with historic buildings in the Old and Historic District.

*Character of the Historic District*

The townhouses in the 100 block of Princess Street, as well as several blocks of townhouses in the vicinity, were designed and constructed circa 1970. While not considered to be historic, these townhouses were constructed in a Colonial Revival vocabulary and are generally compatible with the historic district. While some alterations were made prior to this development becoming part of the Old & Historic Alexandria District, the Board has approved many alterations in this area since circa 1985, including projecting bays, front and rear dormers, roof decks, balustrades, skylights, window replacements, and a rear addition.

The appellants state that the 100 block (north side) of Princess Street has been unchanged over the years. However, BAR case files and site visits confirm that exterior alterations have been made to this row of townhouses including skylights on the rear of 111 Princess Street and a rear dormer at 107 Princess Street.

While reviewing this case, the Board discussed the appropriateness of alterations and additions throughout this development. Some of the Board members expressed concern regarding alterations, specifically oversized dormers on the front elevation, that had been approved in the past.

*Appellants' Concerns*

The basis for the neighbors' appeal is that the proposed addition is of an incompatible size, that the addition will negatively affect "harmony" with surrounding buildings, and that it will increase flooding and have other negative environmental impacts. Issues related to flood control are beyond the purview of the Board and are addressed during the review phase by other City departments as well as during the permitting process. As noted above, the Board found that the size of the proposed addition was appropriate and would not overwhelm the existing building or neighboring properties, and that the mass, scale and design of the proposal was compatible with the existing townhouse, with its surrounding neighbors and with the historic district as a whole..

**City Council Action Alternatives:**

Council may uphold, overturn, or amend the decision of the Board of Architectural Review, using the criteria for approval a Permit to Demolish and a Certificate of Appropriateness in §10-105(A)(2) and 10-105(B) of the Zoning Ordinance. City Council may also remand the project to the Board with instructions to consider alternatives.

**IV. RECOMMENDATION**

Staff recommends that Council uphold the March 4, 2009 approval decision of the Old and Historic Board of Architectural Review and deny the requested appeal.

Attachment 1: BAR Staff Report, October 1, 2008  
Attachment 2: BAR Staff Report, November 5, 2008  
Attachment 3: BAR Staff Report, March 4, 2009  
Attachment 4: Zoning Ordinance  
Attachment 5: Design Guidelines  
Attachment 6: Correspondence

STAFF: Faroll Hamer, Director, Department of Planning and Zoning  
Stephen Milone, Division Chief, Zoning and Land Use Services  
Lee Webb, Principal Planner, Boards of Architectural Review  
Catherine Miliaras, Planner II, Boards of Architectural Review

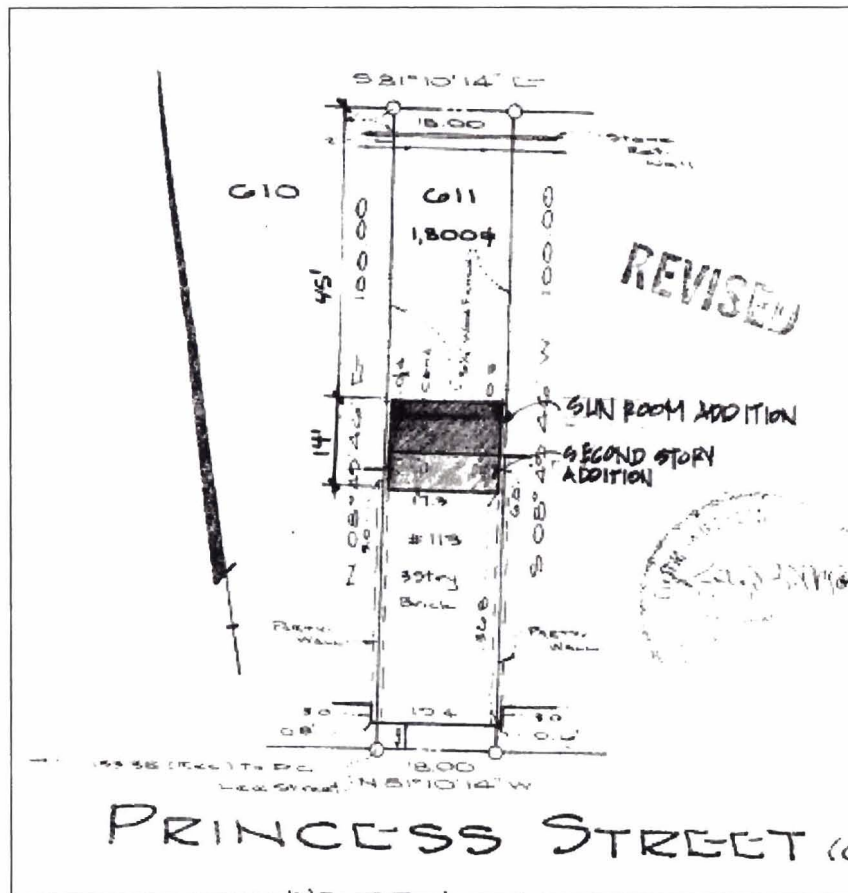


Figure 2. Plat of 113 Princess Street showing location of proposed rear addition.



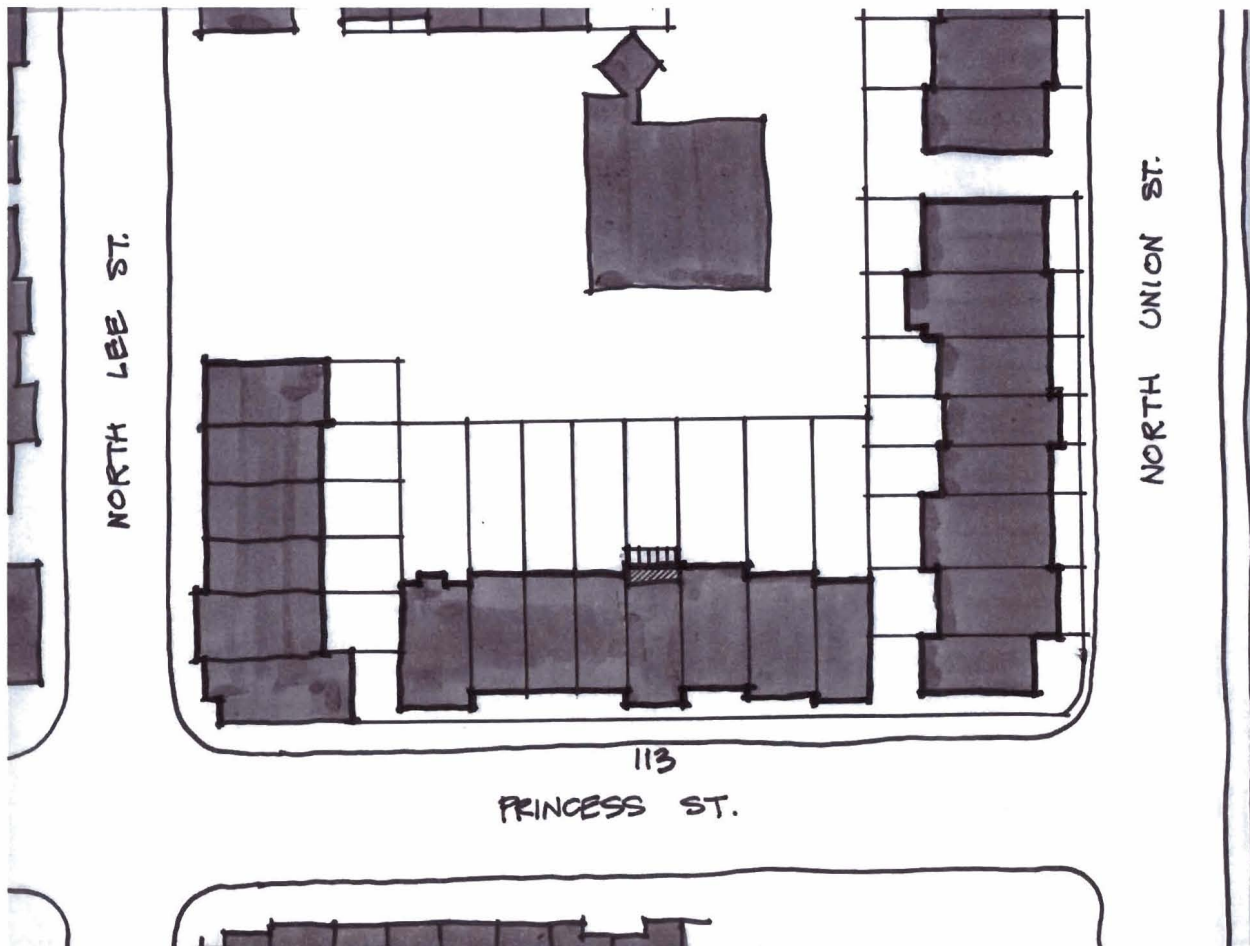
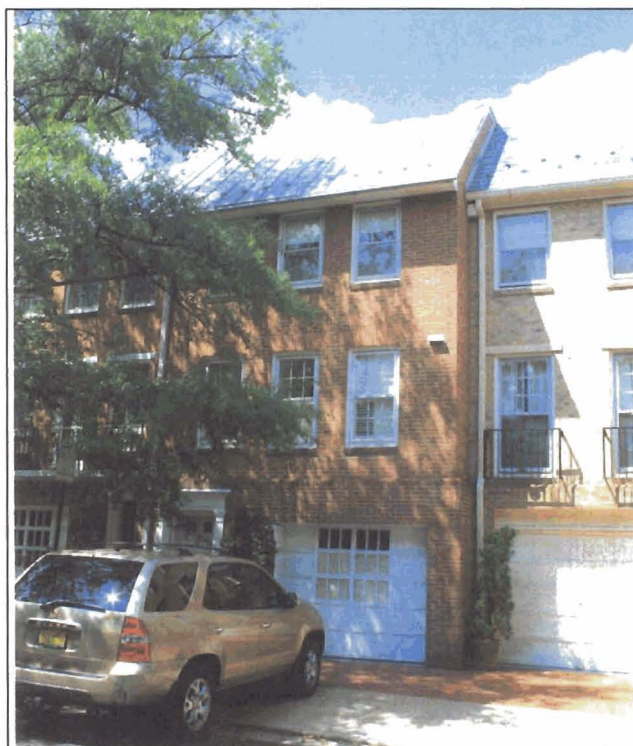


Figure 3 Plan showing proposed 113 Princess first and second level rear additions and surrounding neighborhood



**Figure 4. Front (south) elevation.**



**Figure 5. Rear (north) elevation.**



Figure 6. Existing and proposed front (south) elevation, no alterations.

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Figure 7. Proposed rear (north) elevation.

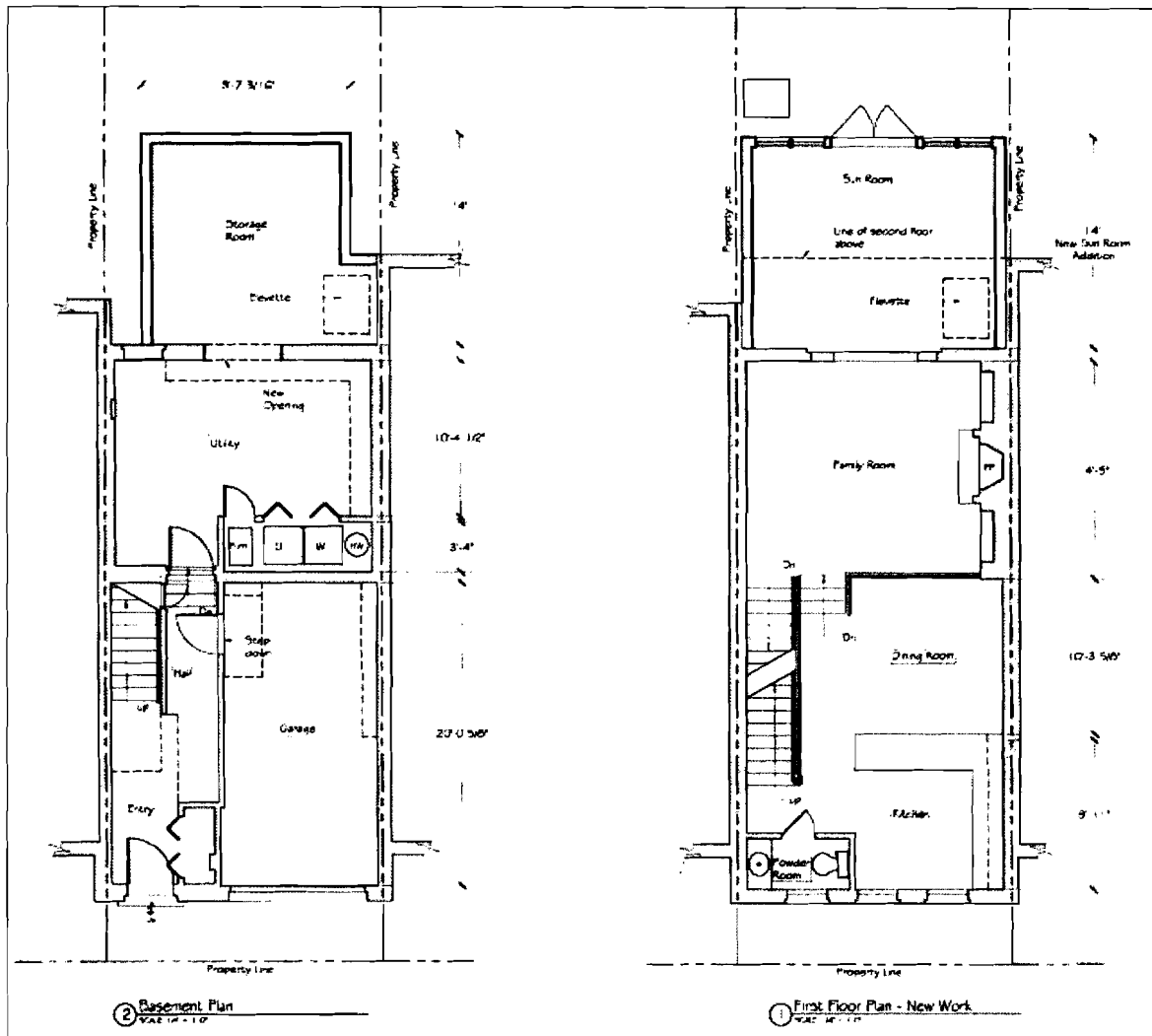


Figure 8. Proposed floor plans at basement and first floor.

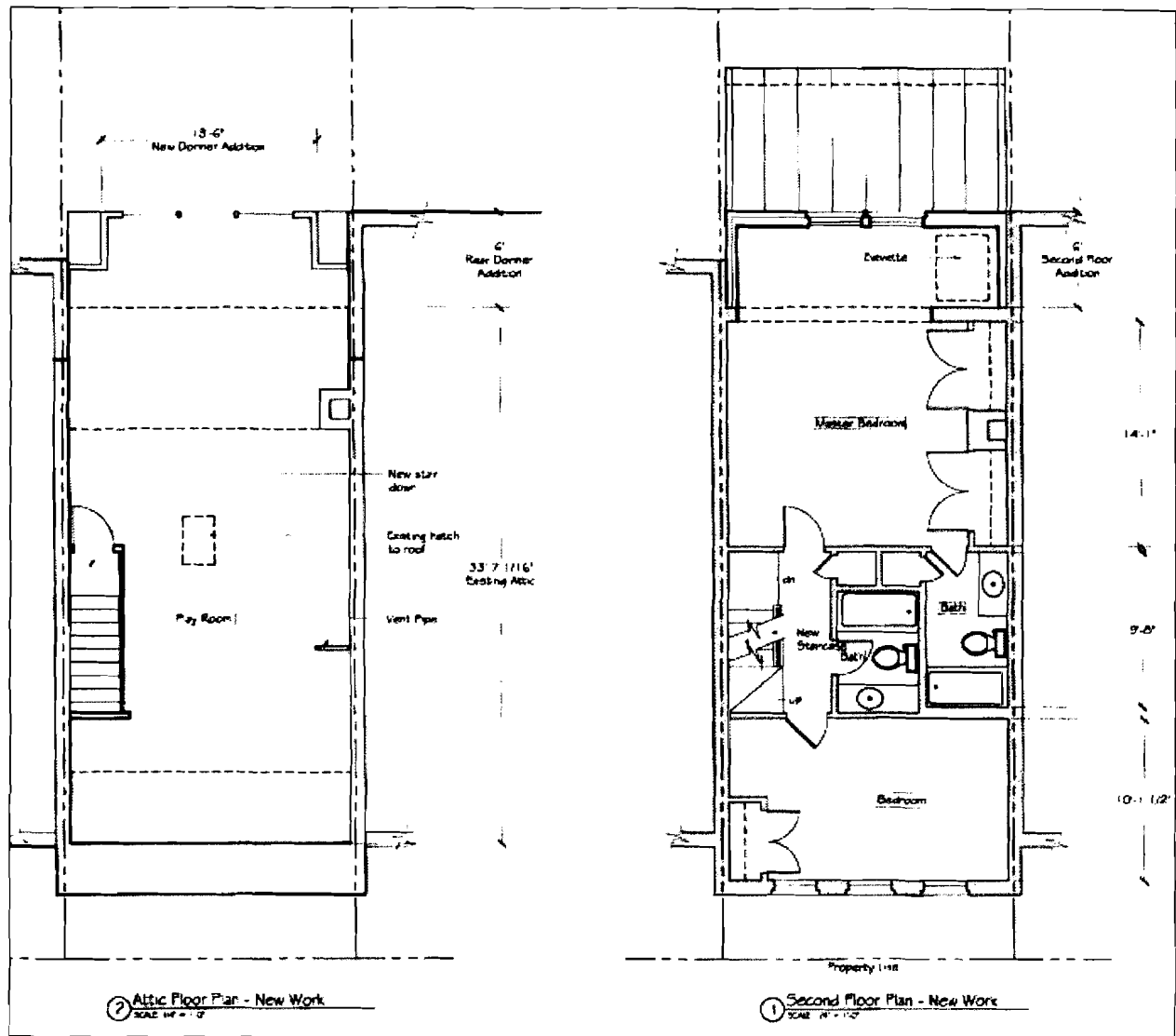


Figure 9. Proposed floor plans at second floor and attic.

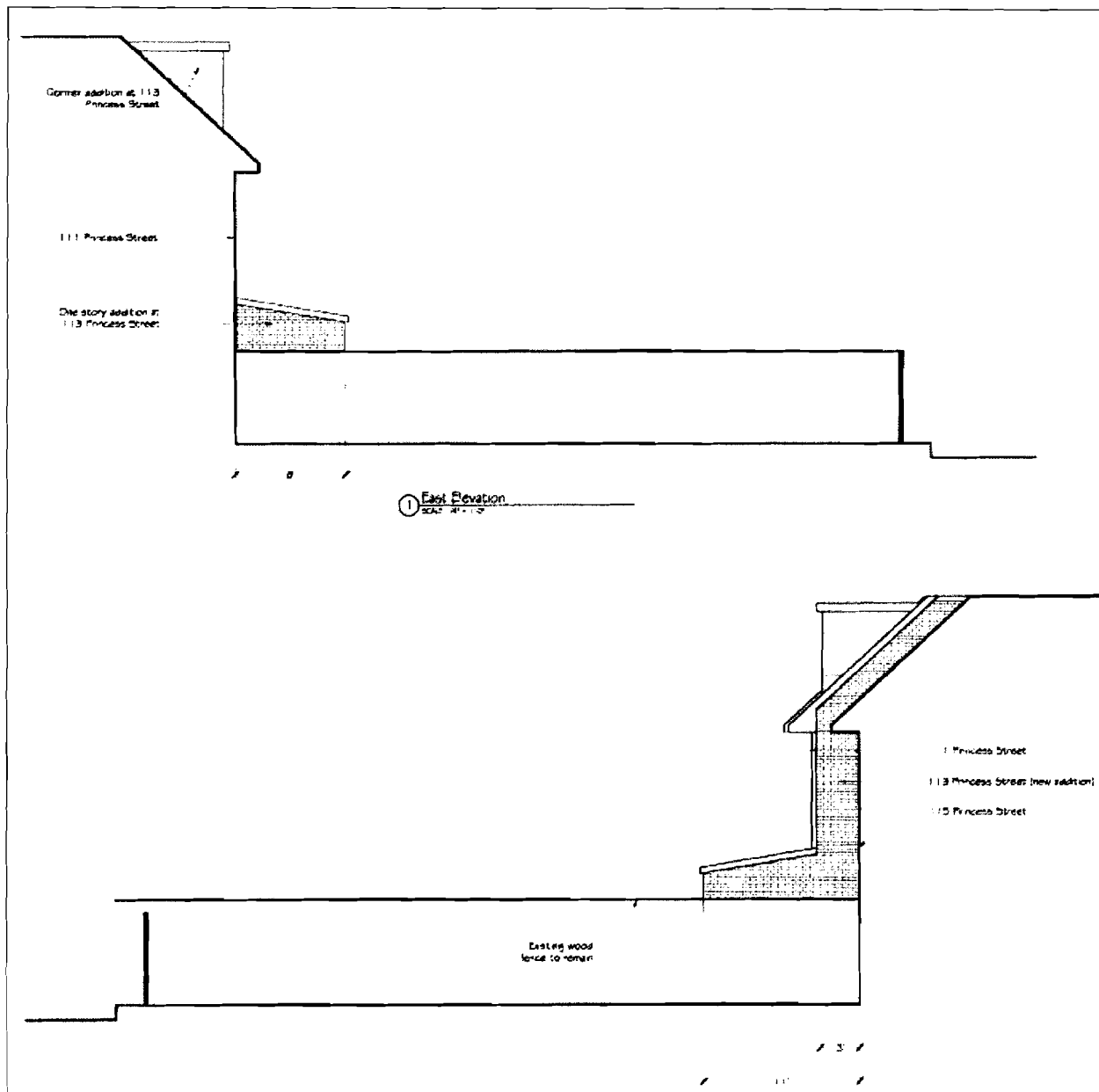


Figure 10. Proposed side (east and west) elevations.



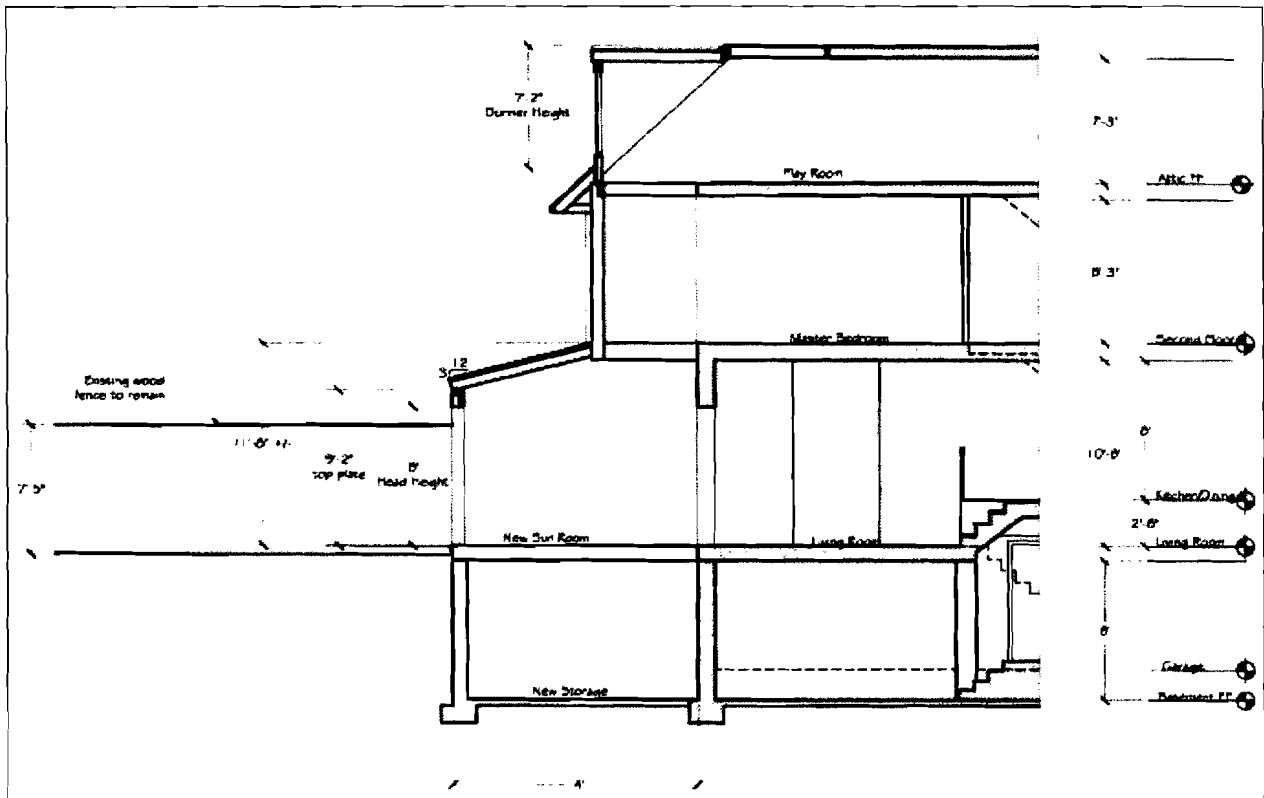


Figure 11. Section with proposed alterations.

## ATTACHMENT 1

Docket Item # 10  
BAR CASE # 2008-0158

BAR Meeting  
October 1, 2008

**ISSUE:** Demolition/Encapsulation

**APPLICANT:** Karl and Lydia Svoboda

**LOCATION:** 113 Princess Street

**ZONE:** RM/Residential

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**BOARD ACTION, OCTOBER 1, 2008:** The Board combined docket item #'s 10 & 11 for discussion. On a motion by Mr. Spencer, seconded by Mr. Smeallie, the Board deferred the applications for restudy and encouraged the applicant to explore other options for the design of the proposed dormers and the rear addition and chimney. The Board also encouraged the applicant to meet with the neighbors to discuss the project. The vote on the deferral was 7-0.

**REASON:** The Board expressed concerns about the alterations, the style and size of the dormers, and encouraged the applicant to explore other design possibilities, as well as meet with the neighbors to discuss the project.

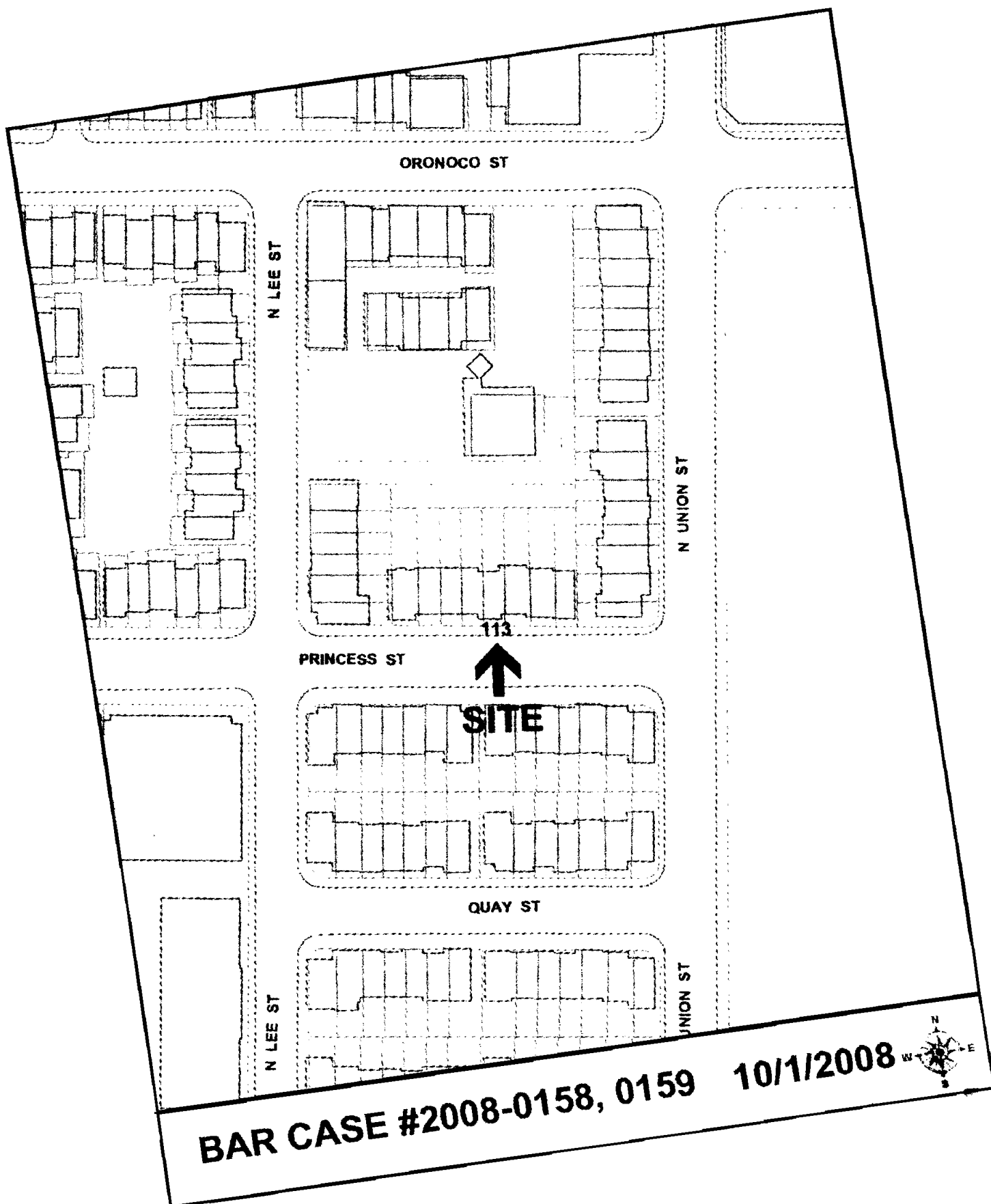
**SPEAKERS:** Christine Leonard, project architect, spoke in support  
Don Templeman, 119 Princess Street, spoke in opposition  
Allan Guer, 111 Princess Street, spoke with concerns  
Janice Forsyth, 115 Princess Street, spoke in opposition  
John Hynan, representing Historic Alexandria Foundation, spoke in opposition

**STAFF RECOMMENDATION:** Staff recommends approval of the Permit to Demolish/Encapsulate with the following conditions:

1. The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
  - a. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if **any** buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.

- b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

BAR CASE #2008-0158  
October 1, 2008



Note: This item requires a roll call vote.

**I. ISSUE:**

The applicant is requesting approval of a Permit to Demolish/Encapsulate in order to construct a one-story addition and two-story elevator shaft at 113 Princess Street. The proposed addition will require the demolition/encapsulation of the entire first story and a portion of the second story on the rear elevation. The applicant is also proposing to demolish/encapsulate portions of the roof to accommodate new dormers on both the front and the rear.

**II. HISTORY:**

The residential structure at 113 Princess Street is a three-story, three-bay brick townhouse with a front-loading garage. City records date the townhouse to 1970.

Staff could locate no prior Board approvals for this address.

**III. ANALYSIS:**

In considering a Permit to Demolish/Encapsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B):

- (1) Is the building or structure of such architectural or historical interest that its moving, removing, encapsulating or razing would be to the detriment of the public interest?
- (2) Is the building or structure of such interest that it could be made into a historic house?
- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
- (4) Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?
- (5) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?
- (6) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?

In the opinion of Staff, none of the above criteria are met. Therefore, Staff recommends approval of the application as submitted.

Staff notes the conditions and comments from Alexandria Archaeology.

**IV. STAFF RECOMMENDATION:**

Staff recommends approval of the Permit to Demolish/Encapsulate with the following conditions:

1. The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
  - a. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
  - b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

V. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Code Enforcement:

- C-1 All exterior walls within 5 feet from an interior property line shall have a fire resistance rating of 1 hour, from both sides of the wall. As alternative, a 2 hour fire wall may be provided. This condition is also applicable to skylights within setback distance. Openings in exterior walls between 3 and 5 feet shall not exceed 25% of the area of the entire wall surface (This shall include bay windows). Openings shall not be permitted in exterior walls within 3 feet of an interior lot line.
- C-2 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to Code Enforcement that will outline the steps that will taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.
- C-3 Roof drainage systems must be installed so as neither to impact upon, nor cause erosion/damage to adjacent property.
- C-4 A soils report must be submitted with the building permit application.
- C-5 New construction must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-6 Additions and Alterations to the existing structure must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-7 Additions and Alterations to the existing structure and/or installation and/or altering of equipment therein requires a building permit. Five sets of plans, bearing the signature and seal of a design professional registered in the Commonwealth of Virginia, must accompany the written application. The plans must include all dimensions, construction alterations details, kitchen equipment, electrical, plumbing, and mechanical layouts and schematics.
- C-8 Construction permits are required for this project. Plans shall accompany the permit application that fully details the construction as well as layouts and schematics of the mechanical, electrical, and plumbing systems.
- C-9 Permission from adjacent property owners is required if access to the adjacent properties is required to complete the proposed construction. Otherwise, a plan shall be submitted to demonstrate the construction techniques utilized to keep construction solely on the referenced property.
- C-10 A wall location plat prepared by a land surveyor is required to be submitted to this office prior to requesting any framing inspection.



Historic Alexandria:  
Approve.

Alexandria Archaeology:

**Archaeology Recommendations**

1. The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheet piling and Shoring) so that on-site contractors are aware of the requirements:

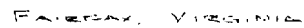
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b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

**Archaeology Finding**

F-1 Tax records indicate that houses were present on this street face by 1810. The Sanborn Insurance map depicts a cooper's shop, whiskey distillery, and African American residences on or adjacent to the lot by 1885. The property therefore has the potential to yield archaeological resources that could provide insight into residential, commercial, and industrial activities in 19<sup>th</sup>-century Alexandria. While the construction of the existing house on the lot undoubtedly caused disturbance to evidence of earlier occupation, there is a possibility that remnants of the past activities remain buried on the property.

## VI. IMAGES



**Figure 1. Plat of 113 Princess Street showing location of proposed rear addition.**

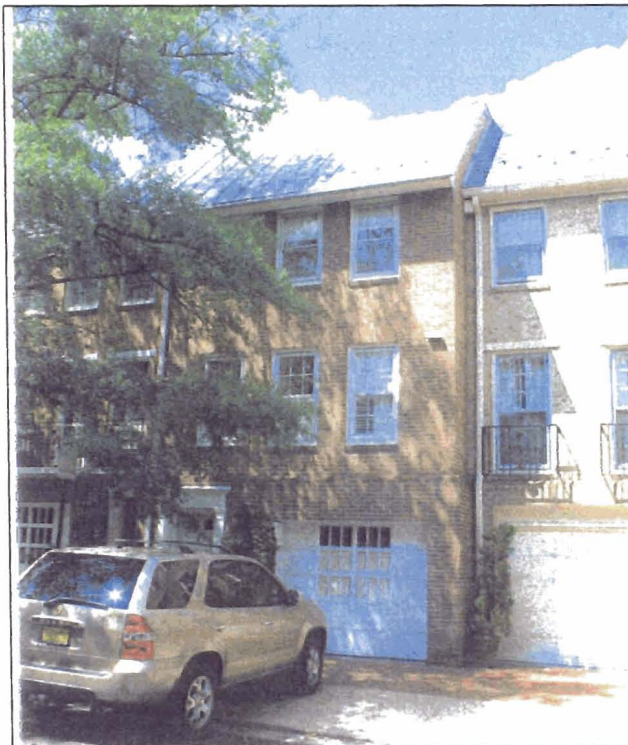


Figure 2. Front (south) elevation.



Figure 3. Rear (north) elevation.

Docket Item # 11  
BAR CASE # 2008-0159

BAR Meeting  
October 1, 2008

**ISSUE:** Addition/Alterations  
**APPLICANT:** Karl and Lydia Svoboda  
**LOCATION:** 113 Princess Street  
**ZONE:** RM/Residential

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**BOARD ACTION, OCTOBER 1, 2008:** The Board combined docket item #'s 10 & 11 for discussion. On a motion by Mr. Spencer, seconded by Mr. Smeallie, the Board deferred the applications for restudy and encouraged the applicant to explore other options for the design of the proposed dormers and the rear addition and chimney. The Board also encouraged the applicant to meet with the neighbors to discuss the project. The vote on the deferral was 7-0.

**REASON:** The Board expressed concerns about the alterations, the style and size of the dormers, and encouraged the applicant to explore other design possibilities, as well as meet with the neighbors to discuss the project.

**SPEAKERS:** Christine Leonard, project architect, spoke in support  
Don Templeman, 119 Princess Street, spoke in opposition  
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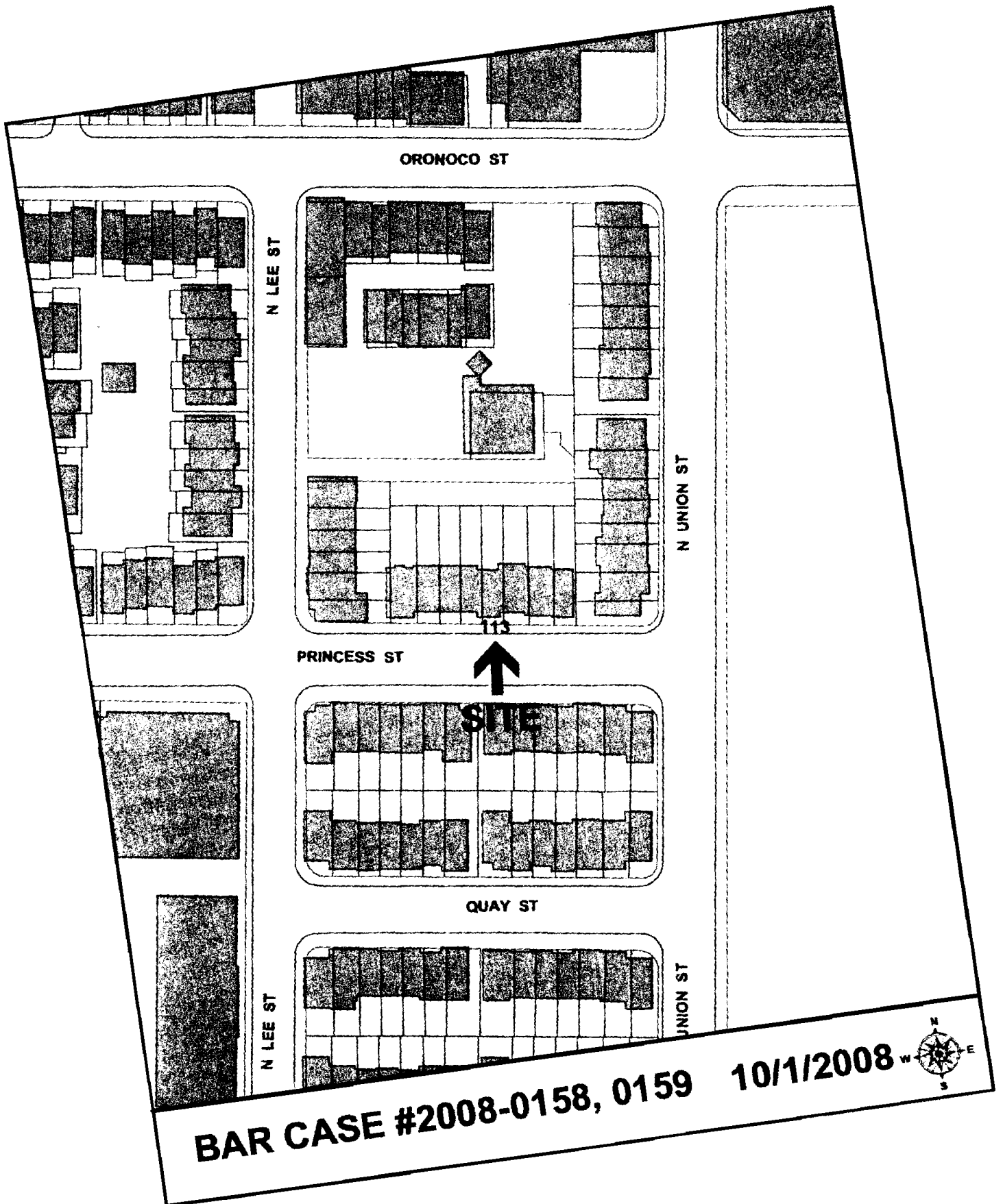
**STAFF RECOMMENDATION:** Staff recommends approval of the application with the following conditions:

1. That the applicant reevaluate the design of the front dormer to lower the height below the existing roof ridge height and work with Staff for final approval;
2. That all the proposed simulated divided light windows have exterior-applied muntins with interior spacer bars and match the muntin width of the existing windows;
3. That the windows and doors all be wood; and
4. The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
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- b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

BAR CASE #2008-0159  
October 1, 2008



Note: Docket Item # 10 must be approved before this item may be considered.

**I. ISSUE:**

The applicant is requesting approval of a Certificate of Appropriateness for an addition and alterations at 113 Princess Street.

**Front Addition and Alterations**

The applicant proposes to install a bay window on the second story where there are currently two single double-hung windows. The applicant will remove the two single windows and the portion of the brick wall between the window openings. The projecting bay window will be rectangular in plan and feature Colonial Revival detailing. The wood trim will be painted to match the existing trim on the house. The new windows will be six-over-six, simulated divided light, double-hung wood windows.

The applicant is proposing to install a tripartite gable dormer on the roof on the front elevation. The dormer is also Colonial Revival in style and has a front-facing gable over the center window. The wood trim and wood columns will be painted to match the existing trim. There will be three six-over-six, simulated divided light, double-hung wood windows. The center window will have a transom as well. The roof will be standing seam metal and will match the existing roof.

The applicant proposes to replace all the existing windows with six-over-six, simulated divided light, wood windows.

**Rear Addition and Alterations**

The applicant proposes to construct a one-story with basement addition measuring approximately 16.5' by 18' on the rear (north) elevation of the existing house which currently measures approximately 37' by 18'. The addition will be a sun room and will have double multi-light doors flanked by pairs of eight-over-eight double-hung windows on the north elevation. The doors and windows are proposed to be aluminum clad and simulated divided light. The applicant proposes a glass shed roof. The glass roof will have commercial grade structural aluminum with low-E insulated panel glass. A brick elevator shaft measuring 4.5' by 5.5' will continue to the second story. The brick shaft will feature a blind window with shutters in the closed position.

On the roof of the rear (north) elevation the applicant proposes a shed dormer. The dormer addition will extend approximately 13.5'. The dormer will have four six-over-six, double-hung, simulated divided light, wood windows. The shed dormer will have a standing seam metal roof to match the existing roof. The wood trim will be painted to match the existing trim on the house.

The applicant proposes to replace all the existing windows with six-over-six, simulated divided light wood windows with the exception of the windows on the addition which are proposed to be simulated divided light and aluminum clad.



## **II. HISTORY:**

The residential structure at 113 Princess Street is a three-story, three-bay brick townhouse with a front-loading garage. City records date the townhouse to 1970.

Staff could locate no prior Board approvals for this address.

## **III. ANALYSIS:**

The proposed addition and alterations comply with the zoning ordinance requirements.

During the past several years the Board has reviewed a number of substantial alterations and additions to the properties within this development that include the addition of bay windows at the second story and the addition of dormers at the roof. Staff finds that historic fabric is not lost to accommodate the alterations and that the proposed alterations are generally in keeping with the Colonial Revival style of these townhouses. Staff is concerned about the height and appearance of the proposed dormer on the front elevation. Staff finds that a dormer is acceptable at this location but recommends that the height of the dormer not exceed the existing roof ridge height. Staff finds that this would best be accomplished by reevaluating the proposed gable and height over the center window.

The *Design Guidelines* state that “the design of an addition should respect the heritage of the historic building to which it is attached as well as adjacent buildings....or which echo the design elements of the existing structure.” Staff finds that the proposed one-story addition is compatible with the architectural style found of this townhouse and the surrounding area. While the proposed glass roof on the addition is not a traditional roof material in the historic district, Staff finds that it is acceptable in this circumstance as it will not be visible from the public right-of-way due to the 6’ fence raised above the alley level at the rear of the property. A portion of the elevator shaft will be visible from the rear, but Staff finds that the choice of material contributes to its compatibility.

The *Design Guidelines* recommend that: “...replacement windows should be appropriate to the historic period of the architectural style of the building.” The *Guidelines* also state that single-glazed, true divided light windows with interior storm sash are the preferred replacement window type. The *Guidelines* continue by saying other acceptable window types are “double-glazed true divided light wood windows...Windows with fixed or applied muntins have been approved for the rear elevation of a structure which has minimal visibility from a public right of way.” In this particular case, given the age of the townhouse and the fact that the existing six-over-six light configuration and 7/8” muntin profile will be retained, Staff does not object to the installation of double-insulated replacement windows with simulated divided lights and spacer bars. However, Staff recommends that all the replacement windows and doors be wood.

**IV. STAFF RECOMMENDATION:** Staff recommends approval of the application with the following conditions:

1. That the applicant reevaluate the design of the front dormer to lower the height below the existing roof ridge height and work with Staff for final approval;
2. That all the proposed simulated divided light windows have exterior-applied muntins with interior spacer bars and match the muntin width of the existing windows;

3. That the windows and doors all be wood; and
4. The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
  - a. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
  - b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

## **V. CITY DEPARTMENT COMMENTS**

Legend: C - code requirement R - recommendation S - suggestion F- finding

### **Code Enforcement**

- C-1 All exterior walls within 5 feet from an interior property line shall have a fire resistance rating of 1 hour, from both sides of the wall. As alternative, a 2 hour fire wall may be provided. This condition is also applicable to skylights within setback distance. Openings in exterior walls between 3 and 5 feet shall not exceed 25% of the area of the entire wall surface (This shall include bay windows). Openings shall not be permitted in exterior walls within 3 feet of an interior lot line.
- C-2 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to Code Enforcement that will outline the steps that will taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.
- C-3 Roof drainage systems must be installed so as neither to impact upon, nor cause erosion/damage to adjacent property.
- C-4 A soils report must be submitted with the building permit application.
- C-5 New construction must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-6 Additions and Alterations to the existing structure must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-7 Additions and Alterations to the existing structure and/or installation and/or altering of equipment therein requires a building permit. Five sets of plans, bearing the signature and seal of a design professional registered in the Commonwealth of Virginia, must accompany the written application. The plans must include all dimensions, construction alterations details, kitchen equipment, electrical, plumbing, and mechanical layouts and schematics.
- C-8 Construction permits are required for this project. Plans shall accompany the permit application that fully details the construction as well as layouts and schematics of the mechanical, electrical, and plumbing systems.
- C-9 Permission from adjacent property owners is required if access to the adjacent properties is required to complete the proposed construction. Otherwise, a plan shall be submitted to demonstrate the construction techniques utilized to keep construction solely on the referenced property.
- C-10 A wall location plat prepared by a land surveyor is required to be submitted to this office prior to requesting any framing inspection.

Historic Alexandria:  
Approve.

Alexandria Archaeology:

**Archaeology Recommendations**

1. The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:

a. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.

b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

**Archaeology Finding**

F-1 Tax records indicate that houses were present on this street face by 1810. The Sanborn Insurance map depicts a cooper's shop, whiskey distillery, and African American residences on or adjacent to the lot by 1885. The property therefore has the potential to yield archaeological resources that could provide insight into residential, commercial, and industrial activities in 19<sup>th</sup>-century Alexandria. While the construction of the existing house on the lot undoubtedly caused disturbance to evidence of earlier occupation, there is a possibility that remnants of the past activities remain buried on the property.



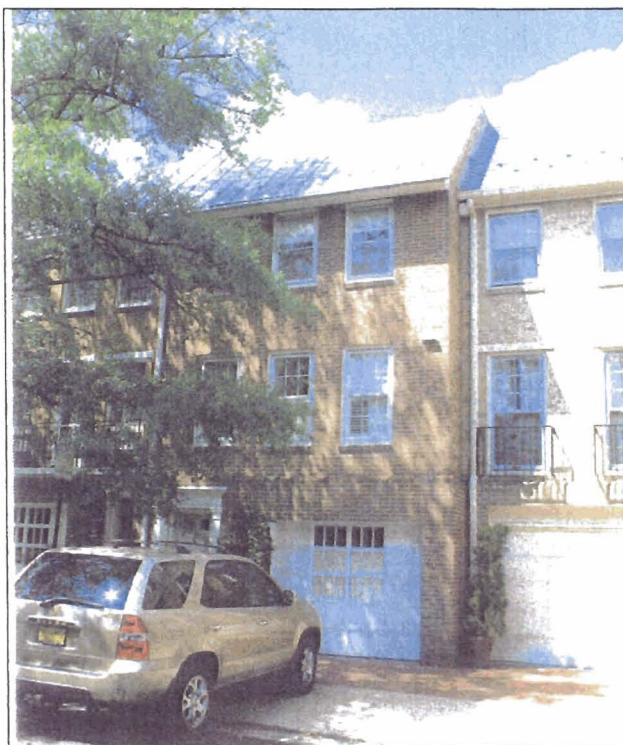


Figure 2. Front (south) elevation.



Figure 3. Rear (north) elevation.



**Figure 4. Proposed front (south) elevation with projecting bay window and dormer.**



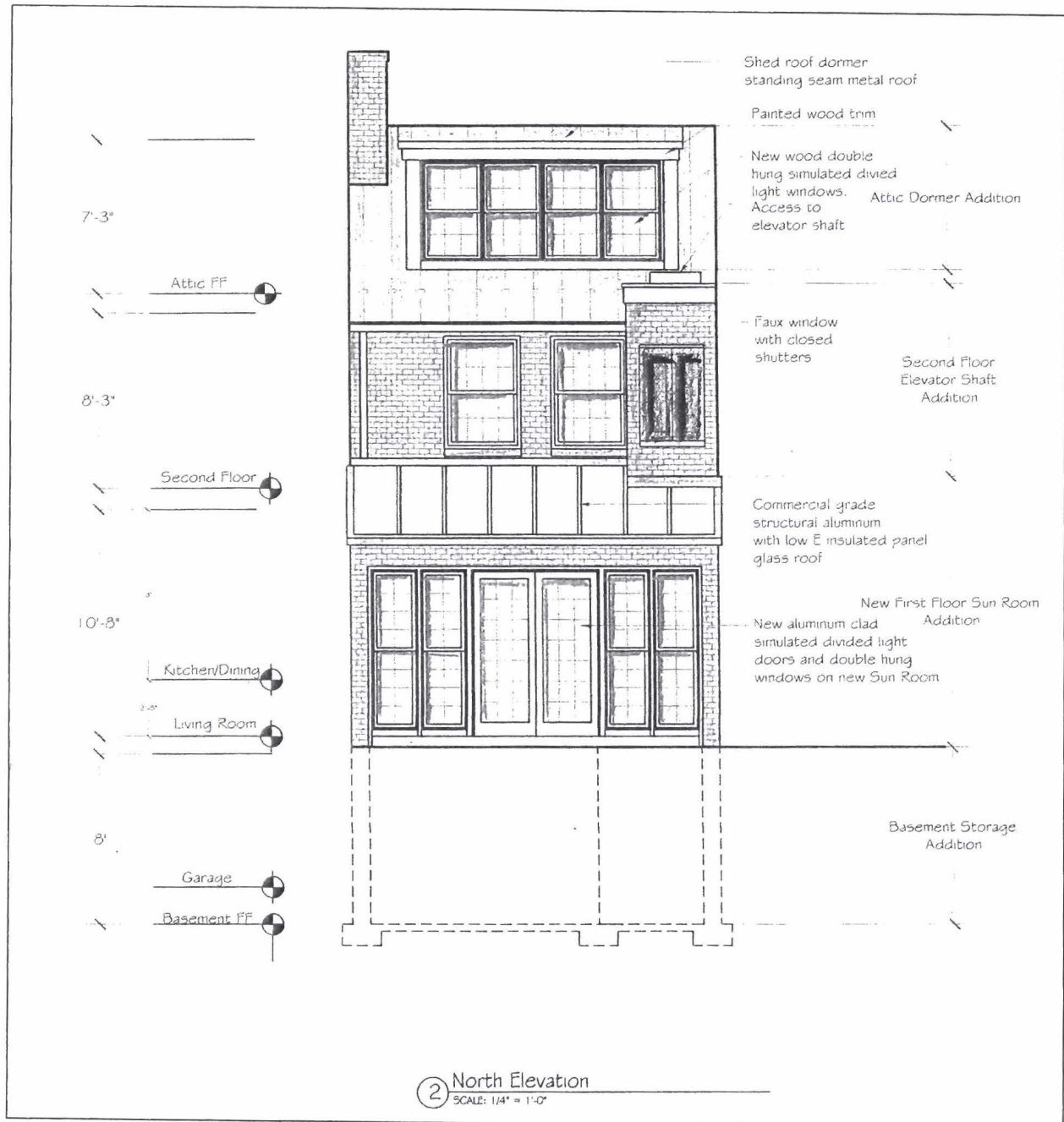


Figure 5. Proposed rear (north) elevation.



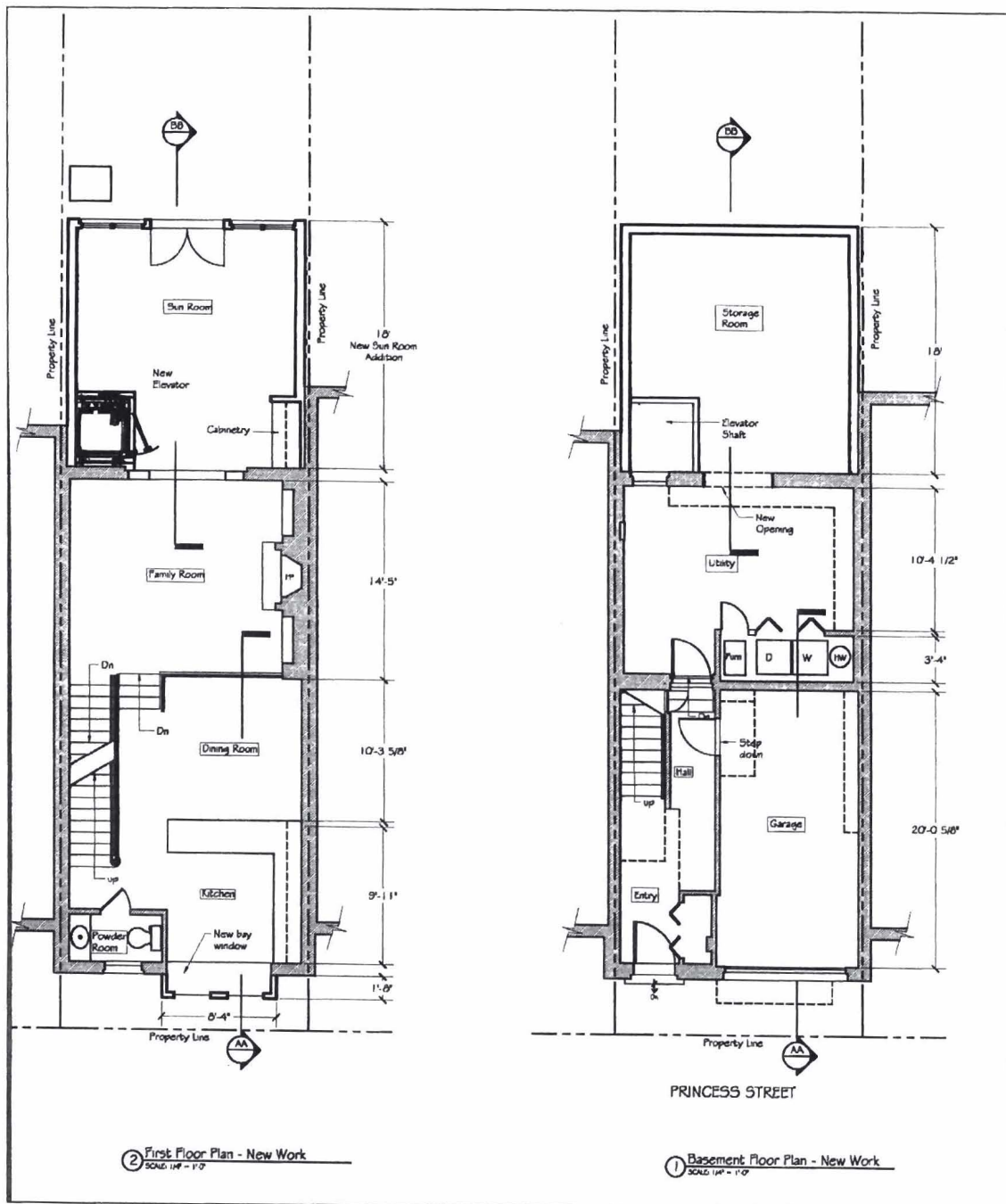


Figure 6. Proposed floor plans at basement and first floor.

## 1600 S.G. (Sloped Glazing)

PICTORIAL VIEW / GENERAL INFORMATION

JUNE, 2007

EC 97903-09

### APPLICATION

1600 S.G. is designed to accommodate three primary configurations. 1) Slopes integrated with vertical 1600 wall. 2) Slopes terminating on a curb or parapet wall. 3) Slopes applied to steel grid or part of a sloped roof. Outside or inside corners may be adapted to the first two configurations.

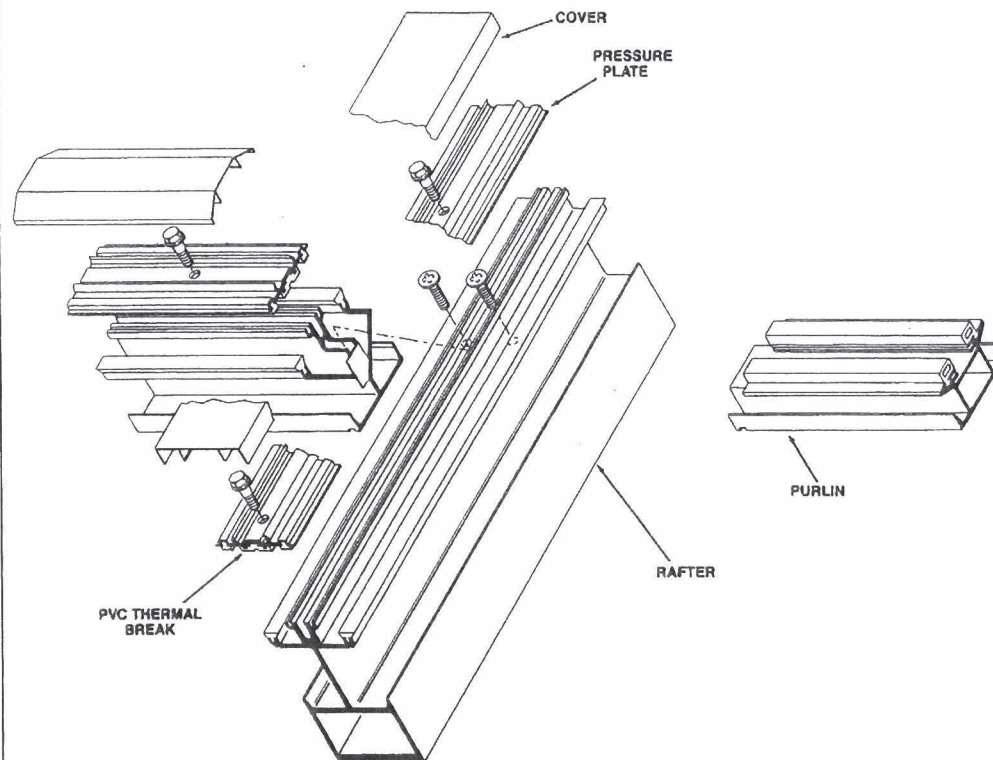
Standard members are shown in this section. Their use will result in the most economic application of the system. Deviations from the standard are possible but should be reviewed with your Kawneer representative.

### DEGREE OF SLOPE

Degree of slope is figured from the horizontal plane. Permitted slope angles are 15° to 60° inclusive.

### GLAZING

The system is designed to accept infills of 3/16" to 1 5/16", made of either glass or polycarbonate materials. When plexiglass or lexan type glazing is used, manufacturers guidelines for glazing material, and maximum size must be consulted. Other infill thicknesses are possible but must be reviewed with your Kawneer representative.



Laws and building and safety codes governing the design and use of glazed entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.  
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**KAWNEER**  
AN ALCOA COMPANY

kawneer.com

Figure 7. Specification for proposed glass roof.

## ATTACHMENT 2

Docket Item # 5  
BAR CASE # 2008-0158

BAR Meeting  
November 5, 2008

**ISSUE:** Demolition/Encapsulation  
**APPLICANT:** Karl and Lydia Svoboda  
**LOCATION:** 113 Princess Street  
**ZONE:** RM/Residential

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**BOARD ACTION, NOVEMBER 5, 2008:** On a motion by Dr. Fitzgerald, seconded by Mr. Smeallie, the Board voted to defer the application for further study. The Board also encouraged the applicant to meet with the neighbors again to discuss the project. The vote on the deferral was 6-0.

**REASON:** The Board expressed concerns about some of the alterations and encouraged the applicant to meet again with the neighbors to discuss the project. The Board discussed whether changes on the front elevation were appropriate since other townhouses on the block were unchanged, with mixed opinions. The Board was generally supportive of alterations for an addition and a dormer on the rear but expressed concern regarding the external elevator shaft.

**SPEAKERS:** Christine Leonard, project architect, spoke in support.  
Don Templeman, 119 Princess Street, spoke in opposition.  
Allan Gruer, speaking for Dan Berenstein of 121 Princess Street, spoke in opposition.  
Rose Gruer, 111 Princess Street, spoke in opposition.  
Janice Forsyth, 115 Princess Street, spoke in opposition.  
Karl Svoboda, owner, spoke in support.  
Allan Gruer, 111 Princess Street, spoke in opposition.  
John Hynan, representing Historic Alexandria Foundation, spoke in opposition.

**BOARD ACTION, OCTOBER 1, 2008:** The Board combined docket item #'s 10 & 11 for discussion. On a motion by Mr. Spencer, seconded by Mr. Smeallie, the Board deferred the applications for restudy and encouraged the applicant to explore other options for the design of the proposed dormers and the rear addition and chimney. The Board also encouraged the applicant to meet with the neighbors to discuss the project. The vote on the deferral was 7-0.

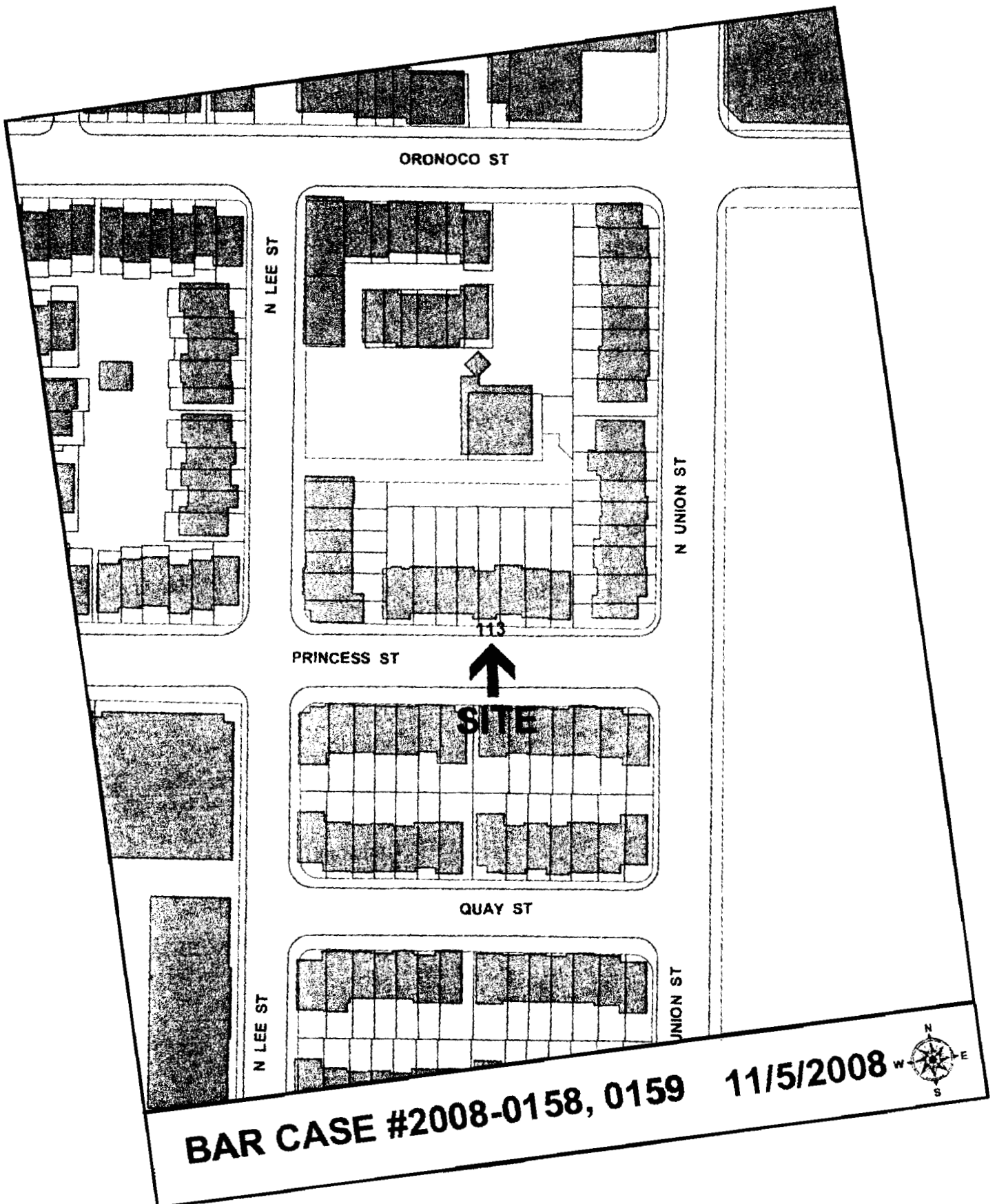
**REASON:** The Board expressed concerns about the alterations, the style and size of the dormers, and encouraged the applicant to explore other design possibilities, as well as meet with the neighbors to discuss the project.

**SPEAKERS:** Christine Leonard, project architect, spoke in support  
Don Templeman, 119 Princess Street, spoke in opposition  
Allan Guer, 111 Princess Street, spoke with concerns  
Janice Forsyth, 115 Princess Street, spoke in opposition  
John Hynan, representing Historic Alexandria Foundation, spoke in opposition

**STAFF RECOMMENDATION:** Staff recommends approval of the Permit to Demolish/Encapsulate with the following conditions:

1. That the applicant further explore the opportunity to retain the chimney in *situ*; and
2. The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
  - a. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
  - b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

BAR CASE #2008-0158  
November 5, 2008



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UPDATE: Since the deferral for restudy at the October 1, 2008 BAR hearing, the applicant's architect, Christine Leonard, has met with BAR Staff twice to review and address comments made by the Board and the neighbors. Revised plans have been submitted to address concerns raised at the hearing. The revisions include alterations to the front dormer, a reduction in size and changes to the proposed rear addition, and relocation of the elevator shaft. In addition, the applicant has provided materials to the neighbors for their review, and will host an open house on October 30 to answer additional questions and concerns they may have.

Note: This item requires a roll call vote.

### **I. ISSUE:**

The applicant is requesting approval of a Permit to Demolish/Encapsulate in order to construct a one-story addition and two-story elevator shaft at 113 Princess Street. The proposed addition will require the demolition/encapsulation of the entire first story and a portion of the second story on the rear elevation. The applicant is also proposing to demolish/encapsulate portions of the roof to accommodate new dormers on both the front and the rear. The applicant is proposing to demolish the existing chimney.

### **II. HISTORY:**

The residential structure at 113 Princess Street is a three-story, three-bay brick townhouse with a front-loading garage. City records date the townhouse to 1970. Staff could locate no prior Board approvals for this address.

### **III. ANALYSIS:**

In considering a Permit to Demolish/Encapsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B):

- (1) Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?
- (2) Is the building or structure of such interest that it could be made into a historic house?
- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
- (4) Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?
- (5) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?
- (6) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history,

stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?

In the opinion of Staff, none of the above criteria are met. The building is a non-historic structure, constructed in 1970, therefore no historic material will be lost as a result of the request.

Staff is concerned about the proposed demolition of the existing chimney. Staff notes that the removal of the existing, non-historic chimney will not result in the loss of historic fabric. The chimney is minimally visible from the front elevation but clearly visible from the rear elevation. The removal of the chimney is a revision to the original application and is proposed to accommodate relocation of the elevator shaft, to address concerns raised by the neighbors, according to the applicant's architect. However, Staff notes that the existing brick chimney contributes to the compatibility of a non-historic building with the overall character of the historic district. Staff recommends that the applicant further explore the opportunity to retain the chimney *in situ*.

Staff notes the conditions and comments from Alexandria Archaeology.

#### **IV. STAFF RECOMMENDATION:**

Staff recommends approval of the Permit to Demolish/Encapsulate with the following conditions:

1. That the applicant further explore the opportunity to retain the chimney *in situ*; and
2. The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
  - a. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
  - b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

## **V. CITY DEPARTMENT COMMENTS**

Legend: C - code requirement R - recommendation S – suggestion F- finding

### **Code Enforcement:**

- C-1 All exterior walls within 5 feet from an interior property line shall have a fire resistance rating of 1 hour, from both sides of the wall. As alternative, a 2 hour fire wall may be provided. This condition is also applicable to skylights within setback distance. Openings in exterior walls between 3 and 5 feet shall not exceed 25% of the area of the entire wall surface (This shall include bay windows). Openings shall not be permitted in exterior walls within 3 feet of an interior lot line.
- C-2 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to Code Enforcement that will outline the steps that will taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.
- C-3 Roof drainage systems must be installed so as neither to impact upon, nor cause erosion/damage to adjacent property.
- C-4 A soils report must be submitted with the building permit application.
- C-5 New construction must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-6 Additions and Alterations to the existing structure must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-7 Additions and Alterations to the existing structure and/or installation and/or altering of equipment therein requires a building permit. Five sets of plans, bearing the signature and seal of a design professional registered in the Commonwealth of Virginia, must accompany the written application. The plans must include all dimensions, construction alterations details, kitchen equipment, electrical, plumbing, and mechanical layouts and schematics.
- C-8 Construction permits are required for this project. Plans shall accompany the permit application that fully details the construction as well as layouts and schematics of the mechanical, electrical, and plumbing systems.
- C-9 Permission from adjacent property owners is required if access to the adjacent properties is required to complete the proposed construction. Otherwise, a plan shall be submitted to demonstrate the construction techniques utilized to keep construction solely on the referenced property.
- C-10 A wall location plat prepared by a land surveyor is required to be submitted to this office prior to requesting any framing inspection.



Historic Alexandria:

Approve.

Alexandria Archaeology:

**Archaeology Recommendations**

1. The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:

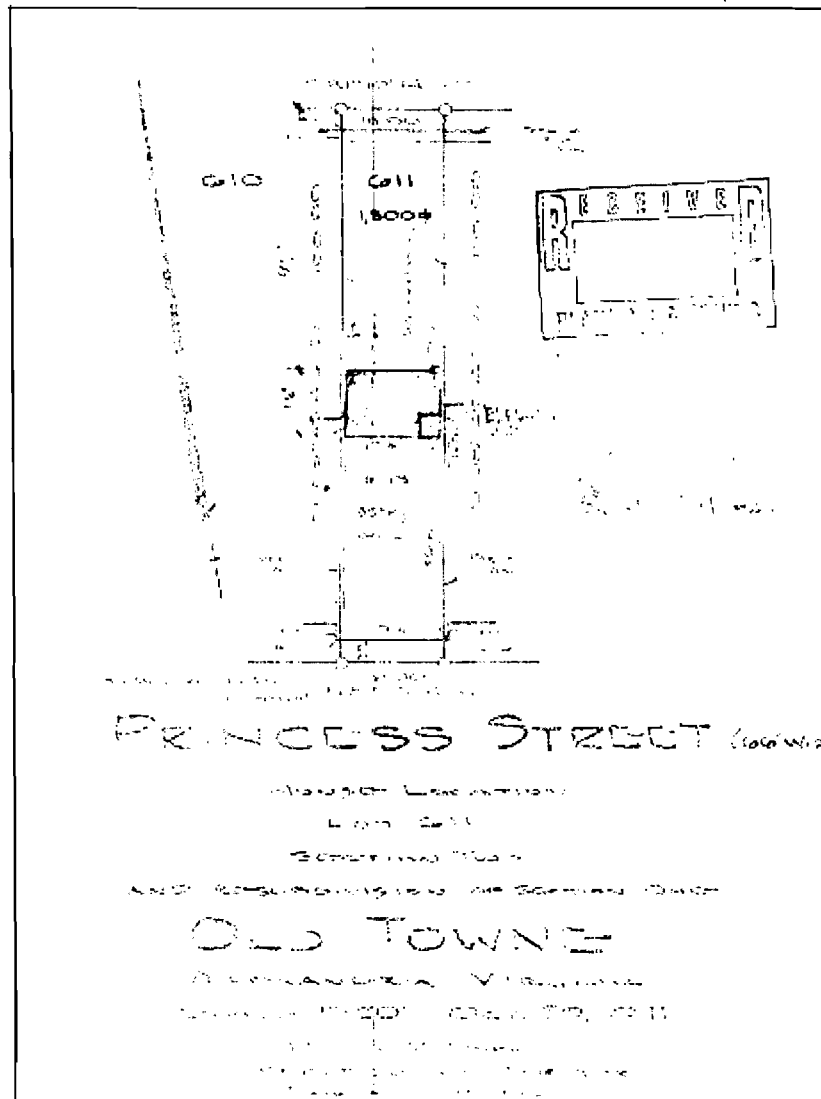
a. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.

b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

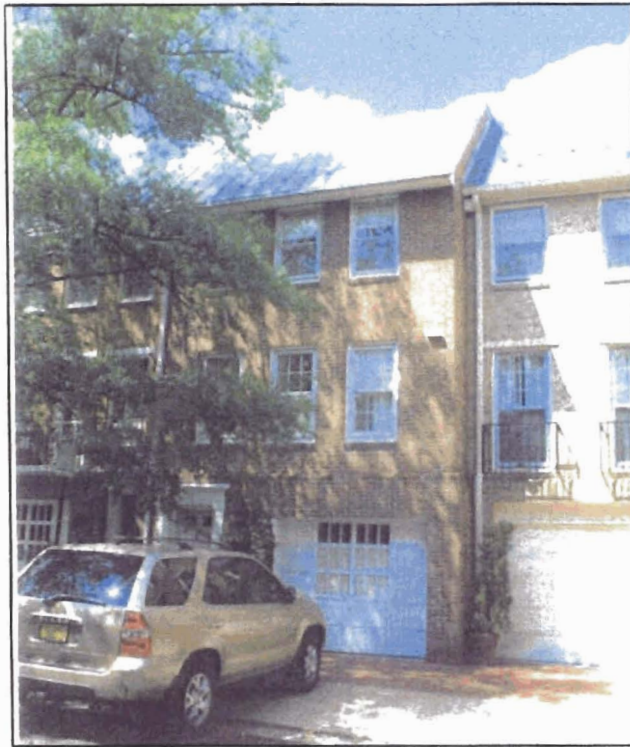
**Archaeology Finding**

F-1 Tax records indicate that houses were present on this street face by 1810. The Sanborn Insurance map depicts a cooper's shop, whiskey distillery, and African American residences on or adjacent to the lot by 1885. The property therefore has the potential to yield archaeological resources that could provide insight into residential, commercial, and industrial activities in 19<sup>th</sup>-century Alexandria. While the construction of the existing house on the lot undoubtedly caused disturbance to evidence of earlier occupation, there is a possibility that remnants of the past activities remain buried on the property.

## VI. IMAGES



**Figure 1. Plat of 113 Princess Street showing location of proposed rear addition.**



**Figure 2. Front (south) elevation.**



**Figure 3. Rear (north) elevation.**

Docket Item # 6  
BAR CASE # 2008-0159

BAR Meeting  
November 5, 2008

**ISSUE:** Addition/Alterations  
**APPLICANT:** Karl and Lydia Svoboda  
**LOCATION:** 113 Princess Street  
**ZONE:** RM/Residential

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**BOARD ACTION, NOVEMBER 5, 2008:** On a motion by Dr. Fitzgerald, seconded by Mr. Smeallie, the Board voted to defer the application for further study. The Board also encouraged the applicant to meet with the neighbors again to discuss the project. The vote on the deferral was 6-0.

**REASON:** The Board expressed concerns about some of the alterations and encouraged the applicant to meet again with the neighbors to discuss the project. The Board discussed whether changes on the front elevation were appropriate since other townhouses on the block were unchanged, with mixed opinions. The Board was generally supportive of alterations for an addition and a dormer on the rear but expressed concern regarding the external elevator shaft.

**SPEAKERS:** Christine Leonard, project architect, spoke in support.  
Don Templeman, 119 Princess Street, spoke in opposition.  
Allan Gruer, speaking for Dan Berenstein of 121 Princess Street, spoke in opposition.  
Rose Gruer, 111 Princess Street, spoke in opposition.  
Janice Forsyth, 115 Princess Street, spoke in opposition.  
Karl Svoboda, owner, spoke in support.  
Allan Gruer, 111 Princess Street, spoke in opposition.  
John Hynan, representing Historic Alexandria Foundation, spoke in opposition.

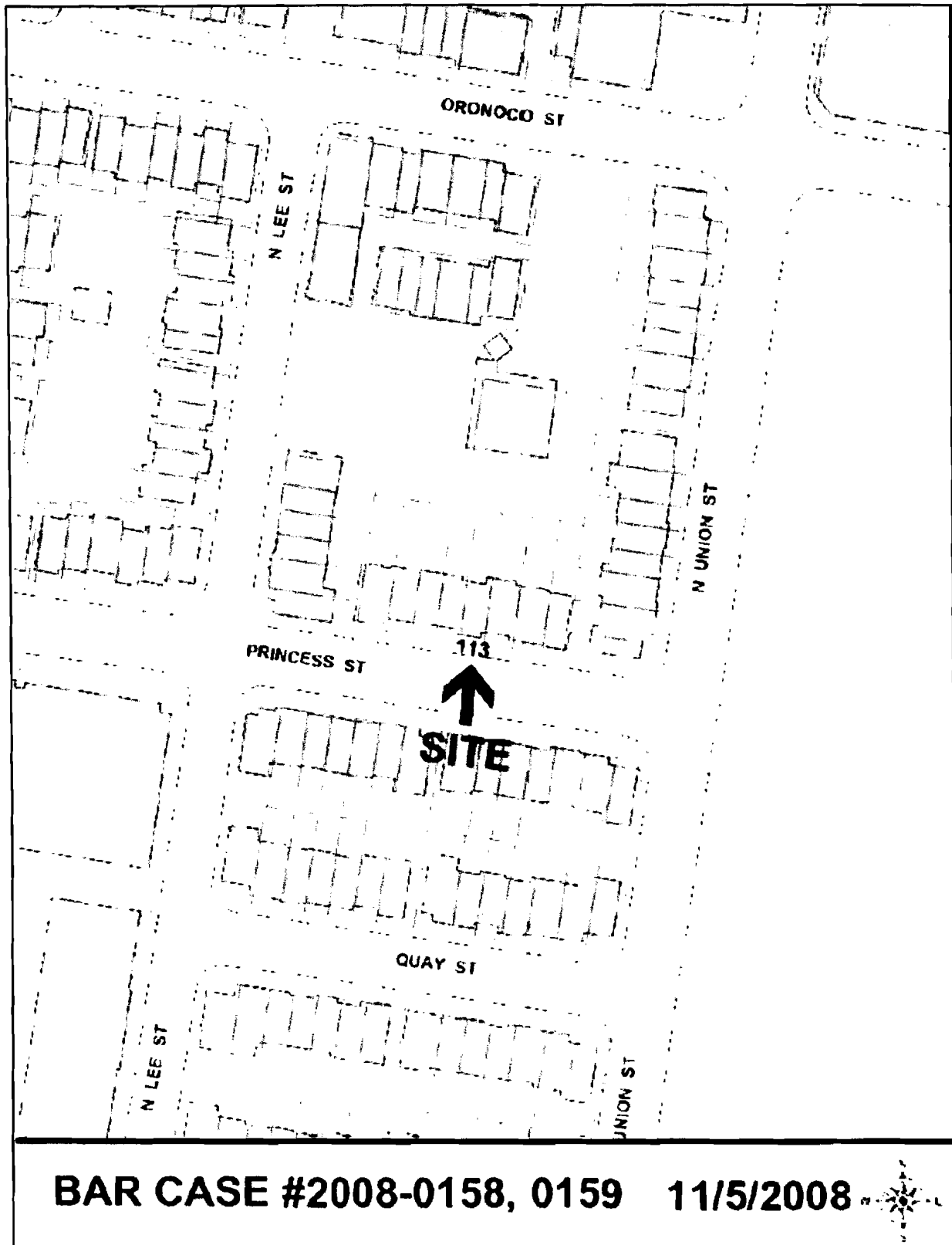
**BOARD ACTION, OCTOBER 1, 2008:** The Board combined docket item #'s 10 & 11 for discussion. On a motion by Mr. Spencer, seconded by Mr. Smeallie, the Board deferred the applications for restudy and encouraged the applicant to explore other options for the design of the proposed dormers and the rear addition and chimney. The Board also encouraged the applicant to meet with the neighbors to discuss the project. The vote on the deferral was 7-0.

**REASON:** The Board expressed concerns about the alterations, the style and size of the dormers, and encouraged the applicant to explore other design possibilities, as well as meet with the neighbors to discuss the project.

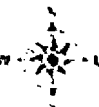
**SPEAKERS:** Christine Leonard, project architect, spoke in support  
Don Templeman, 119 Princess Street, spoke in opposition  
Allan Guer, 111 Princess Street, spoke with concerns  
Janice Forsyth, 115 Princess Street, spoke in opposition  
John Hynan, representing Historic Alexandria Foundation, spoke in opposition

**STAFF RECOMMENDATION:** Staff recommends approval of the application with the following conditions:

1. That the applicant refine the design of the front dormer to reduce the dormer's size with smaller windows and to work with Staff for final approval;
2. That the applicant further explore the opportunity to retain the chimney *in situ*;
3. That the applicant install nightshades on the rear addition to control light spillage;
4. That all the proposed simulated divided light windows have exterior-applied muntins with interior spacer bars and match the muntin width of the existing windows;
5. That the windows and doors all be wood; and
6. The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
  - a. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
  - b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.



BAR CASE #2008-0158, 0159 11/5/2008



Note: Docket Item # 4 must be approved before this item may be considered.

UPDATE: Since the deferral for restudy at the October 1, 2008 BAR hearing, the applicant's architect, Christine Leonard, has met with BAR Staff twice to review and address comments made by the Board and the neighbors. Revised plans have been submitted to address concerns raised at the hearing. The revisions include alterations to the front dormer, a reduction in size and other changes to the proposed rear addition, relocation of the elevator shaft, and proposal to remove the existing chimney. In addition, the applicant has provided materials to the neighbors for their review, and will host an open house on October 30 to answer additional questions and concerns they may have.

**I. ISSUE:**

The applicant is requesting approval of a Certificate of Appropriateness for an addition and alterations at 113 Princess Street.

Front Alterations and Addition

The applicant proposes to install a bay window on the second story where there are currently two single, double-hung windows. The applicant will remove the two single windows and the portion of the brick wall between the window openings. The projecting bay window will be rectangular in plan and feature Colonial Revival detailing. The wood trim will be painted to match the existing trim on the house. The new windows will be six-over-six, simulated divided light, double-hung wood windows.

The applicant is proposing to install a tripartite dormer with flat roof on the existing gable roof of the front elevation. Originally, the applicant had proposed a tripartite dormer with a gable roof and Colonial Revival detailing on the front elevation. The revised dormer is no longer higher than the existing ridgeline. The revised dormer is also Colonial Revival in style with square wood columns. The wood trim and wood columns will be painted to match the existing trim. There will be three six-over-six, simulated divided light, double-hung wood windows. The center window will have a transom as well. The roof will be standing seam metal and will match the existing roof.

The applicant proposes to replace all the existing windows with six-over-six, simulated divided light, wood windows.

The applicant proposes to remove the existing, non-historic chimney, visible from both the front and rear elevations.

Rear Addition and Alterations

The applicant proposes to construct a one-story with basement addition measuring approximately 12' by 18' on the rear (north) elevation of the existing house which currently measures approximately 37' by 18'. Originally, the depth of the addition was proposed to be 16.5' but has been reduced to 12'. The addition will be a sun room and will have double multi-light doors flanked by pairs of nine-over-nine double-hung windows on the north elevation. The doors and windows are proposed to be aluminum clad and simulated divided light. The applicant proposes a glass shed roof. The glass roof will have commercial grade structural aluminum with low-E

insulated panel glass. The side elevations (east and west) will be all brick. A brick elevator shaft measuring approximately 4.5' by 5.5' will continue to the second story. The applicant has relocated the elevator shaft to the eastern elevation and has removed the blind window with shutters in the closed position.

On the roof of the rear (north) elevation the applicant proposes a shed dormer. The dormer addition will extend approximately 13.5'. The dormer will have four six-over-six, double-hung, simulated divided light, wood windows. The shed dormer will have a standing seam metal roof to match the existing roof. The wood trim will be painted to match the existing trim on the house.

The applicant proposes to replace all the existing windows with six-over-six, simulated divided light wood windows with the exception of the windows on the addition which are proposed to be simulated divided light and aluminum clad.

## **II. HISTORY:**

The residential structure at 113 Princess Street is a three-story, three-bay brick townhouse with a front-loading garage. City records date the townhouse to 1970.

Staff could locate no prior Board approvals for this address.

## **III. ANALYSIS:**

The proposed addition and alterations comply with the zoning ordinance requirements.

During the past several years the Board has reviewed a number of substantial alterations and additions to the properties within this development that include the addition of bay windows at the second story and the addition of dormers at the roof. Staff finds that historic fabric is not lost to accommodate the alterations and that the proposed alterations are generally in keeping with the Colonial Revival style of these townhouses.

Staff initially expressed concern about the height and appearance of the proposed dormer on the front elevation as proposed in the first submission. In the previous report, Staff found a dormer to be acceptable at this location but recommended that the height of the dormer not exceed the existing roof ridge height. The height has been reduced through the elimination of the gable portion of the dormer and replacement with a flat roof. Staff finds that the most appropriate dormer for this location is one that maintains the established three-bay rhythm of the façade. Staff finds that this can be accomplished in a variety of dormer arrangements. Staff notes that the Board has discouraged the use of shed dormers on front elevations. The applicant here proposes a flat roofed dormer, which, although similar in form to a shed dormer, has a less prominent roof. Staff finds that the flat roofed dormer is acceptable in this location. Historically, a dormer has smaller windows than the rest of the façade, in order to provide light and ventilation to an attic story. Staff recommends that the applicant reduce the size of the windows in the proposed dormer, and thus the overall size of the dormer, to prevent the dormer from dominating this elevation. Staff recommends that the applicant work with Staff for final approval of a reduction in window size.



The *Design Guidelines* state that “the design of an addition should respect the heritage of the historic building to which it is attached as well as adjacent buildings....or which echo the design elements of the existing structure.” Staff finds that the proposed one-story addition is compatible with the architectural style found of this townhouse and the surrounding area. While the proposed glass roof on the addition is not a traditional roof material in the historic district, Staff finds that it is acceptable in this circumstance as it will not be visible from the public right-of-way due to the 6’ fence raised above the alley level at the rear of the property. To mitigate light spillage from the glass roof, Staff recommends that nightshades be installed. A portion of the elevator shaft will be visible from the rear, but Staff finds that the choice of material, brick to match the existing, contributes to its compatibility.

The *Design Guidelines* note that “existing chimneys should be maintained *in situ* and not removed without a compelling reason.” Staff notes that the removal of the existing, non-historic chimney will not result in the loss of historic fabric. The chimney is minimally visible from the front elevation but clearly visible from the rear elevation. The removal of the chimney is a revision to the original application and is proposed to accommodate relocation of the elevator shaft, to address concerns raised by the neighbors, according to the applicant’s architect. However, Staff notes that the existing brick chimney contributes to the compatibility of a non-historic building with the overall character of the historic district. Staff recommends that the applicant further explore the opportunity to retain the chimney *in situ*.

The *Design Guidelines* recommend that: “...replacement windows should be appropriate to the historic period of the architectural style of the building.” The *Guidelines* also state that single-glazed, true divided light windows with interior storm sash are the preferred replacement window type. The *Guidelines* continue by saying other acceptable window types are “double-glazed true divided light wood windows...Windows with fixed or applied muntins have been approved for the rear elevation of a structure which has minimal visibility from a public right of way.” In this particular case, given the age of the townhouse and the fact that the existing six-over-six light configuration and 7/8” muntin profile will be retained, Staff does not object to the installation of double-insulated replacement windows with simulated divided lights and spacer bars. However, Staff recommends that all the replacement windows and doors be all wood.

**IV. STAFF RECOMMENDATION:** Staff recommends approval of the application with the following conditions:

1. That the applicant refine the design of the front dormer to reduce the dormer’s size with smaller windows and to work with Staff for final approval;
2. That the applicant further explore the opportunity to retain the chimney *in situ*;
3. That the applicant install nightshades on the rear addition to control light spillage;
4. That all the proposed simulated divided light windows have exterior-applied muntins with interior spacer bars and match the muntin width of the existing windows;
5. That the windows and doors all be wood; and
6. **The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:**

- a. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
- b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

## **V. CITY DEPARTMENT COMMENTS**

Legend: C - code requirement R - recommendation S - suggestion F- finding

### **Code Enforcement**

- C-1 All exterior walls within 5 feet from an interior property line shall have a fire resistance rating of 1 hour, from both sides of the wall. As alternative, a 2 hour fire wall may be provided. This condition is also applicable to skylights within setback distance. Openings in exterior walls between 3 and 5 feet shall not exceed 25% of the area of the entire wall surface (This shall include bay windows). Openings shall not be permitted in exterior walls within 3 feet of an interior lot line.
- C-2 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to Code Enforcement that will outline the steps that will taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.
- C-3 Roof drainage systems must be installed so as neither to impact upon, nor cause erosion/damage to adjacent property.
- C-4 A soils report must be submitted with the building permit application.
- C-5 New construction must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-6 Additions and Alterations to the existing structure must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-7 Additions and Alterations to the existing structure and/or installation and/or altering of equipment therein requires a building permit. Five sets of plans, bearing the signature and seal of a design professional registered in the Commonwealth of Virginia, must accompany the written application. The plans must include all dimensions, construction alterations details, kitchen equipment, electrical, plumbing, and mechanical layouts and schematics.
- C-8 Construction permits are required for this project. Plans shall accompany the permit application that fully details the construction as well as layouts and schematics of the mechanical, electrical, and plumbing systems.
- C-9 Permission from adjacent property owners is required if access to the adjacent properties is required to complete the proposed construction. Otherwise, a plan shall be submitted to demonstrate the construction techniques utilized to keep construction solely on the referenced property.
- C-10 A wall location plat prepared by a land surveyor is required to be submitted to this office prior to requesting any framing inspection.

Historic Alexandria:  
Approve.

Alexandria Archaeology:

**Archaeology Recommendations**

1. The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:

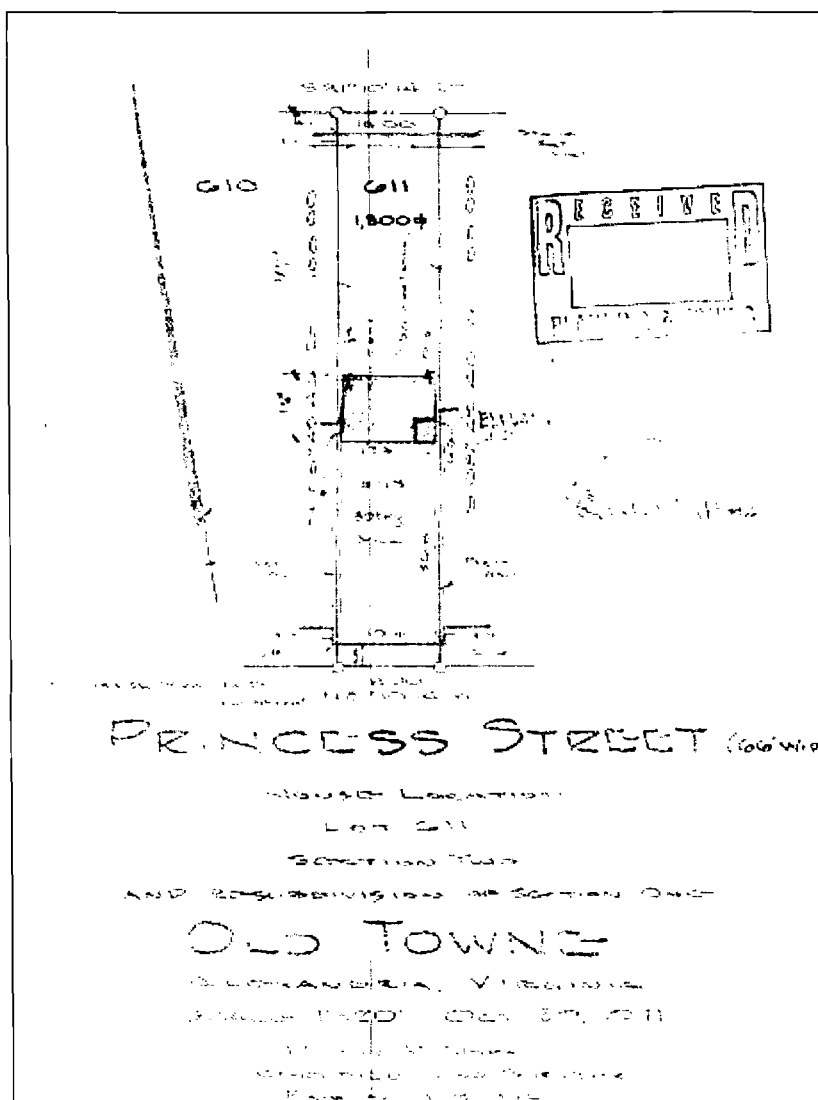
a. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.

b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

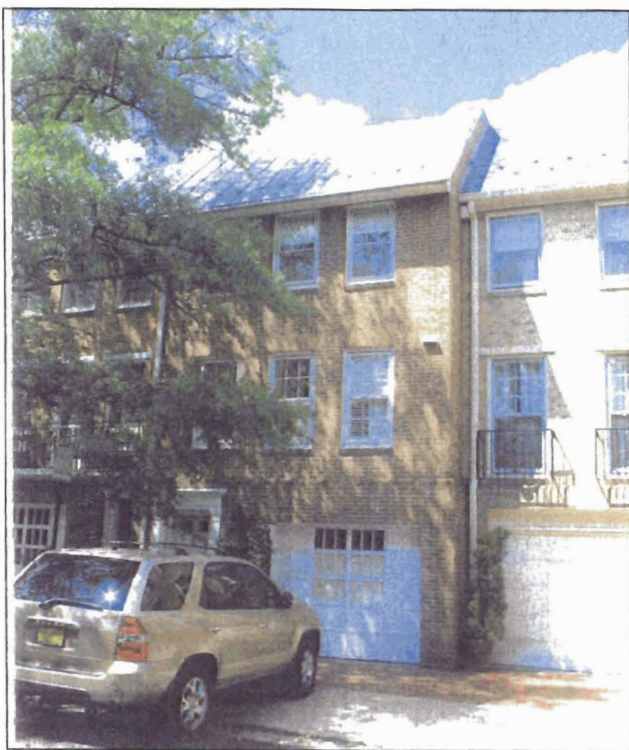
**Archaeology Finding**

F-1 Tax records indicate that houses were present on this street face by 1810. The Sanborn Insurance map depicts a cooper's shop, whiskey distillery, and African American residences on or adjacent to the lot by 1885. The property therefore has the potential to yield archaeological resources that could provide insight into residential, commercial, and industrial activities in 19<sup>th</sup>-century Alexandria. While the construction of the existing house on the lot undoubtedly caused disturbance to evidence of earlier occupation, there is a possibility that remnants of the past activities remain buried on the property.

## VI. IMAGES



**Figure 1. Plat of 113 Princess Street showing location of proposed rear addition.**



**Figure 2. Front (south) elevation.**



**Figure 2. Rear (north) elevation.**

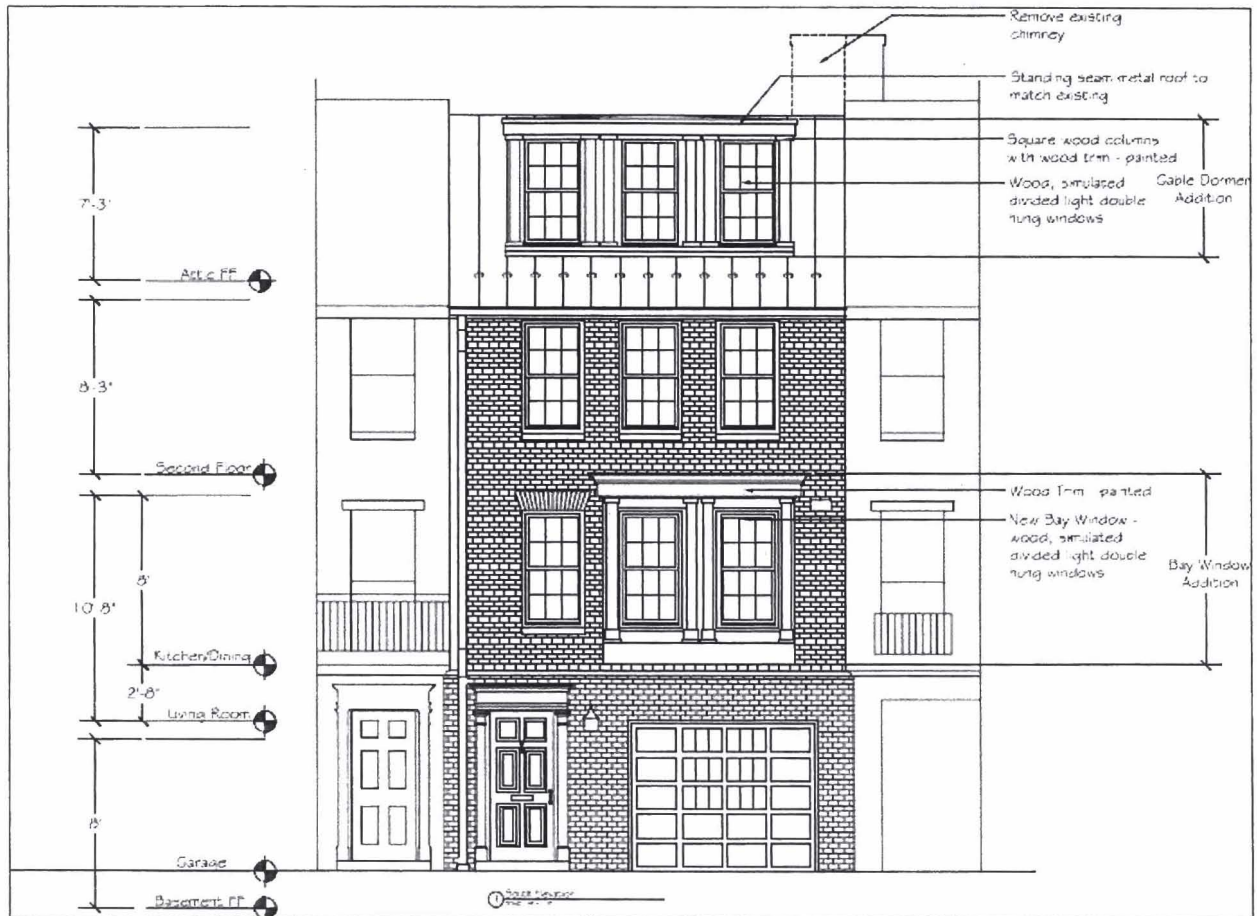


Figure 4. Proposed front (south) elevation with projecting bay window and dormer.

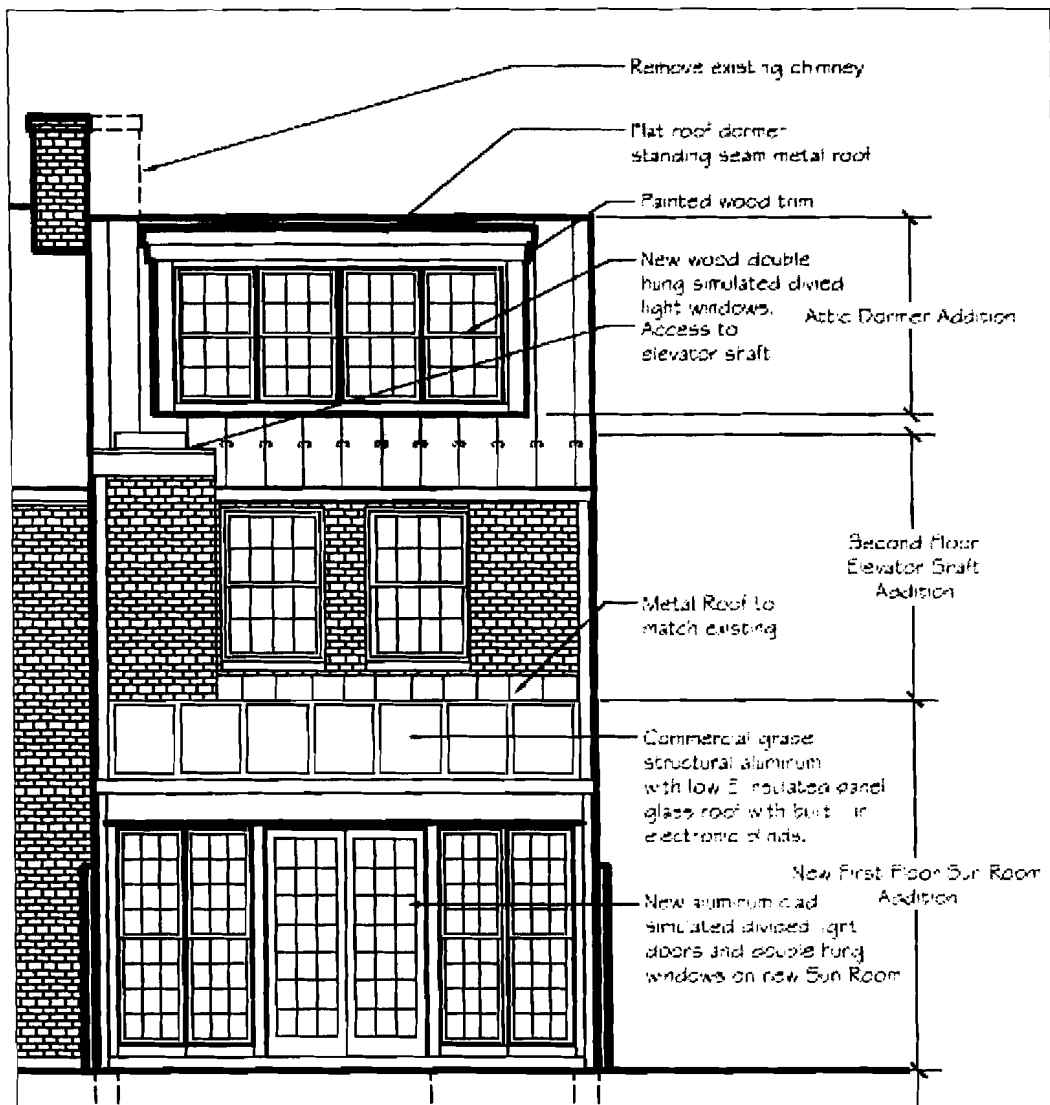


Figure 5. Proposed rear (north) elevation.



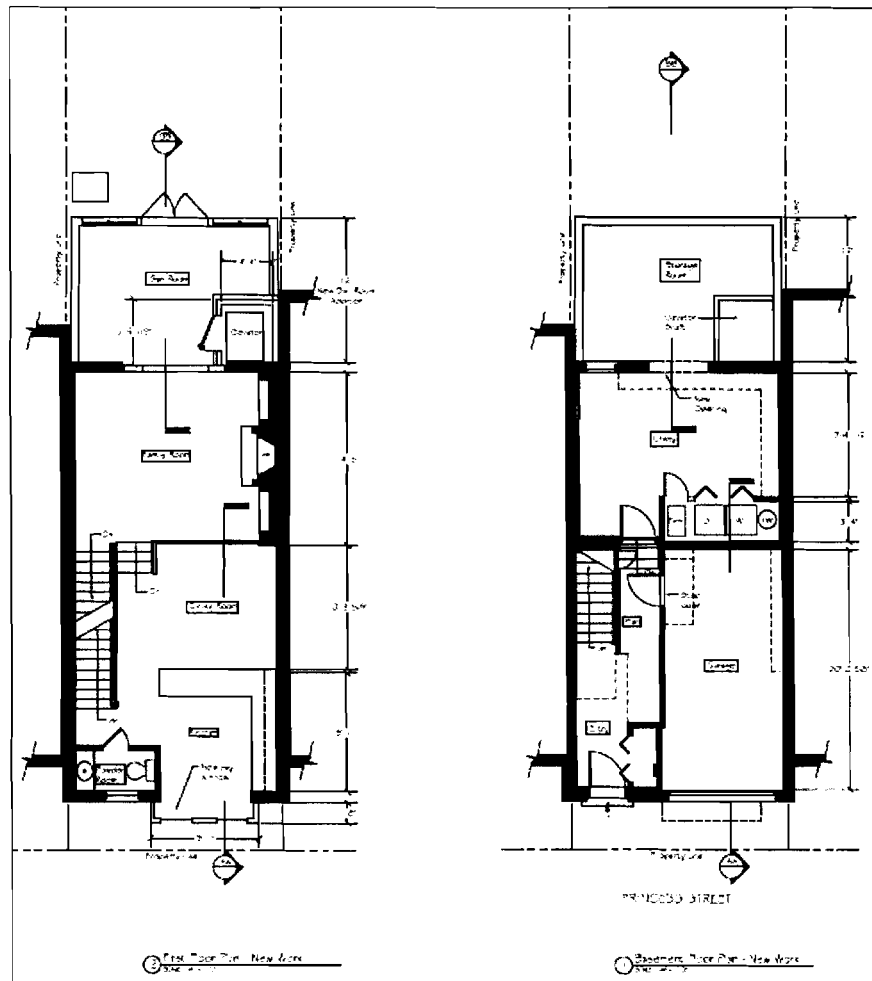


Figure 6. Proposed floor plans at basement and first floor.

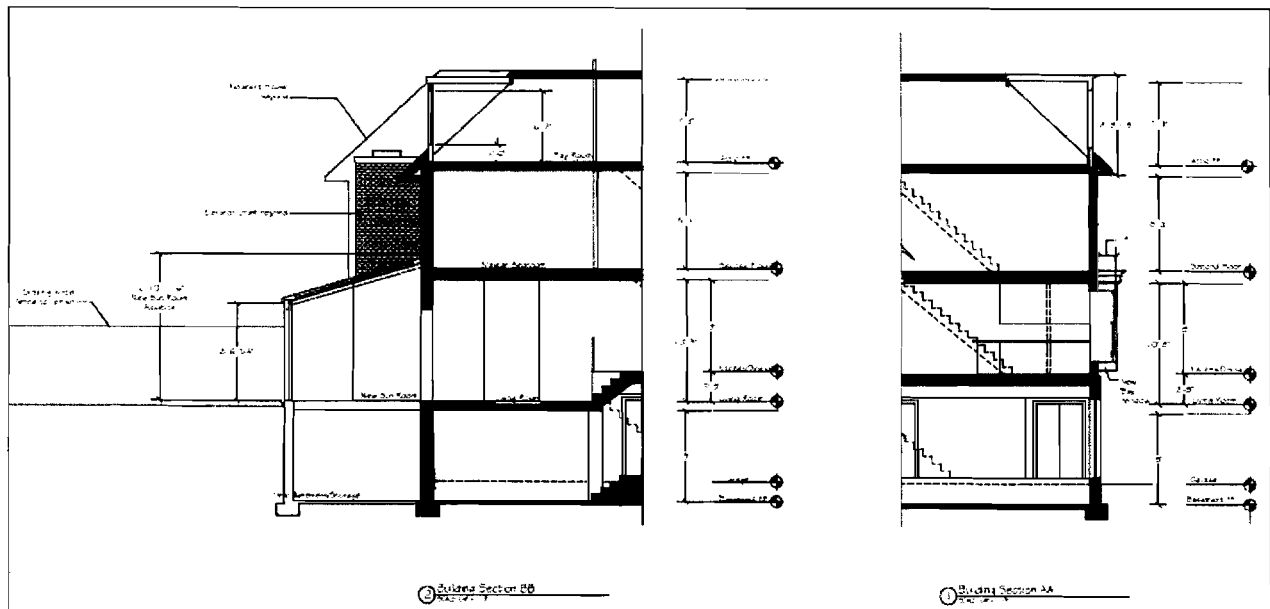


Figure 7. Section with proposed alterations.

## 1600 S.G. (Sloped Glazing)

PICTORIAL VIEW / GENERAL INFORMATION

JUNE, 2007

EC 97903-09

### APPLICATION

1600 S.G. is designed to accommodate three primary configurations. 1) Slopes integrated with vertical 1600 wall. 2) Slopes terminating on a curb or parapet wall. 3) Slopes applied to steel grid or part of a sloped roof. Outside or inside corners may be adapted to the first two configurations.

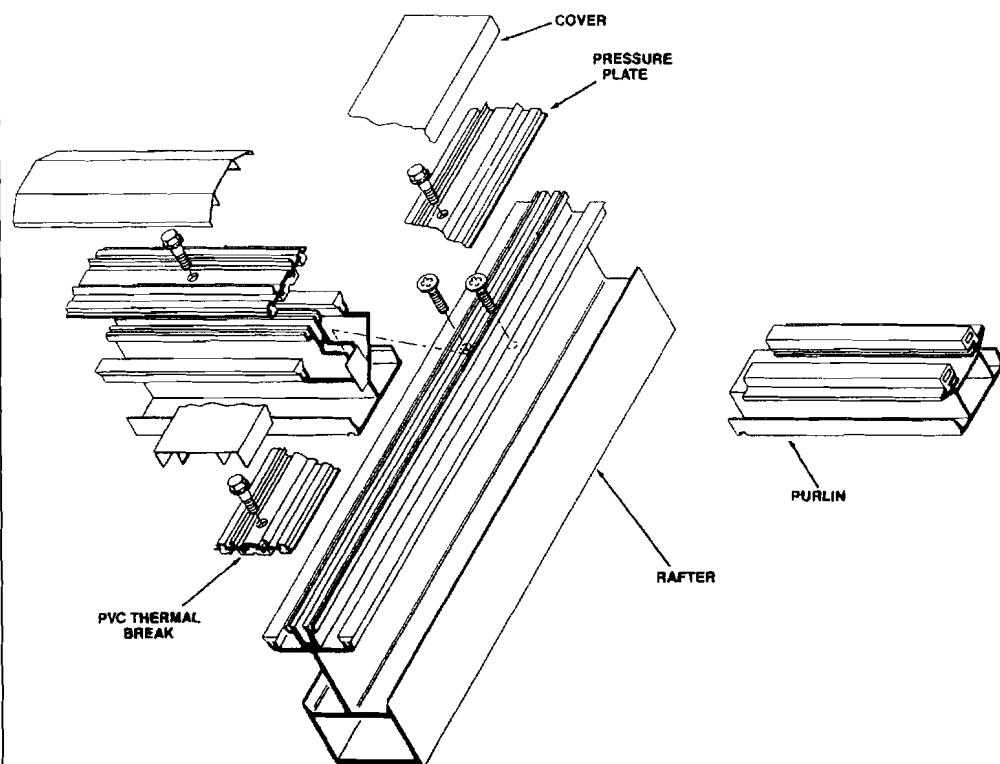
Standard members are shown in this section. Their use will result in the most economic application of the system. Deviations from the standard are possible but should be reviewed with your Kawneer representative.

### DEGREE OF SLOPE

Degree of slope is figured from the horizontal plane. Permitted slope angles are 15° to 60° inclusive.

### GLAZING

The system is designed to accept infills of  $\frac{3}{16}$ " to  $1\frac{1}{8}$ " made of either glass or polycarbonate materials. When plexiglass or lexan type glazing is used, manufacturers guidelines for glazing material, and maximum size must be consulted. Other infill thicknesses are possible but must be reviewed with your Kawneer representative.



**KAWNEER**  
AN ALCOA COMPANY

kawneer.com

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.  
© Kawneer Company, Inc. 2007

Figure 3. Specification for proposed glass roof.

### ATTACHMENT 3

Docket Item # 5  
BAR CASE # 2008-0158

BAR Meeting  
March 4, 2009

**ISSUE:** Demolition/Encapsulation  
**APPLICANT:** Karl and Lydia Svoboda  
**LOCATION:** 113 Princess Street  
**ZONE:** RM/Residential

**BOARD ACTION MARCH 4, 2009:** The Board combined docket item's #5 and #6 for discussion. On a motion by Mr. Neale, seconded by Mr. Spencer, the Board voted to approve the Permit to Demolish/Encapsulate and a Certificate of Appropriateness with the following revised conditions:

1. The proposed sunroom will be fabricated of wood not metal.
2. The lower sills of the dormer's windows onto the main roof – so they lie flat onto the roof structure. Lower the eave height of the dormer roof 6 inches or more, so that the roof form is sloped rather than flat and takes on a more traditional shed roof form.
3. That the applicant install nightshades on the glass roof of the rear addition to control light spillage;
4. That all the proposed simulated, divided-light windows have exterior applied muntins with interior spacer bars and will be 5/8" in width;
5. That the windows and doors be all wood and not aluminum clad; and,
6. The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
  - a. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
  - b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

The roll call vote was 4-0.

**REASON:** The Board was generally in agreement with the Staff recommendation. They supported the elimination of any alteration to the front and agreed that the proposed rear addition was modest in scale and its massing was designed to minimize its impact to adjacent neighbors. The Board also noted that the Historic District was not static and it needed to evolve and grow, and that they were charged with supporting the integrity of its historic structures while permitting sympathetic modifications to buildings which were determined not to be detrimental to the character-defining elements of the historic district.

**SPEAKERS:** Duncan Blair, Applicant's Attorney, spoke in support of the application and provided an overview of the previous hearings on this case and noted that the applicant hired a structural engineer to confirm that the addition can be constructed.

Gant Redman, Mr. and Mrs. Brewers Attorney, (Brewer's reside at 111 Princess Street), expressed his clients concerns about the project being a reverse articulation of the block.

Daniel Bernstein, 110 Princess Street, articulated his concerns the project would compromise the architectural uniformity of the existing townhouses. Mr. Bernstein requested that the Board defer this case for further study.

Don Templeton, 119 Princess Street, spoke in opposition of the project and requested a deferral.

Rose Gruer, 111 Princess Street, spoke in opposition of the project and her opposition to the effectiveness of the meetings the owner has had with the neighbors.

John Hynan, representing Historic Alexandria Foundation, expressed that the Foundation believes that the current rear facades are as elegant as the principal facades and as such the Board should weigh their evaluation of the rear façade as if they were making an evaluation of changes to the principal façade of this townhouse.

**BOARD ACTION, NOVEMBER 5, 2008:** On a motion by Dr. Fitzgerald, seconded by Mr. Smeallie, the Board voted to defer the application for further study. The Board also encouraged the applicant to meet with the neighbors again to discuss the project. The vote on the deferral was 6-0.

**REASON:** The Board expressed concerns about some of the alterations and encouraged the applicant to meet again with the neighbors to discuss the project. The Board discussed whether changes on the front elevation were appropriate since other townhouses on the block were unchanged, with mixed opinions. The Board was generally supportive of alterations for an addition and a dormer on the rear but expressed concern regarding the external elevator shaft.



**SPEAKERS:** Christine Leonard, project architect, spoke in support.  
Don Templeman, 119 Princess Street, spoke in opposition.  
Allan Gruer, speaking for Dan Berenstein of 121 Princess Street, spoke in opposition.  
Rose Gruer, 111 Princess Street, spoke in opposition.  
Janice Forsyth, 115 Princess Street, spoke in opposition.  
Karl Svoboda, owner, spoke in support.  
Allan Gruer, 111 Princess Street, spoke in opposition.  
John Hynan, representing Historic Alexandria Foundation, spoke in opposition.

**BOARD ACTION, OCTOBER 1, 2008:** The Board combined docket item #'s 10 & 11 for discussion. On a motion by Mr. Spencer, seconded by Mr. Smeallie, the Board deferred the applications for restudy and encouraged the applicant to explore other options for the design of the proposed dormers and the rear addition and chimney. The Board also encouraged the applicant to meet with the neighbors to discuss the project. The vote on the deferral was 7-0.

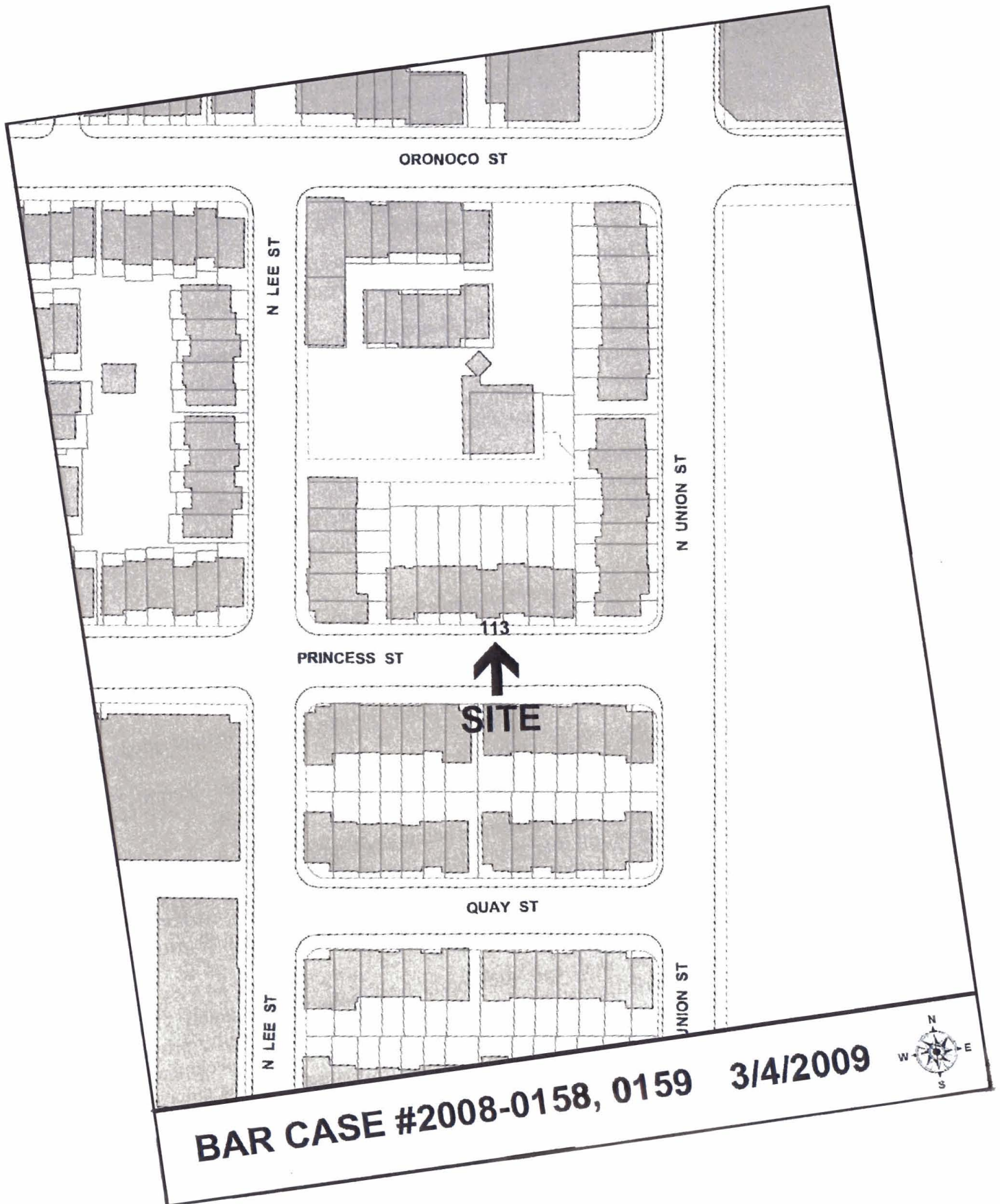
**REASON:** The Board expressed concerns about the alterations, the style and size of the dormers, and encouraged the applicant to explore other design possibilities, as well as meet with the neighbors to discuss the project.

**SPEAKERS:** Christine Leonard, project architect, spoke in support  
Don Templeman, 119 Princess Street, spoke in opposition  
Allan Guer, 111 Princess Street, spoke with concerns  
Janice Forsyth, 115 Princess Street, spoke in opposition  
John Hynan, representing Historic Alexandria Foundation, spoke in opposition

**STAFF RECOMMENDATION:** Staff recommends approval of the Permit to Demolish/Encapsulate with the following conditions:

1. The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
  - a. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
  - b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

BAR CASE #2008-0158  
March 4, 2009



UPDATE:

At the public hearing on November 5, 2008, the Board voted to defer the application. Since that deferral, the applicant's architect, Christine Leonard, has met with Staff to review the Board's comments. In addition, Staff coordinated a meeting on December 18, 2008 between the applicant's architect and attorney and the neighbors who have expressed concern during this process. The applicant shared a revised scheme with the neighbors and requested additional feedback or comments from the neighbors. The current scheme represents revised plans to accommodate concerns expressed by both the Board and the neighbors.

Previously, the Board deferred the application for restudy at the October 1, 2008 hearing. After the first deferral, the applicant's architect, Christine Leonard, met with BAR Staff twice to review and address comments made by the Board and the neighbors. The revisions at this time included alterations to the front dormer, a reduction in size, and changes to the proposed rear addition, and relocation of the elevator shaft. In addition, the applicant hosted an open house on October 30, 2008.

Note: This item requires a roll call vote.

**I. ISSUE:**

The applicant is requesting approval of a Permit to Demolish/Encapsulate in order to construct a two-story rear addition at 113 Princess Street. The proposed addition will require the demolition/encapsulation of the first story and second story on the rear elevation. The applicant is also proposing to demolish/encapsulate portions of the roof to accommodate a new dormer on the rear elevation.

**II. HISTORY:**

The residential structure at 113 Princess Street is a three-story, three-bay brick townhouse with a front-loading garage. City records date the townhouse to 1970.

Staff could locate no prior Board approvals for this address.

**III. ANALYSIS:**

In considering a Permit to Demolish/Encapsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B):

- (1) Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?
- (2) Is the building or structure of such interest that it could be made into a historic house?
- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
- (4) Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?
- (5) Would retention of the building **or** structure help preserve and protect an historic place or area of historic interest in the city?
- (6) Would retention of the building **or** structure promote the general welfare by maintaining and **increasing** real estate values, generating **business**, creating new

positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?

In the opinion of Staff, none of the above criteria are met. The building is a non-historic structure, constructed in 1970, therefore no historic material will be lost as a result of the request. Furthermore, the area of encapsulation is limited to an area of the house with the least visibility, the rear.

Staff notes the comments and recommendations from Alexandria Archaeology.

**IV. STAFF RECOMMENDATION:**

Staff recommends approval of the Permit to Demolish/Encapsulate with the following conditions:

1. The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
  - a. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
  - b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.



**V. CITY DEPARTMENT COMMENTS**

Legend: C - code requirement R - recommendation S - suggestion F- finding

Code Enforcement:

- C-1 All exterior walls within 5 feet from an interior property line shall have a fire resistance rating of 1 hour, from both sides of the wall. As alternative, a 2 hour fire wall may be provided. This condition is also applicable to skylights within setback distance. Openings in exterior walls between 3 and 5 feet shall not exceed 25% of the area of the entire wall surface (This shall include bay windows). Openings shall not be permitted in exterior walls within 3 feet of an interior lot line.
- C-2 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to Code Enforcement that will outline the steps that will taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.
- C-3 Roof drainage systems must be installed so as neither to impact upon, nor cause erosion/damage to adjacent property.
- C-4 A soils report must be submitted with the building permit application.
- C-5 New construction must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-6 Additions and Alterations to the existing structure must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-7 Additions and Alterations to the existing structure and/or installation and/or altering of equipment therein requires a building permit. Five sets of plans, bearing the signature and seal of a design professional registered in the Commonwealth of Virginia, must accompany the written application. The plans must include all dimensions, construction alterations details, kitchen equipment, electrical, plumbing, and mechanical layouts and schematics.
- C-8 Construction permits are required for this project. Plans shall accompany the permit application that fully details the construction as well as layouts and schematics of the mechanical, electrical, and plumbing systems.
- C-9 Permission from adjacent property owners is required if access to the adjacent properties is required to complete the proposed construction. Otherwise, a plan shall be submitted to demonstrate the construction techniques utilized to keep construction solely on the referenced property.
- C-10 A wall location plat prepared by a land surveyor is required to be submitted to this office prior to requesting any **framing inspection**.

Historic Alexandria:

Approve.

Alexandria Archaeology:

**Archaeology Recommendations**

1. The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:

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b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

**Archaeology Finding**

F-1 Tax records indicate that houses were present on this street face by 1810. The Sanborn Insurance map depicts a cooper's shop, whiskey distillery, and African American residences on or adjacent to the lot by 1885. The property therefore has the potential to yield archaeological resources that could provide insight into residential, commercial, and industrial activities in 19<sup>th</sup>-century Alexandria. While the construction of the existing house on the lot undoubtedly caused disturbance to evidence of earlier occupation, there is a possibility that remnants of the past activities remain buried on the property.

Transportation and Environmental Services:

**RECOMMENDATIONS**

R1. The building permit must be approved and issued prior to the issuance of any demolition permit. (T&ES)



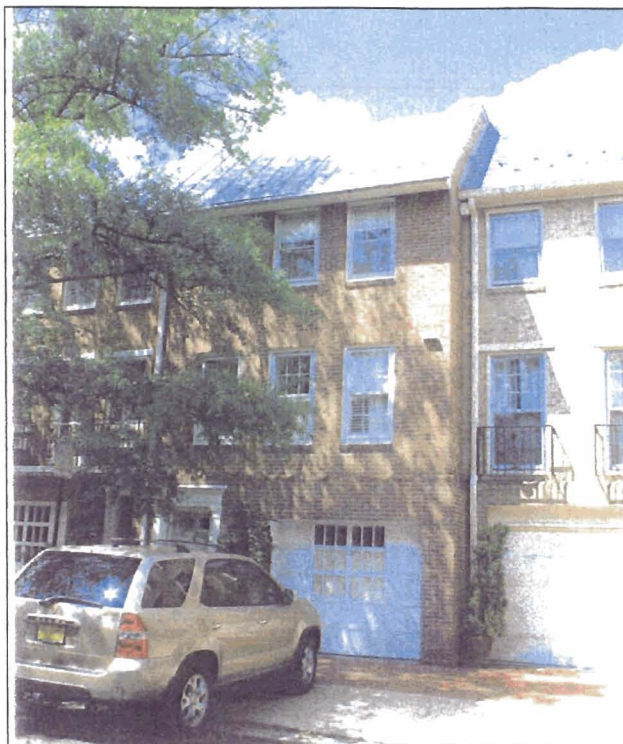


Figure 2. Front (south) elevation.



Figure 3. Rear (north) elevation.

Docket Item # 6  
BAR CASE # 2008-0159

BAR Meeting  
March 4, 2009

**ISSUE:** Addition/Alterations  
**APPLICANT:** Karl and Lydia Svoboda  
**LOCATION:** 113 Princess Street  
**ZONE:** RM/Residential

**BOARD ACTION, MARCH 4, 2009:** The Board combined docket item's #5 and #6 for discussion. On a motion by Mr. Neale, seconded by Mr. Spencer, the Board voted to approve the Permit to Demolish/Encapsulate and a Certificate of Appropriateness with the following revised conditions:

1. The proposed sunroom will be fabricated of wood not metal.
2. The lower sills of the dormer's windows onto the main roof – so they lie flat onto the roof structure. Lower the eave height of the dormer roof 6 inches or more, so that the roof form is sloped rather than flat and takes on a more traditional shed roof form.
3. That the applicant install nightshades on the glass roof of the rear addition to control light spillage;
4. That all the proposed simulated, divided-light windows have exterior applied muntins with interior spacer bars and will be 5/8" in width;
5. That the windows and doors be all wood and not aluminum clad; and,
6. The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
  - a. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
  - b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

The roll call vote was 4-0.

**REASON:** The Board was generally in agreement with the Staff recommendation. They supported the elimination of any alteration to the front and agreed that the

proposed rear addition was modest in scale and its massing was designed to minimize its impact to adjacent neighbors. The Board also noted that the Historic District was not static and it needed to evolve and grow, and that they were charged with supporting the integrity of its historic structures while permitting sympathetic modifications to buildings which were determined not to be detrimental to the character-defining elements of the historic district.

**SPEAKERS:** Duncan Blair, Applicant's Attorney, spoke in support of the application and provided an overview of the previous hearings on this case and noted that the applicant hired a structural engineer to confirm that the addition can be constructed.

Gant Redman, Mr. and Mrs. Brewers Attorney, (Brewer's reside at 111 Princess Street), expressed his clients concerns about the project being a reverse articulation of the block.

Daniel Bernstein, 110 Princess Street, articulated his concerns the project would compromise the architectural uniformity of the existing townhouses. Mr. Bernstein requested that the Board defer this case for further study.

Don Templeton, 119 Princess Street, spoke in opposition of the project and requested a deferral.

Rose Gruer, 111 Princess Street, spoke in opposition of the project and her opposition to the effectiveness of the meetings the owner has had with the neighbors.

John Hynan, representing Historic Alexandria Foundation, expressed that the Foundation believes that the current rear facades are as elegant as the principal facades and as such the Board should weigh their evaluation of the rear façade as if they were making an evaluation of changes to the principal façade of this townhouse.

**BOARD ACTION, NOVEMBER 5, 2008:** On a motion by Dr. Fitzgerald, seconded by Mr. Smeallie, the Board voted to defer the application for further study. The Board also encouraged the applicant to meet with the neighbors again to discuss the project. The vote on the deferral was 6-0.

**REASON:** The Board expressed concerns about some of the alterations and encouraged the applicant to meet again with the neighbors to discuss the project. The Board discussed whether changes on the front elevation were appropriate since other townhouses on the block were unchanged, with mixed opinions. The Board was generally supportive of alterations for an addition and a dormer on the rear but expressed concern regarding the external elevator shaft.

**SPEAKERS:** Christine Leonard, project architect, spoke in support.

Don Templeman, 119 Princess Street, spoke in opposition.  
Allan Gruer, speaking for Dan Berenstein of 121 Princess Street, spoke in opposition.  
Rose Gruer, 111 Princess Street, spoke in opposition.  
Janice Forsyth, 115 Princess Street, spoke in opposition.  
Karl Svoboda, owner, spoke in support.  
Allan Gruer, 111 Princess Street, spoke in opposition.  
John Hynan, representing Historic Alexandria Foundation, spoke in opposition.

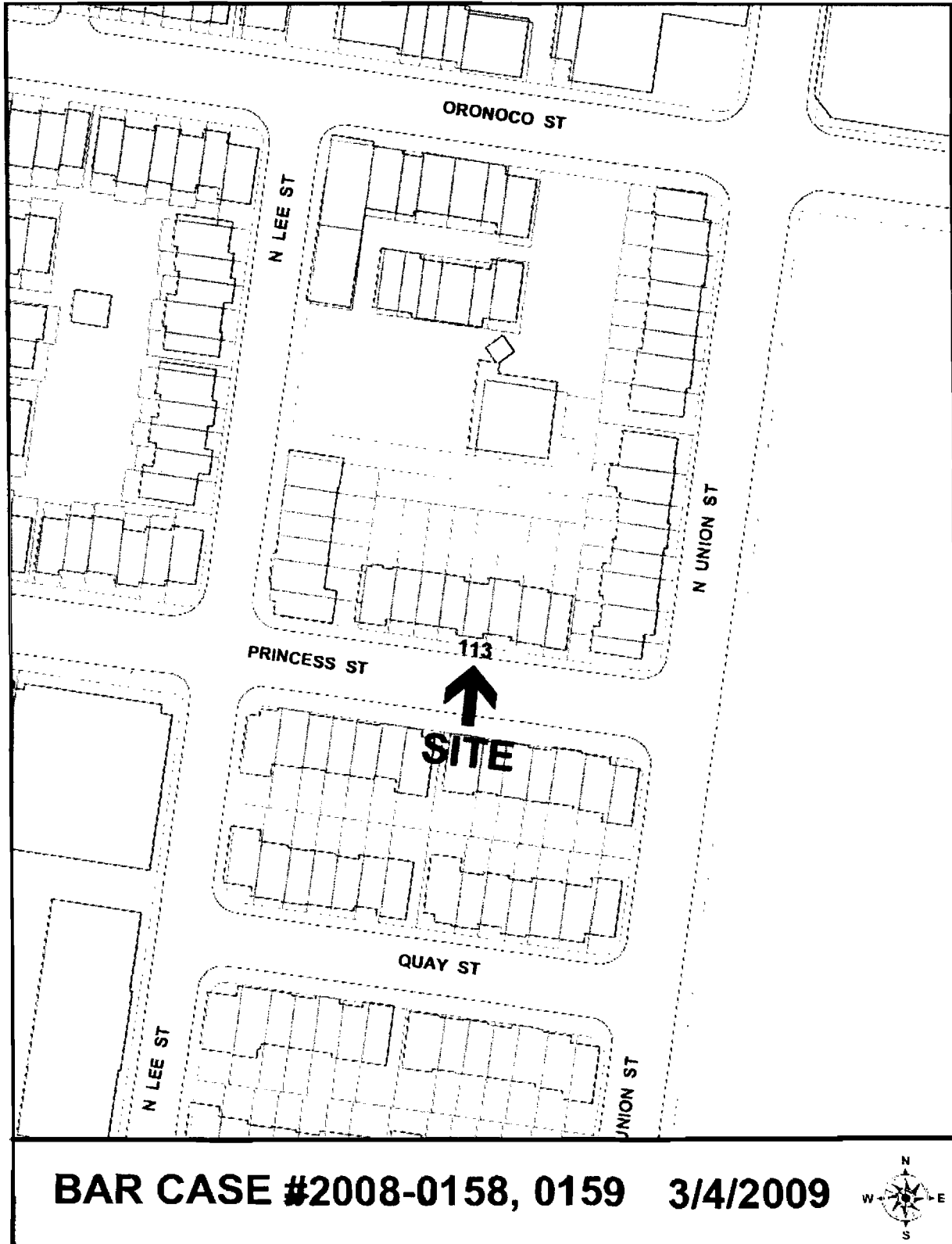
**BOARD ACTION, OCTOBER 1, 2008:** The Board combined docket item #'s 10 & 11 for discussion. On a motion by Mr. Spencer, seconded by Mr. Smeallie, the Board deferred the applications for restudy and encouraged the applicant to explore other options for the design of the proposed dormers and the rear addition and chimney. The Board also encouraged the applicant to meet with the neighbors to discuss the project. The vote on the deferral was 7-0.

**REASON:** The Board expressed concerns about the alterations, the style and size of the dormers, and encouraged the applicant to explore other design possibilities, as well as meet with the neighbors to discuss the project.

**SPEAKERS:** Christine Leonard, project architect, spoke in support  
Don Templeman, 119 Princess Street, spoke in opposition  
Allan Guer, 111 Princess Street, spoke with concerns  
Janice Forsyth, 115 Princess Street, spoke in opposition  
John Hynan, representing Historic Alexandria Foundation, spoke in opposition

**STAFF RECOMMENDATION:** Staff recommends approval of the application with the following conditions:

1. That the applicant install nightshades on the glass roof of the rear addition to control light spillage;
2. That all the proposed simulated divided light windows have exterior-applied muntins with interior spacer bars and match the muntin width of the existing windows;
3. That the windows and doors be all wood and not aluminum clad; and,
4. The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
  - a. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
  - b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.





Note: BAR Case # 2008-0158, for a Permit to Demolish/Capsulate, must be approved before this item may be considered.

UPDATE: At the public hearing on November 5, 2008, the Board voted to defer the application. Since that deferral, the applicant's architect, Christine Leonard, has met with Staff to review the Board's comments. In addition, Staff coordinated a meeting on December 18, 2008 between the applicant's architect and attorney and the neighbors who have expressed concern during this process. The applicant shared a revised scheme with the neighbors and requested additional feedback or comments from the neighbors. The current scheme represents revised plans to accommodate concerns expressed by both the Board and the neighbors.

Previously, the Board deferred the application for restudy at the October 1, 2008 hearing. After the first deferral, the applicant's architect, Christine Leonard, met with BAR Staff twice to review and address comments made by the Board and the neighbors. The revisions at this time included alterations to the front dormer, a reduction in size and changes to the proposed rear addition, and relocation of the elevator shaft. In addition, the applicant hosted an open house on October 30, 2008.

#### **I. ISSUE:**

The applicant is requesting approval of a Certificate of Appropriateness for an addition and alterations at 113 Princess Street.

#### **Front Alterations and Addition**

In the revised scheme, the applicant no longer proposes any alterations to the front elevation with the exception of window replacement. The applicant proposes to replace all the existing windows with six-over-six, simulated divided light, wood windows.

#### **Rear Addition and Alterations**

The applicant proposes to construct a two-story with basement addition measuring approximately 14' by 18' at the first story and 6' by 18' at the second story on the rear (north) elevation of the existing house. The existing house currently measures approximately 37' by 18'. Originally, the depth of the addition was proposed to be 16.5' but was reduced to 12' in the second revision. Also, the two previous proposals featured a one-story addition with an elevator shaft at the second story. The addition will be a sun room and will have double multi-light doors flanked by pairs of twelve-over-twelve, double-hung windows on the north elevation. The doors and windows are proposed to be aluminum clad and simulated divided light. The applicant proposes a glass shed roof on the first floor addition. The glass roof will have commercial grade structural aluminum with low-E insulated panel glass. The side elevations (east and west) will be all brick to match the existing house. The second-story of the addition is proposed to be smaller, extending 6' from the existing rear wall. The second story will have a pair of eight-over-eight, simulated divided light, double-hung wood windows. The exterior will be clad in a brick veneer to match the existing.

On the roof of the rear (north) elevation the applicant proposes a shed dormer. The dormer addition will extend approximately 13.5'. The dormer will have three eight-over-eight, double-hung, simulated divided light, wood windows. The shed dormer will have a standing seam metal roof to match the existing roof. The wood trim will be painted to match the existing trim on the house.

The applicant proposes to replace all the existing windows with simulated divided light wood windows, to match the existing light patterns, with the exception of the windows on the addition which are proposed to be aluminum clad rather than all wood.

## **II. HISTORY:**

The residential structure at 113 Princess Street is a three-story, three-bay brick townhouse with a front-loading garage. City records date the townhouse to 1970.

Staff could locate no prior Board approvals for this address.

## **III. ANALYSIS:**

The proposed addition and alterations comply with the zoning ordinance requirements.

During the past several years the Board has reviewed a number of substantial alterations and additions to the properties within this development that include the addition of bay windows at the second story and the addition of dormers at the roof on front elevations as well as rear additions and alterations. Staff finds that historic fabric is not lost to accommodate the alterations and that the proposed alterations are generally in keeping with the Colonial Revival style of these townhouses.

Staff finds the proposed revised addition alterations are appropriate and compatible. The *Design Guidelines* state that "the design of an addition should respect the heritage of the historic building to which it is attached as well as adjacent buildings....or which echo the design elements of the existing structure." Staff finds that the proposed rear addition is compatible with the architectural style, scale, mass and form of this townhouse and the surrounding area. While the proposed glass roof on the addition is not a traditional roof material in the historic district, Staff finds that it is acceptable in this circumstance as it will not be visible from the public right-of-way due to the 6' fence raised above the alley level at the rear of the property. To mitigate light spillage from the glass roof, Staff recommends that nightshades be installed. The second-story portion of the addition will be visible but Staff finds that the choice of material, brick to match the existing, contributes to its compatibility. Staff finds the proposed shed dormer on the rear elevation to be compatible with the character of the historic district.

Staff notes that, in previous submissions, the applicant proposed removing the existing chimney. The applicant has revised the application to retain the chimney.

The *Design Guidelines* recommend that: "...replacement windows should be appropriate to the historic period of the architectural style of the building." In this particular case, given the age of the townhouse and the fact that the existing six-over-six light configuration and 7/8" muntin profile will be retained, Staff does not object to the installation of double-insulated replacement

windows with simulated divided lights and spacer bars. However, Staff recommends that all the replacement windows and doors be all wood.

**IV. STAFF RECOMMENDATION:** Staff recommends approval of the application with the following conditions:

1. That the applicant install nightshades on the glass roof of the rear addition to control light spillage;
2. That all the proposed simulated divided light windows have exterior-applied muntins with interior spacer bars and match the muntin width of the existing windows;
3. That the windows and doors be all wood and not aluminum clad; and,
4. The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
  - a. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
  - b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

**V. CITY DEPARTMENT COMMENTS**

Legend: C - code requirement R - recommendation S - suggestion F- finding

**Code Enforcement**

- C-1 All exterior walls within 5 feet from an interior property line shall have a fire resistance rating of 1 hour, from both sides of the wall. As alternative, a 2 hour fire wall may be provided. This condition is also applicable to skylights within setback distance. Openings in exterior walls between 3 and 5 feet shall not exceed 25% of the area of the entire wall surface (This shall include bay windows). Openings shall not be permitted in exterior walls within 3 feet of an interior lot line.
- C-2 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to Code Enforcement that will outline the steps that will taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.
- C-3 Roof drainage systems must be installed so as neither to impact upon, nor cause erosion/damage to adjacent property.
- C-4 A soils report must be submitted with the building permit application.
- C-5 New construction must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-6 Additions and Alterations to the existing structure must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-7 Additions and Alterations to the existing structure and/or installation and/or altering of equipment therein requires a building permit. Five sets of plans, bearing the signature and seal of a design professional registered in the Commonwealth of Virginia, must accompany the written application. The plans must include all dimensions, construction alterations details, kitchen equipment, electrical, plumbing, and mechanical layouts and schematics.
- C-8 Construction permits are required for this project. Plans shall accompany the permit application that fully details the construction as well as layouts and schematics of the mechanical, electrical, and plumbing systems.
- C-9 Permission from adjacent property owners is required if access to the adjacent properties is required to complete the proposed construction. Otherwise, a plan shall be submitted to demonstrate the construction techniques utilized to keep construction solely on the referenced property.
- C-10 A wall location plat prepared by a land surveyor is required to be submitted to this office prior to requesting any framing inspection.

Historic Alexandria:

Approve.

Alexandria Archaeology:

**Archaeology Recommendations**

1. The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:

a. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.

b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

**Archaeology Finding**

F-1 Tax records indicate that houses were present on this street face by 1810. The Sanborn Insurance map depicts a cooper's shop, whiskey distillery, and African American residences on or adjacent to the lot by 1885. The property therefore has the potential to yield archaeological resources that could provide insight into residential, commercial, and industrial activities in 19<sup>th</sup>-century Alexandria. While the construction of the existing house on the lot undoubtedly caused disturbance to evidence of earlier occupation, there is a possibility that remnants of the past activities remain buried on the property.

Transportation and Environmental Services:

**FINDINGS**

F1. An approved grading plan may be required at the time of building permit application. Insufficient information has been provided to make that determination at this time.

In summary, City Code Section 8-1-22(d) requires that a grading plan be submitted to and approved by T&ES prior to the issuance of building permits for improvements involving:

- the construction of a new home;
- construction of an addition to an existing home where either
  - the addition exceeds the area of the existing building footprint by 100% or more;
  - or
  - the construction of the addition results in less than 50% of the existing first floor exterior walls, in their entirety, remaining;
- **changes** to existing grade elevation of 1-foot **or greater**;
- **changes to existing drainage patterns**;
- **land disturbance of 2,500 square feet or greater.**

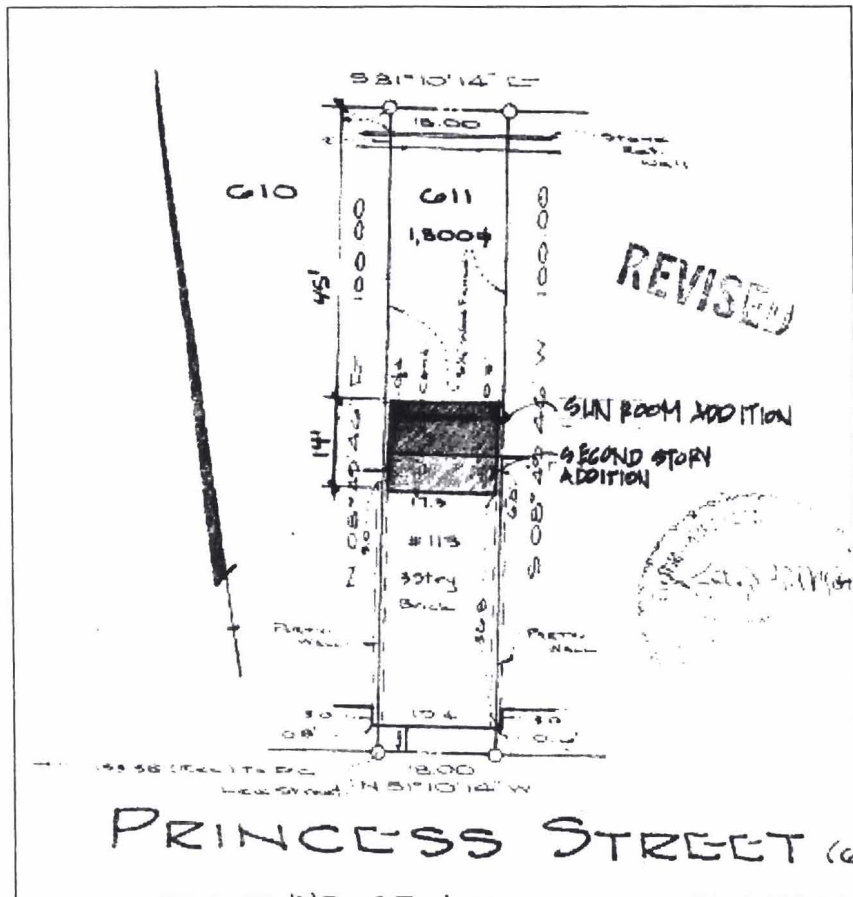
Questions regarding the processing of grading plans should be directed to the T&ES Site Plan Coordinator at (703) 838-4318. Memorandum to Industry No. 02-08 was issued on April 28, 2008 and can be viewed online via the following link.

**<http://alexandriava.gov/uploadedFiles/tes/info/gradingPlanRequirements.pdf>**

#### **RECOMMENDATIONS**

- R1. The building permit plans shall comply with requirements of City Code Section 8-1-22 regarding the location of downspouts, foundation drains and sump pumps. Refer to Memorandum to Industry dated June 18, 2004. [Memorandum is available online at the City web site under Transportation\Engineering and Design\Memos to Industry.]. (T&ES)
- R2. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R3. All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (T&ES)
- R4. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- R5. An erosion and sediment control plan must be approved by T&ES prior to any land disturbing activity greater than 2,500 square feet. (T&ES)
- R5. Compliance with the provisions of Article XIII of the City's zoning ordinance for stormwater quality control is required for any land disturbing activity greater than 2,500 square feet. (T&ES)

## VI. IMAGES



**Figure 1. Plat of 113 Princess Street showing location of proposed rear addition.**

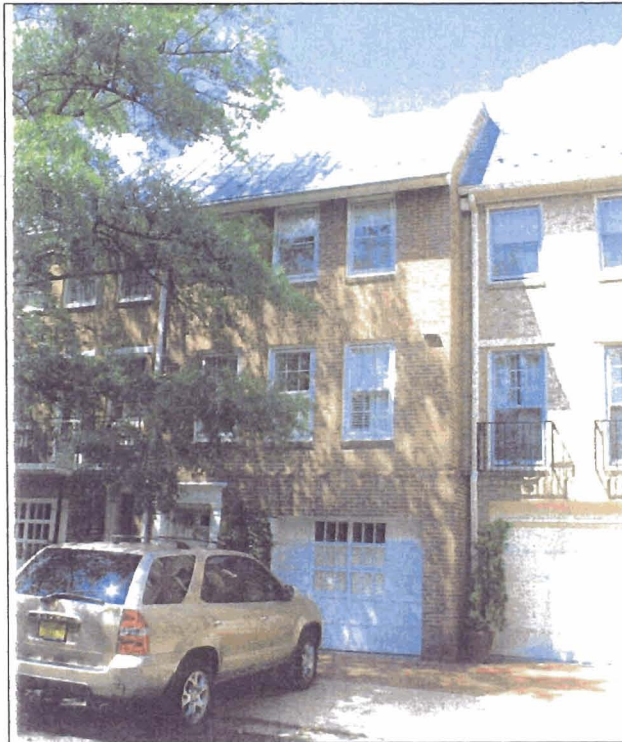


Figure 2. Front (south) elevation.



Figure 3. Rear (north) elevation.





Figure 4. Proposed front (south) elevation no alterations.

March 4, 2009



Figure 5. Proposed rear (north) elevation.

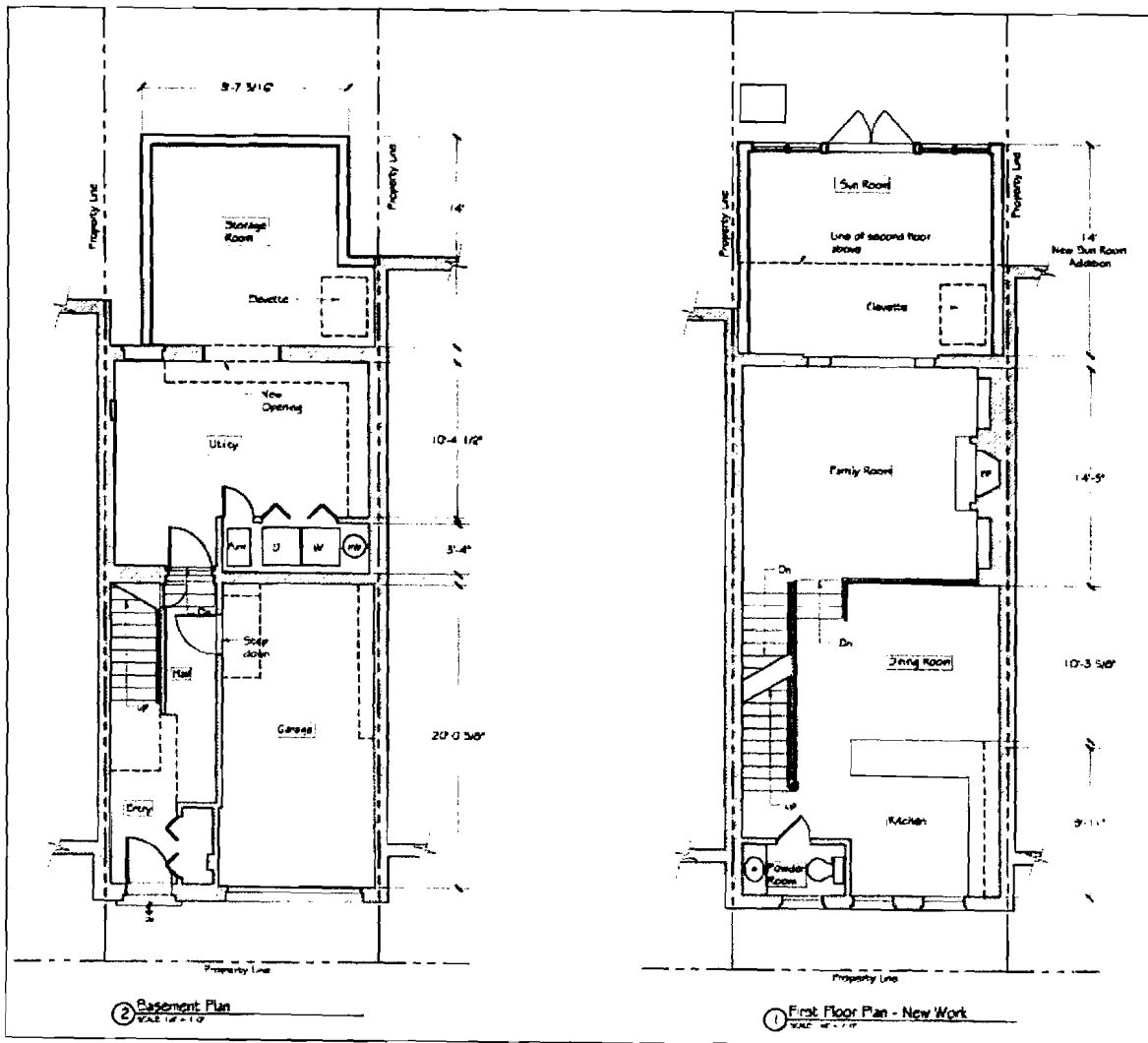


Figure 6. Proposed floor plans at basement and first floor.

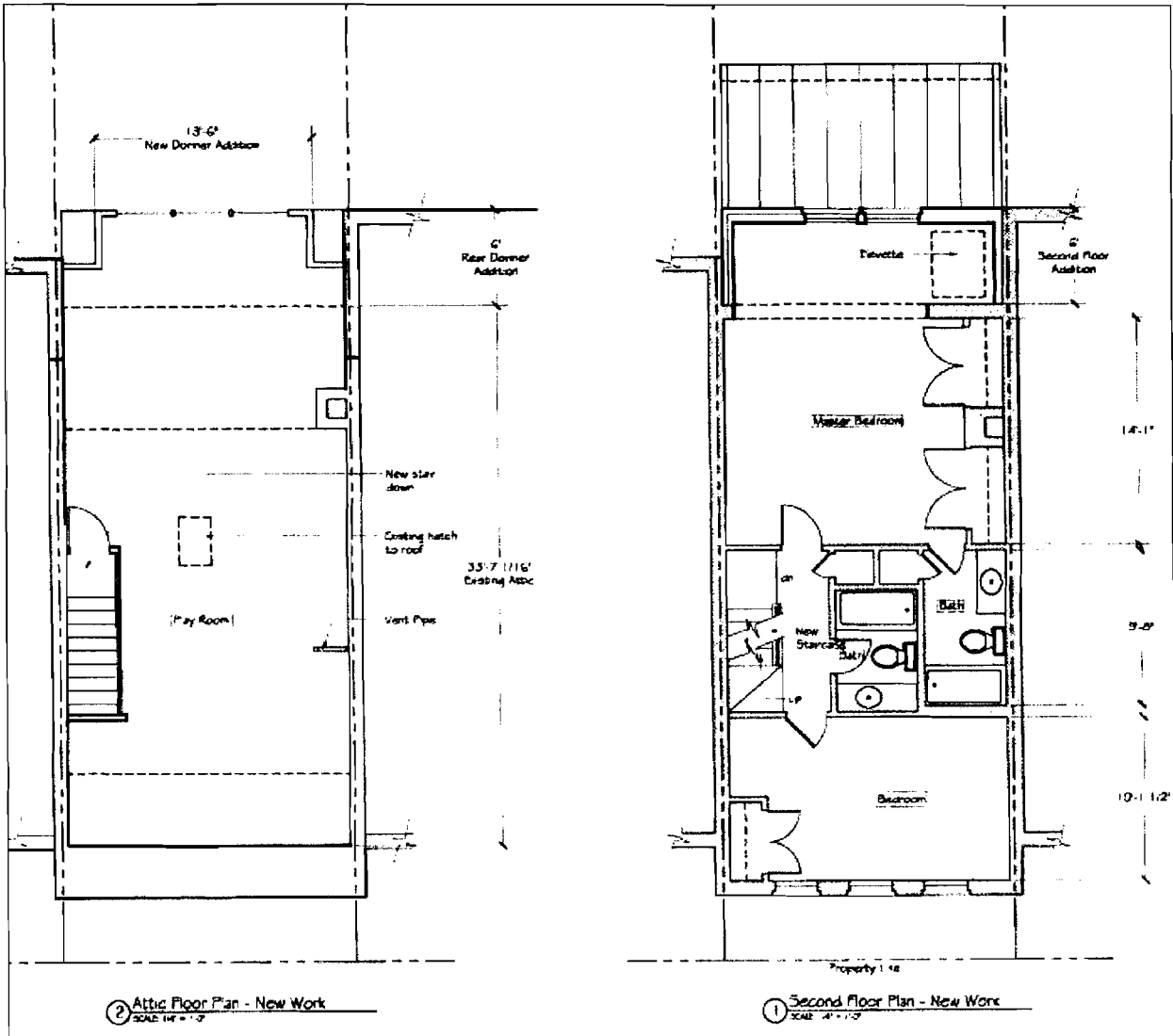


Figure 7. Proposed floor plans at second floor and attic.

March 4, 2009

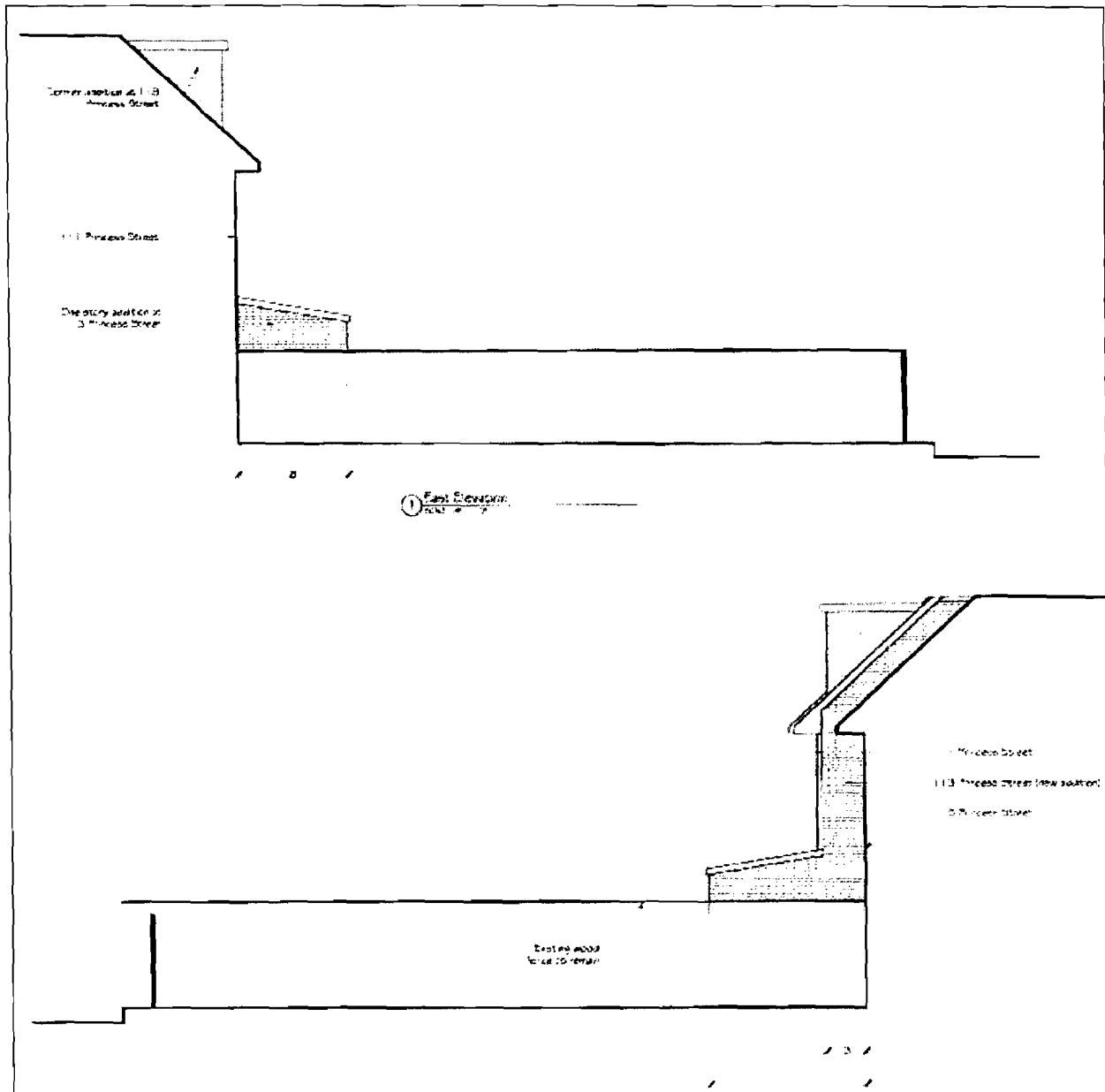


Figure 8. Proposed side (east and west) elevations.

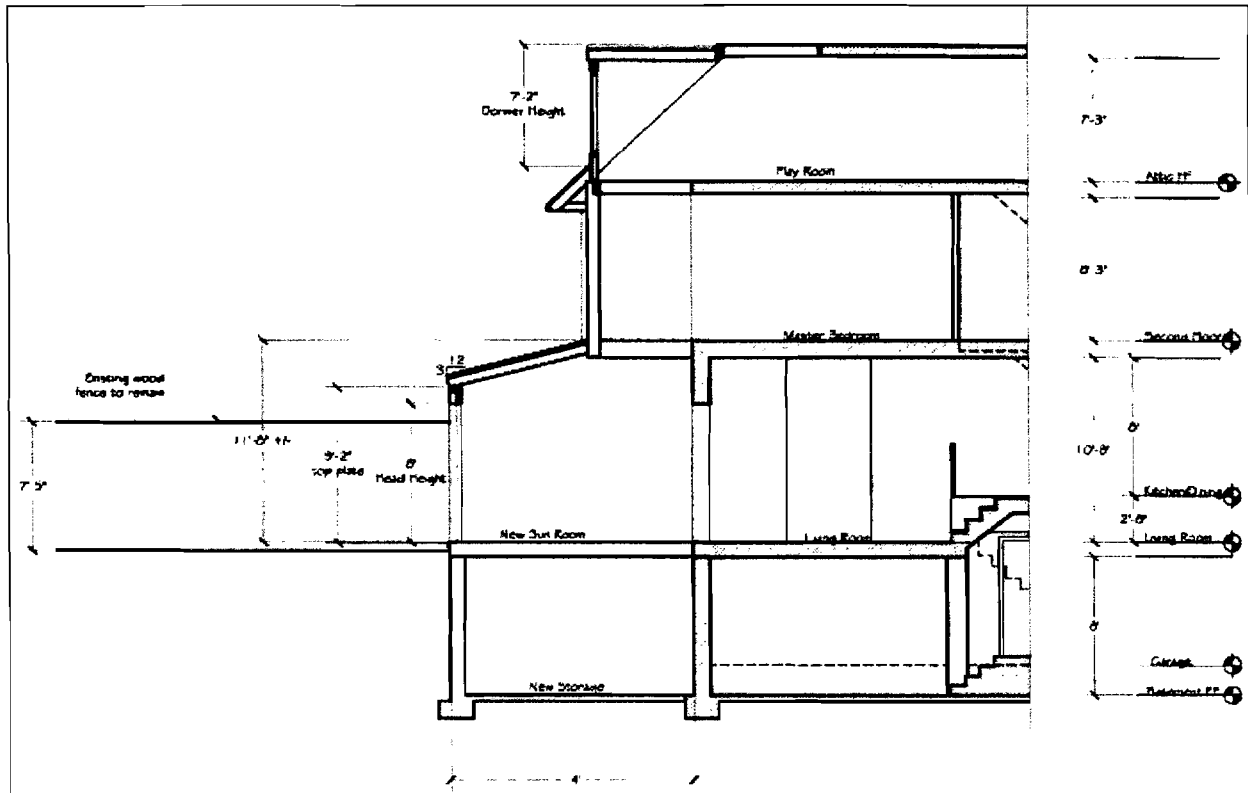


Figure 9. Section with proposed alterations.

## 1600 S.G. (Sloped Glazing)

PICTORIAL VIEW / GENERAL INFORMATION

JUNE, 2007

EC 97903-09

### APPLICATION

1600 S.G. is designed to accommodate three primary configurations. 1) Slopes integrated with vertical 1600 wall. 2) Slopes terminating on a curb or parapet wall. 3) Slopes applied to steel grid or part of a sloped roof. Outside or inside corners may be adapted to the first two configurations.

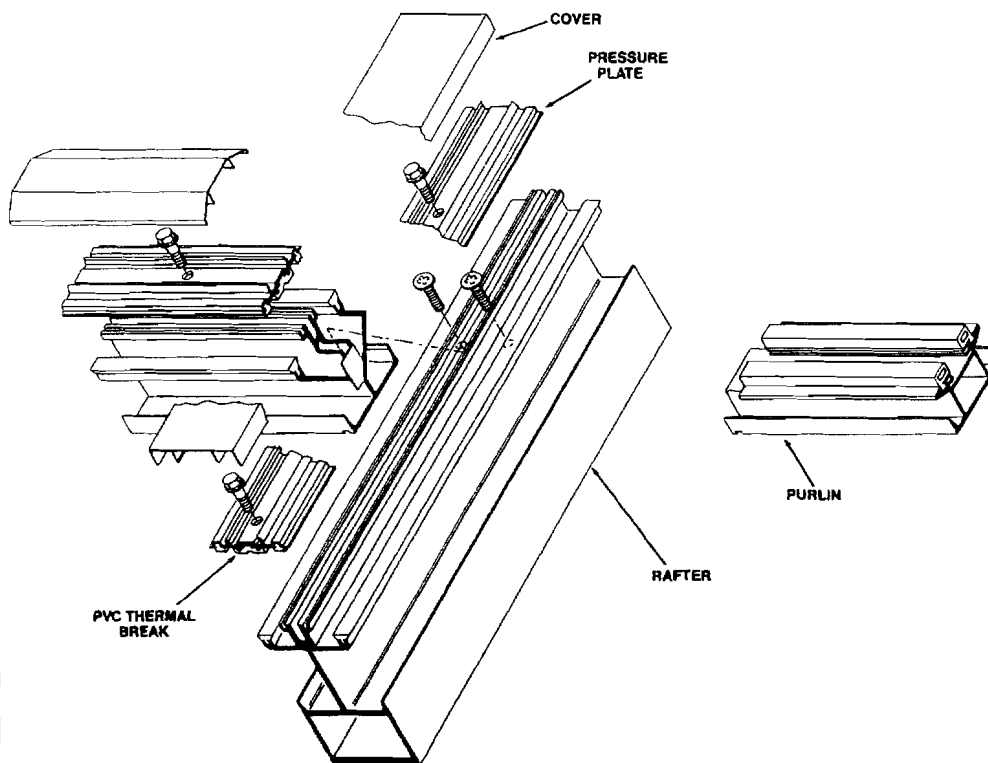
Standard members are shown in this section. Their use will result in the most economic application of the system. Deviations from the standard are possible but should be reviewed with your Kawneer representative.

### DEGREE OF SLOPE

Degree of slope is figured from the horizontal plane. Permitted slope angles are 15° to 60° inclusive.

### GLAZING

The system is designed to accept infills of  $\frac{3}{16}$ " to  $1\frac{1}{16}$ " made of either glass or polycarbonate materials. When plexiglass or lexan type glazing is used, manufacturers guidelines for glazing material, and maximum size must be consulted. Other infill thicknesses are possible but must be reviewed with your Kawneer representative.



Laws and building and safety codes governing the design and use of glazed entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.  
© Kawneer Company, Inc. 2007

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AN ALCOA COMPANY

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Figure 10. Specification for proposed glass roof.

## ATTACHMENT 4

*10-105 Matters to be considered in approving certificates and permits.*

**(A) Certificate of appropriateness.**

(1) *Scope of review.* The Old and Historic Alexandria District board of architectural review or the city council on appeal shall limit its review of the proposed construction, reconstruction, alteration or restoration of a building or structure to the building's or structure's exterior architectural features specified in sections 10-105(A)(2)(a) through (2)(d) below which are subject to view from a public street, way, place, pathway, easement or waterway and to the factors specified in sections 10-105(A)(2)(e) through (2)(j) below; shall review such features and factors for the purpose of determining the compatibility of the proposed construction, reconstruction, alteration or restoration with the existing building or structure itself, if any, and with the Old and Historic Alexandria District area surroundings and, when appropriate, with the memorial character of the George Washington Memorial Parkway, including the Washington Street portion thereof, if the building or structure faces such highway; and may make such requirements for, and conditions of, approval as are necessary or desirable to prevent any construction, reconstruction, alteration or restoration incongruous to such existing building or structure, area surroundings or memorial character, as the case may be.

(2) *Standards.* Subject to the provisions of section 10-105(A)(1) above, the Old and Historic Alexandria District board of architectural review or the city council on appeal shall consider the following features and factors in passing upon the appropriateness of the proposed construction, reconstruction, alteration or restoration of buildings or structures:

- (a) Overall architectural design, form, style and structure, including, but not limited to, the height, mass and scale of buildings or structures;
- (b) Architectural details including, but not limited to, original materials and methods of construction, the pattern, design and style of fenestration, ornamentation, lighting, signage and like decorative or functional fixtures of buildings or structures; the degree to which the distinguishing original qualities or character of a building, structure or site (including historic materials) are retained;
- (c) Design and arrangement of buildings and structures on the site; and the impact upon the historic setting, streetscape or environs;
- (d) Texture, material and color, and the extent to which any new architectural features are historically appropriate to the existing structure and adjacent existing structures;
- (e) The relation of the features in sections 10-105(A)(2)(a) through (d) to similar features of the preexisting building or structure, if any, and to buildings and structures in the immediate surroundings;
- (f) The extent to which the building or structure would be harmonious with or incongruous to the old and historic aspect of the George Washington Memorial Parkway;
- (g) The extent to which the building or structure will preserve or protect historic places and areas of historic interest in the city;
- (h) The extent to which the building or structure will preserve the memorial character of the George Washington Memorial Parkway;
- (i) The extent to which the building or structure will promote the general welfare of the city and all citizens by the preservation and protection of historic interest in the city and the memorial character of the George Washington Memorial Parkway; and



(j) The extent to which such preservation and protection will promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage and making the city a more attractive and desirable place in which to live.

(B) *Permit to move, remove, capsule or demolish in whole or in part buildings or structures.* The Old and Historic Alexandria District board of architectural review or the city council on appeal shall consider any or all of the following criteria in determining whether or not to grant a permit to move, remove, capsule or demolish in whole or in part a building or structure within the Old and Historic Alexandria District.

- (1) Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?
- (2) Is the building or structure of such interest that it could be made into an historic shrine?
- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
- (4) Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?
- (5) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?
- (6) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage and making the city a more attractive and desirable place in which to live?
- (7) In the instance of a building or structure owned by the city or the redevelopment and housing authority, such building or structure having been acquired pursuant to a duly approved urban renewal (redevelopment) plan, would retention of the building or structure promote the general welfare in view of needs of the city for an urban renewal (redevelopment) project?

## CHAPTER 4

# DEMOLITION OF EXISTING STRUCTURES

### INTRODUCTION

The demolition of any structure, either in whole or in part, in the historic districts, **regardless of visibility from a public way**, requires the approval of a Permit to Demolish by the Boards of Architectural Review.

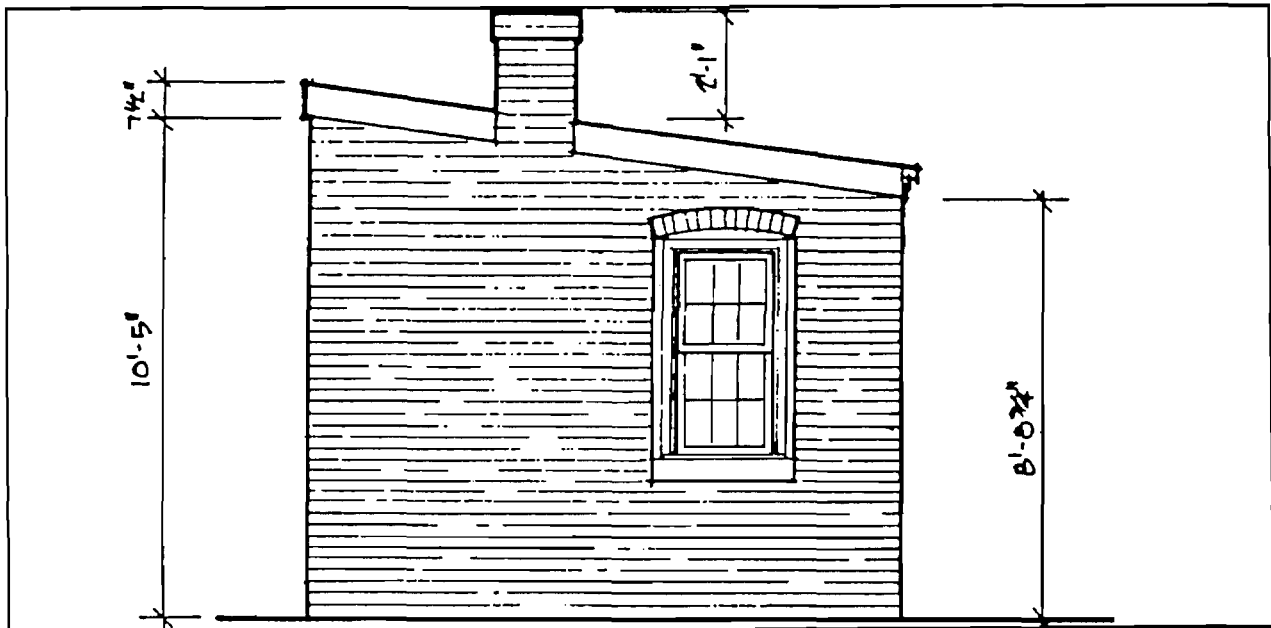
The Boards are extremely conscious of the need to preserve the existing building resources of the historic districts. At the same time, the Boards are also sympathetic to the needs of building owners to make contemporary 20th century use of a property. It is the policy of the Boards that the absolute minimum demolition of an existing structure should take place. For example, in the case

of an addition to the rear of a property, the Boards prefer that the amount of demolition be limited to that necessary to accommodate access to the addition rather than wholesale demolition and replacement of the rear facade.

Because approval of the demolition of an existing structure, in whole or in part, is such an important decision, the action of the Boards on such requests requires a roll call vote of each member.

### REQUIREMENTS

- The demolition of an existing structure must meet the requirements of the Uniform Statewide Building Code (USBC).
- Demolition of an existing structure requires the issuance of a permit by Code Enforcement (USBC §105.1).
- If asbestos is present, an asbestos permit is required in addition to a building permit. Certain exemptions apply.



*Example of a record drawing including measurements required as part of the approval of a demolition of a rear addition.*

SOURCE: 125 South Payne Street, BAR Case #92-86, Richard C. Bierce, AIA, Historic Architect

- A building permit for demolition will not be issued until services to the building including gas, electric, water and sewer have been disconnected. In addition to the Boards of Architectural Review, approvals must be obtained from the Traffic and Health departments.

- Demolition of an existing structure, in whole or in part, requires approval of a separate Permit to Demolish by the Boards of Architectural Review in addition to approval of a certificate of appropriateness for an addition or new construction.

- Removal of less than 25 square feet of an exterior wall, roof or other exterior surface is not considered demolition. Such removal is considered to be an alteration. (§ 10-103 (B) and § 10-203(B) of the Zoning Ordinance).

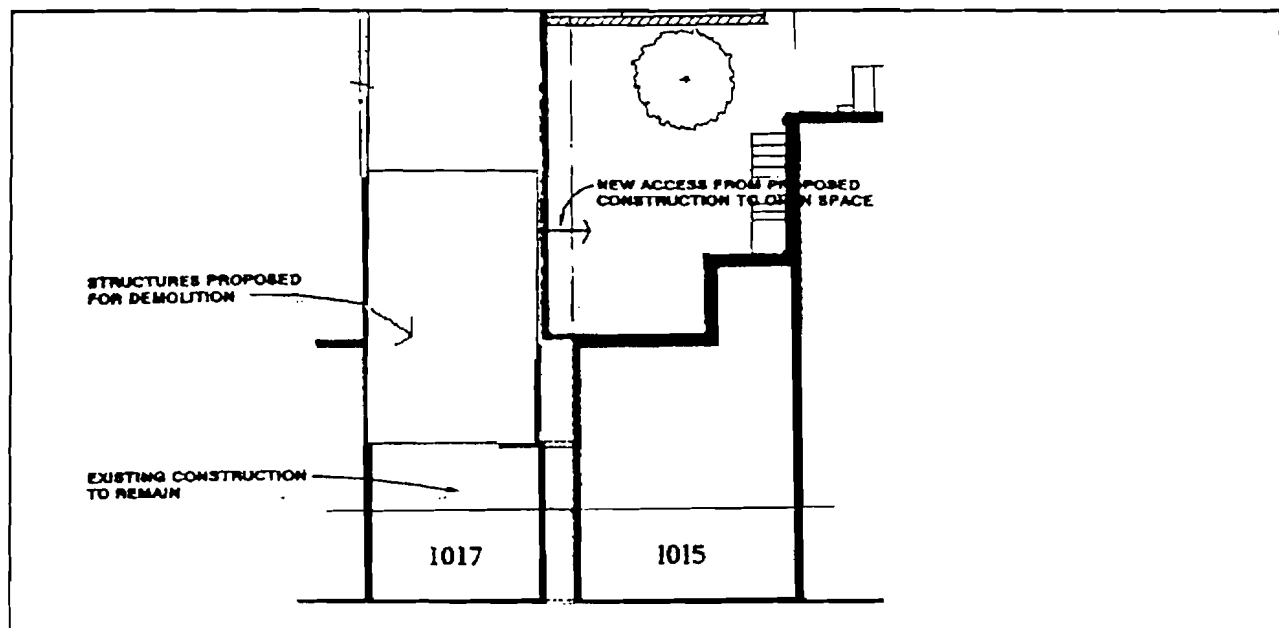
- Demolition of an existing structure which involves land disturbance of 2,500 square feet or more must comply with the requirements of the Chesapeake Bay Protection Ordinance. Information on this requirement may be obtained from the City Engineer. (Telephone: 703/838-4328)

- If the Boards deny a Permit to Demolish, the decision can be appealed to City Council.

- An owner may demolish a property, following denial of a Permit to Demolish, if the building is offered for sale for a specified period of time and no bona fide offer to purchase the property is made during the specified time period. The period of time for which the building has to be offered for sale varies from 3 months, when the offering price is less than \$25,000, to one year when the offering price is \$90,000 or more. (§ 10-108 and § 10-208 of the Zoning Ordinance).

## GUIDELINES

- Generally speaking, there must be a compelling reason for the demolition, either in whole or in part, of a significant structure in the historic districts. The Boards actively seek to retain the existing historic fabric of the historic districts and strongly discourage the demolition of any portion of an 18th or early 19th century structure.



*Demolition plan for the rear addition to an existing structure.*

SOURCE: 1017 Duke Street, BAR Case #90-73, John E. McKean, AIA, Architect (Altered)

**Criteria for demolition in the Old and Historic Alexandria District and for 100-Year Old Buildings:**

- (1) Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?
- (2) Is the building or structure of such interest that it could be made into an historic shrine?
- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
- (4) Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?
- (5) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?

- (6) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage and making the city a more attractive and desirable place in which to live?
- (7) In the instance of a building or structure owned by the city or the redevelopment and housing authority, such building or structure having been acquired pursuant to a duly approved urban renewal (redevelopment) plan, would retention of the building or structure promote the general welfare in view of needs of the city for an urban renewal (redevelopment) project? (§ 10-105(B) of the Zoning Ordinance)

**Criteria for demolition in the Parker-Gray District:**

- (1) Is the building or structure of such architectural or historic interest that its removal would be to the detriment of the public interest?
- (2) Is the building or structure of such interest that it could be made into an historic shrine?
- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
- (4) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?

- (5) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage and making the city a more attractive and desirable place to live?
- (6) Would retention of the building or structure help maintain the scale and character of the neighborhood? (§ 10-205(B) of the Zoning Ordinance)

- In some instances, the Boards may require a structural analysis of the building by a licensed professional engineer in order to make an informed decision regarding the structural integrity of a building before making a decision on the application for a Permit to Demolish.

#### Determination of Significance

If a building which is considered to have significance in the historic districts is to be demolished, documentation will be required. The requirements for documentation are set forth in the Application Requirements section. A determination of a building's significance will be made by the B.A.R. Staff. The determination of significance will be based upon the following factors:

- All buildings and structures constructed prior to 1860 are significant and those historic portions must be documented.
- Buildings and structures which contribute to and may increase knowledge of the architectural and cultural history of Alexandria or the nation are significant and must be documented.
- Buildings which embody noteworthy craftsmanship or design features may be considered significant. In some instances, documentation may be limited to recordation of the significant features or details.
- Structures which are non-historic and not compatible with the historic and architectural character of the historic districts do not require a separate application for a Permit to Demolish. Structures falling within this category include inappropriate accessory buildings such as metal storage sheds and site improvements such as stockade and chain link fencing and planters. Demolition of such structures may be included in the application for a Certificate of Appropriateness for alterations. Staff of the Boards of Architectural Review will make the determination whether a structure is non-historic.
- If the site of the demolition of an existing structure is to remain vacant for a period of time, it should be landscaped and maintained.

## **APPLICATION REQUIREMENTS**

**All applications for approval of the demolition of an existing structure must contain the following information:**

#### **Alexandria Business License**

Proof of a valid Alexandria Business License is required at the time of application for contractors, subcontractors, architects, and designers.

#### **Plot Plan**

A plot plan accurately showing the extent of the proposed demolition is required.

#### **Reason for Demolition**

The application must clearly spell out the reason for the demolition and describe alternatives to demolition and why such alternatives are not considered feasible.

#### **Significant Buildings**

Buildings or structures that have been determined to be significant and which are to be demolished, in whole or in part, must be documented with a written history, measured drawings and photographs. The following documentation must be approved by the B.A.R. Staff and deposited in the Lloyd House Archives of the Alexandria Public Library prior to the approval of the building permit to demolish the structure.

#### **History of the Structure**

Buildings or structures that have been determined to be significant and which are to be demolished, in whole or in part, must be documented with a written history. At a minimum, this information must include date of construction and any major alterations, information about persons or events associated with the structure, general architectural characteristics and background on the designer or architect.

#### **Photographs of Existing Structure**

Clear record photographs of the existing structure are required. Both black and white and color photographs and their negatives are required. Photographic prints must measure at least 4" x 5".

### Measured Drawings

Measured drawings of a structure to be demolished must be made. The drawings must include floor plans and elevations at a minimum scale of 1/4" = 1'. Details may be required in some cases. Drawings may be in pencil or ink on vellum or mylar on a sheet with maximum dimensions of 30" x 42".

### All Other Buildings and Structures

Buildings which are compatible but are not considered to meet the criteria of significance are not required to be documented with measured drawings. However, photographs and a building plat are required.

NOTE: Illustrations are provided for information only. Applications for Permits to Demolish are reviewed and approved on a case-by-case basis.

ADOPTED BY THE BOARDS OF  
ARCHITECTURAL REVIEW, 5/25/93

### ARCHAEOLOGICAL CONSIDERATIONS

The demolition of a structure in whole or in part may affect archaeological resources. With its rich history, the City of Alexandria is particularly concerned about its archaeological heritage. Archaeological resources in the historic districts are great in number and highly diverse in materials. They often consist of ceramic and glass fragments in the backyards of historic properties; however, archaeological resources are also brick-lined shafts in yards and basements; brick kilns; foundations, footings, postholes and builders trenches of non-extant buildings; landscape features such as walkways and gardens; and even American Indian artifacts which pre-date colonial Alexandria. Often these clues to the City's past appear to be unimportant debris; yet when the artifacts and building remains are excavated and recorded systematically, they provide the only knowledge of lost Alexandria.

Every application to the B.A.R. which potentially involves ground disturbance is reviewed by city Archaeologists to determine whether significant archaeological resources may still survive on the property. Therefore, the potential for additional requirements to protect archaeological resources exists with any project that involves ground disturbing activities.

The applicant can speed along the archaeological review process by requesting a Preliminary Archaeological Assess-

ment from Alexandria Archaeology at the earliest date. Call (703) 838-4399, Tuesday through Saturday, 9am to 5pm. Alexandria Archaeology is located on the third floor of the Torpedo Factory Art Center.

#### • RESIDENTIAL ZONES

In residential zones, the application for the demolition of a structure in whole or in part that involve ground disturbing activities is reviewed by City archaeologists. In most cases, the applicant is required to notify Alexandria Archaeology before ground disturbance, so that a City archaeologist may monitor this work and record significant finds. However, when a property has a high potential for containing significant archaeological resources, a City archaeologist may request permission to excavate test samples in the affected area before the project begins.

#### • COMMERCIAL ZONES

In commercial zones and residential projects involving the construction of three or more houses, the ground disturbing activities associated with the demolition of existing structures in whole or in part may necessitate compliance with the Alexandria Archaeological Protection Procedure (§ 11-411 of the Zoning Ordinance). The specific requirements may be obtained from the City Archaeologist. Occasionally, compliance in such projects may require the property owner to contract with an independent archaeologist to document conditions before and during construction. Property owners should contact the City Archaeologist as early as possible so that there are no project delays.

## CHAPTER 5

# ADDITIONS - RESIDENTIAL

### INTRODUCTION

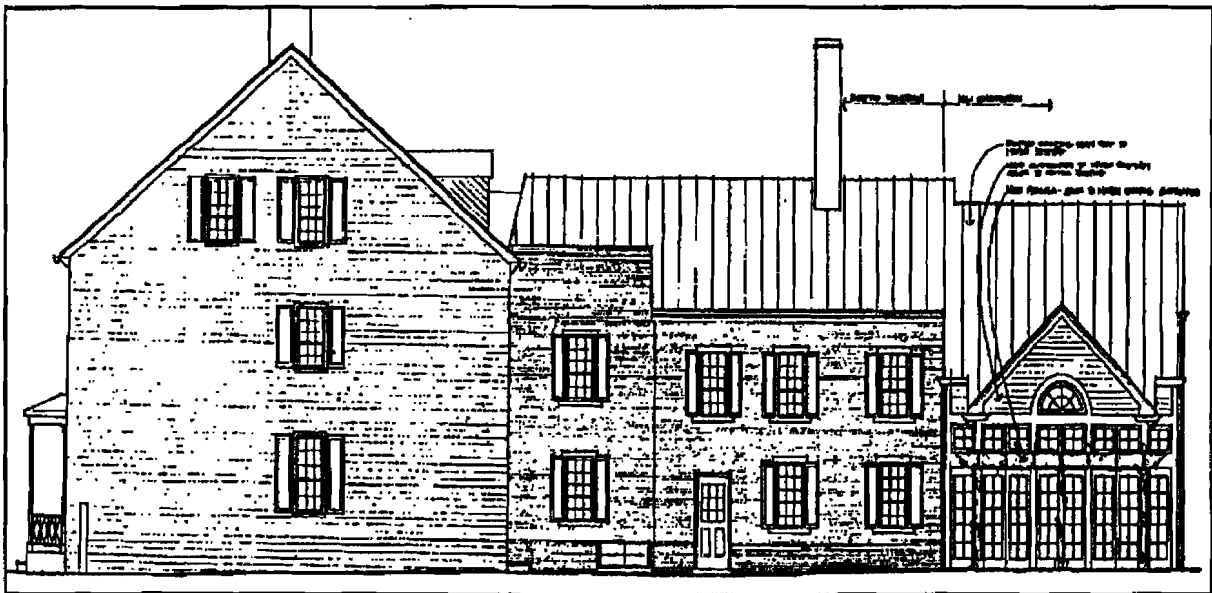
The construction of additions to residential buildings that are visible from a public way require the review and approval of a certificate of appropriateness by the Boards of Architectural Review.

The character of the historic districts is primarily defined by its residential structures. Such structures range in age from before the founding of the city in 1749 to the present day. Expansion of the housing stock within the historic districts is continual and since the founding of the Board of Architectural Review in 1946, the approval of the design of new residential buildings and additions has been one of the primary concerns. These guidelines are intended to provide information to property owners about the

Boards' philosophy for the design of additions to existing residential buildings.

These guidelines apply to additions to existing residential buildings that lie outside of the waterfront area or which do not front on Washington Street. Residential additions in those areas must meet additional requirements which are set forth in the Guidelines for Washington Street and the Guidelines for the Waterfront. The waterfront area is defined in the Zoning Ordinance as Height District #3, Potomac River, whose boundaries are east of Union Street to the River and extend from Pendleton Street south to the Woodrow Wilson Bridge (§6-400 of the Zoning Ordinance).

The guidelines should be viewed as a distillation of previously accepted design approaches in the historic districts. The guidelines should not be viewed as a device that dictates a specific design response nor should the guidelines be viewed as prohibiting a particular design approach. There may be better ways to meet some design objectives that have not been reviewed by the Boards in the past. New and untried approaches to common design problems are encouraged and should not be rejected out of



*Rear addition to a ca. 1786 residence maintains the general house form, but makes use of traditional materials in a contemporary style.*

SOURCE: 212 South Fairfax Street, BAR Case #91-206, Bowie Gridley Architects



hand simply because they appear to be outside the common practices outlined in the guidelines.

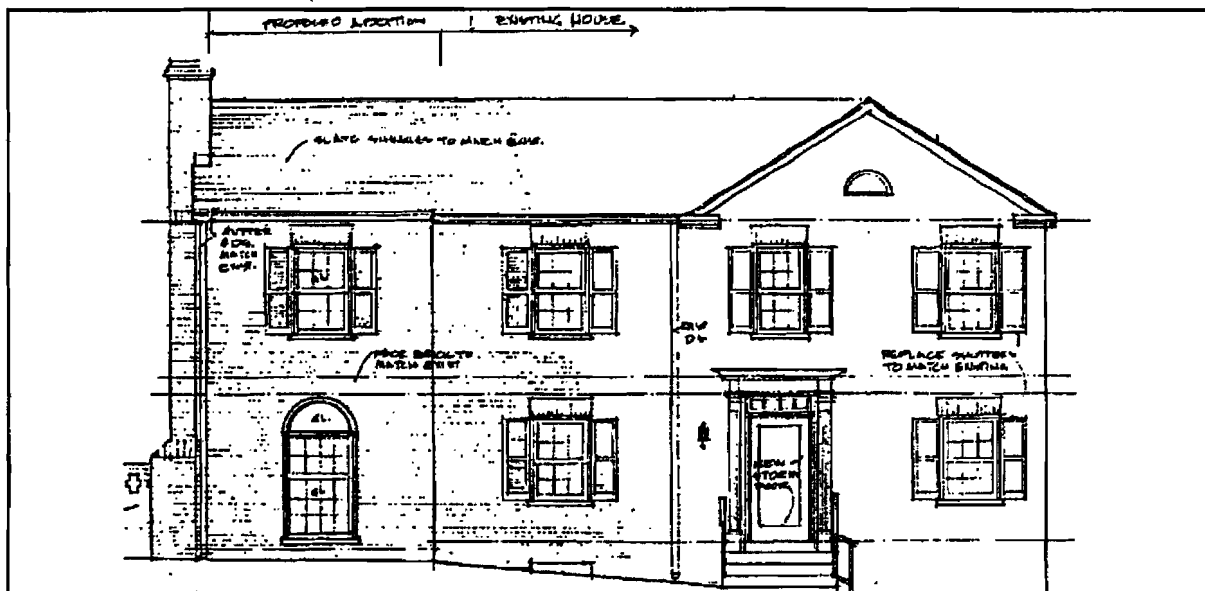
As a general rule, the stylistic characteristics of additions to residential buildings should reflect the historical architectural styles found within the historic districts. Because of the long history and diversity of architectural styles in Alexandria, the Boards do not consider this a limiting factor. It is the strong preference of the Boards that architectural elements of particular styles not be mixed and matched on the same addition. For example, Victorian windows and surrounds should not be combined with a Federal style cornice on an addition.

Architectural styles in Alexandria have been more conservative than in other parts of the country. The approvals of the Boards have reflected this since the establishment of the historic districts. As a general rule, the Boards favor contextual background buildings which allow historic structures to maintain the primary visual importance. Singular buildings in the latest architectural vocabulary are generally discouraged.

It is not the intention of the Boards to dilute design creativity in residential additions. Rather, the Boards seek to promote compatible development that is, at once, both responsive to the needs and tastes of the late-20th century while being compatible with the historic character of the districts. This balancing act will clearly be different in different sections of the historic districts. For example, the design approach for residential additions for late-18th and early-19th century buildings on Royal Street will be different than for 20th century urban rowhouses on Oronoco Street. Additions must be designed so that they are compatible with both the architectural character of the existing house and the immediate neighborhood.

These guidelines should be used in conjunction with the guidelines for specific architectural elements contained in Chapter 2. For example, that chapter contains information on such topics as window and door treatments, siding and chimneys and flues which must be appropriately combined to create a building that is compatible with the architecture in the districts.

While the mandate of the Boards is for the review of those portions of a property visi-



*Rear addition for a townhouse in Yates Garden uses the same design vocabulary as found on the main structure.*

SOURCE: 723 South Royal Street, BAR Case #91-77, Dennis Roach, designer

ble from a public way, in certain instances it may be necessary to review portions of a project which may not be readily visible from a public way where such portions effect the scale, mass or design of those portions visible from a public way.

It is the policy of the Boards not to review conceptual design plans. The Boards strongly prefer to review complete design submissions. In order to ensure that applications will meet this requirement, applicants are encouraged to meet with B.A.R. Staff as early as possible during the design development stage to review proposals and zoning requirements.

## REQUIREMENTS

- All applications for additions to existing residential structures must comply with the requirements of the zoning regulations prior to consideration by the Boards of Architectural Review. The specific requirements may be obtained from the Zoning Administrator (703/838-4688).

- Side, rear and front yard requirements  
Additions must be removed a certain num-

ber of feet from a property line regardless of the location of the existing building. This setback will depend upon the specific zone.

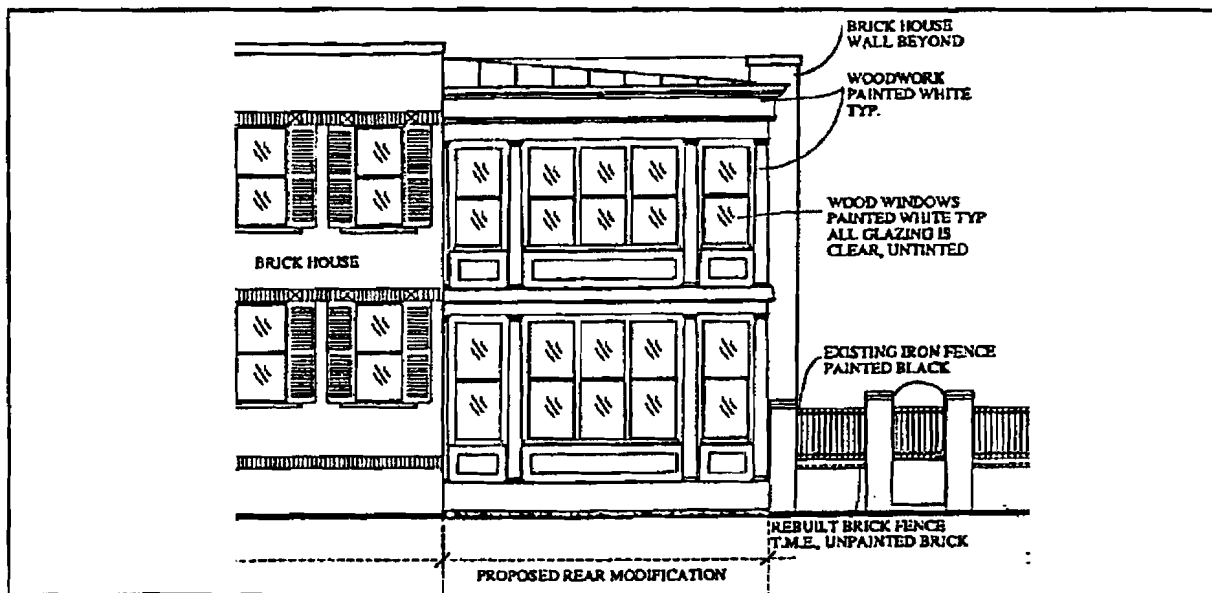
- Open space requirements

A certain amount of land must be maintained as open space to ensure adequate light and air, absorb water runoff and help prevent the spread of fire. The amount of open space required varies by zone. Driveways and parking areas cannot be used to satisfy the open space requirement.

As a general rule, land under a covering such as a canopy, roof, eave, or deck may not be counted as part of the required open space.

- Vision clearance

There is a general City requirement that buildings on corner lots must maintain a vision clearance at the corner for purposes of transportation safety. In such instances, structures may be no higher than 42" (3' 6") above the curb. There is also a general policy to maintain the average front building line in the historic districts. Therefore, the Zoning Ordinance gives the Boards of Architectural Review the power to waive this requirement as well as other yard require-



*Rear two story addition uses compatible traditional materials in a contemporary manner to create a differentiation with the existing 20th century residence.*

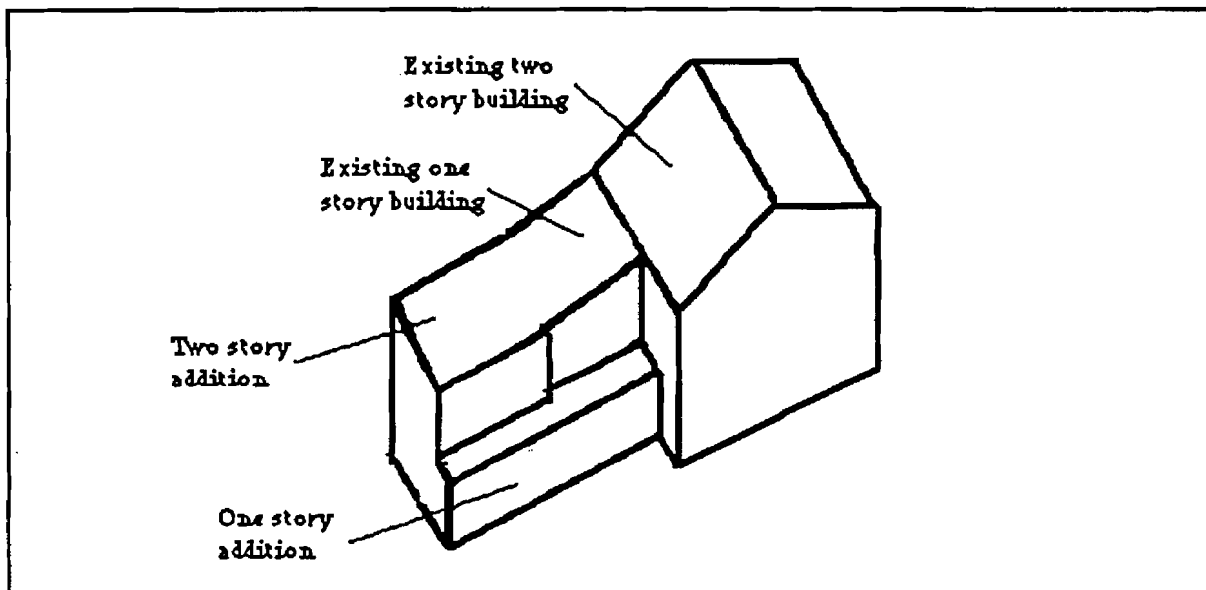
SOURCE: 230 South Fairfax Street, BAR Case #89-115, Robert Holland, architect

ments in the vision clearance area where the maintenance of the building line is important to the character of the blockface.

- Generally speaking, building height for residential construction is limited to 35 feet but may be increased in certain zones to 45 feet with approval of a Special Use Permit by City Council.
- The addition cannot result in the total building exceeding the current Floor Area Ratio (F.A.R.) of the applicable zone.
- Additions to multi-family residential structures which exceed one-third of the gross floor area of the existing structure or 3,000 square feet require the approval of a Site Plan by the Planning Commission (See §11-400 of the Zoning Ordinance). Information on Site Plan requirements may be obtained from the Site Plan Coordinator, Department of Transportation and Environmental Services, Room 4130, City Hall (Telephone: 703/838-4318).
- Additions to residential buildings which require the approval of a Site Plan must comply with the provisions of the Alexandria Archaeological Protection Procedure

(§11-411 of the Zoning Ordinance). The specific requirements may be obtained from the City Archaeologist, Alexandria Archaeology, 105 North Union Street, 3rd Floor. (Telephone: 703/838-4399).

- Construction of all additions to residential buildings must meet the requirements of the Virginia Uniform Statewide Building Code (USBC) and require the issuance of a building permit by Code Enforcement.
- Penetration of a wall located closer than 3' to the interior property line for purposes of installing a window or a vent opening is not permitted (USBC).
- Additions to residential buildings must conform to the requirements of the applicable small area chapter of the Master Plan. In the Old and Historic Alexandria District, the Small Area Plan chapters include Old Town, Old Town North, Northeast and Potomac Yard/Potomac Greens. In the Parker-Gray District, the Small Area Plan chapters are Braddock Road Metro Station and Northeast.
- Tree removal for construction of additions to residential buildings requires prior



*Isometric drawing showing massing of proposed rear addition.*

SOURCE: 318 North Alfred Street, BAR Case #92-67, John Savage, Architect, P.C. (re-drawn)

approval of the City Arborist.

- Construction of additions to residential buildings on lots which involve ground disturbance of 2,500 square feet or more of land area must comply with the requirements of the Chesapeake Bay Protection Ordinance.

## GUIDELINES

- Applicants should consult Chapter 2, Building Alterations, regarding guidelines for specific elements of a proposed addition. For example, Chapter 2 provides information on compatible window treatments, paint colors and building materials.

- Style

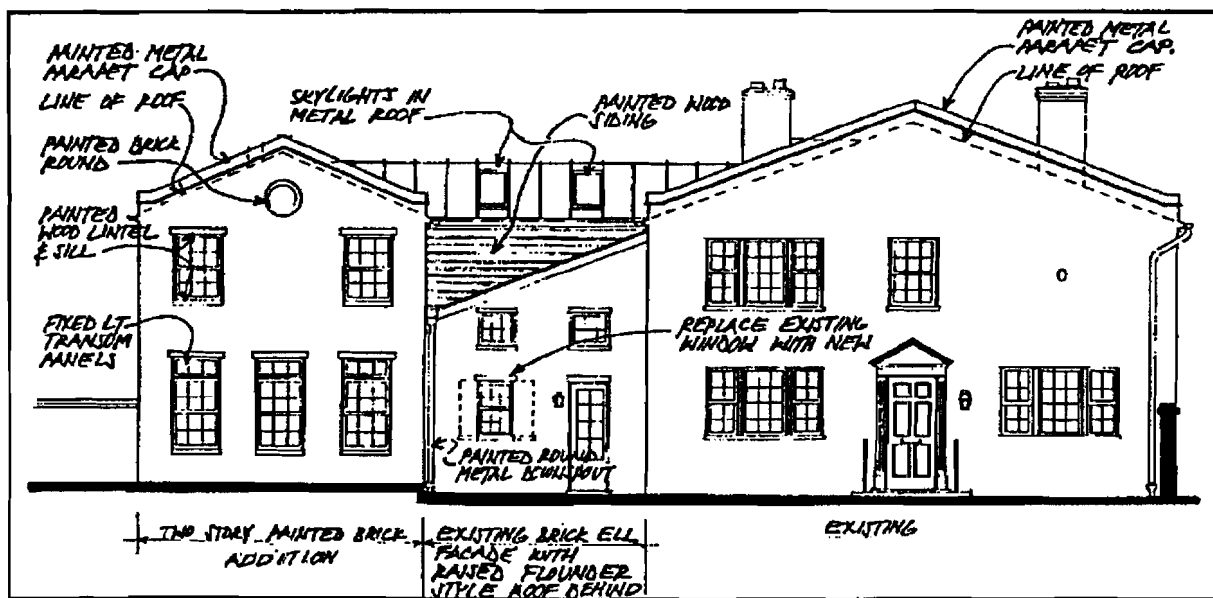
No single architectural style is mandated. The design of an addition should respect the heritage of the historic building to which it is attached as well as adjacent buildings. The Boards generally prefer addition designs that are respectful of the existing structure and which seek to be background statements or which echo the design elements of the existing structure.

Respectful additions make use of the design vocabulary of the existing historic structure. For example, an academic or high-style design solution for an addition to a vernacular historic building is often inappropriate. Imitative additions, likewise, make extensive use of the architectural characteristics of the original building.

Another approach to a design for a residential addition is one which creates a distinct yet compatible contrast with the original building through the use of differing materials, colors and the abstraction of the principal design elements of the original building.

- Differentiation

An addition to a historic building should be clearly distinguishable from the original structure. An addition should not obscure or dilute the architectural and historic importance of an existing building by creating a false sense of the past. To create a differentiation between the existing building and an addition, different traditional materials can be utilized. For example, a wood addition would be appropriate for an existing brick residential structure. In addition, changes in the same building material can be used to create differentiation. For example, a slight



Rear ell addition is sited to retain the roofline and footprint of an existing historic structure.  
SOURCE: 307 Queen Street, BAR Case #92-147, Burns & Associates, Architects

change in the brick color or size could differentiate an addition from an existing building. Offsetting the footprint of the addition to break the wall plane of the existing building can also be used as a means of creating a differentiation between the old and the new.

- **Height**

The height of an existing building can be increased with an addition.

- **Single family houses**

The majority of single family houses in the historic districts are 2 or 3 stories in height. Additions to increase the height should reflect this traditional pattern. Therefore, additions to single family houses should add no more than one floor to the roofline of an existing structure and then only if the significant architectural character of the house and blockface are preserved.

- **Multi-family structures**

Multi-family structures such as apartment buildings often exceed the prevailing height of single family houses. Additions which increase the height of such structures should not adversely impact the light and air of nearby residential properties.

- **Massing**

Building massing is the enclosed volume which constitutes a building's exterior form. In the historic districts, residential additions should reflect the building massing prevailing along the blockface. For example, uneven massing should be avoided along a blockface which has buildings of uniform massing.

- **Form**

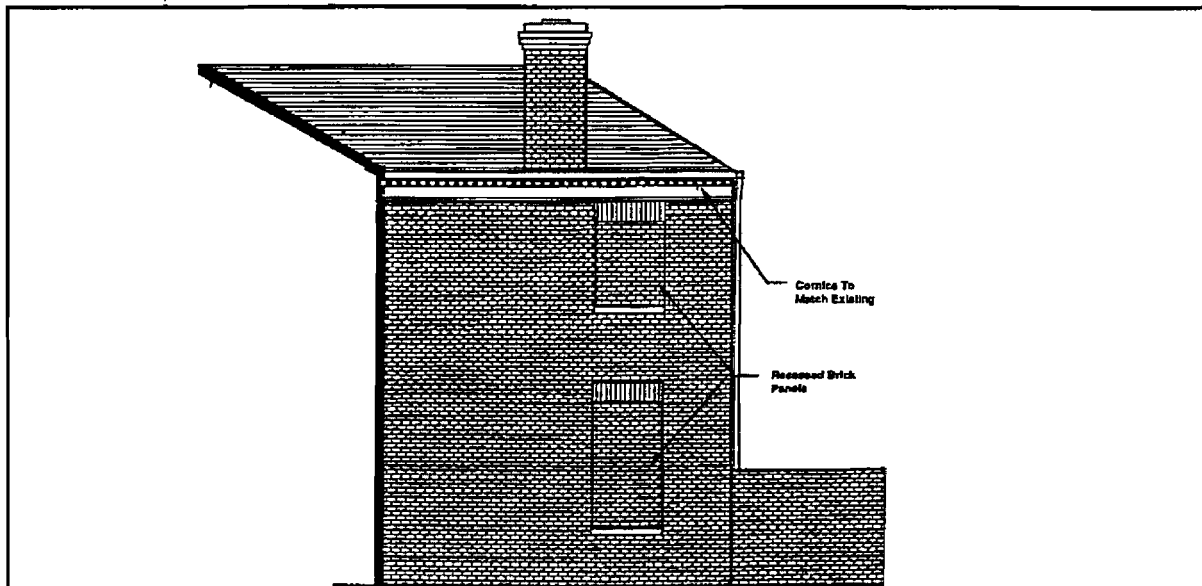
Form expresses the prevailing shape of a residential building. Generally, additions to residential structures should not overwhelm the existing structure or neighboring buildings. The existing form of a residential building should generally be retained in the expression of the addition.

- **Siting**

Front, side and rear yard setbacks should reflect the prevailing pattern in the immediate vicinity of the proposed addition.

- **Fenestration**

The fenestration pattern, i.e. the relationship of solid to void, such as windows, doors, and walls, should be compatible with the fenestration pattern on the existing structure. In certain instances, a change in the fenestration



*False windows provide visual relief of the apparent mass of the side elevation of an addition.*

SOURCE: 407 Franklin Street, BAR Case #90-238, The Vincent Carlin Company, architects

tration may be used to create a differentiation between the old and the new.

- **Roof**

In general, the roof form should reflect the roof forms expressed along the blockface. The roof form for buildings on corner lots should generally reflect the roof forms found on the adjacent corner buildings. For example, additions with a flounder roof shape may be considered appropriate for existing residential structures with gable roof forms where such changes in roof form occur along the blockface. However, additions to 20th century flat roofed buildings may make use of a different form to create visual variety and interest.

Roofing materials should reflect the traditional use of wood, metal and slate in the historic districts. Additional information is provided in the Roofing section of Chapter 2, Building Alterations.

- **Spacing Between Buildings**

In most sections of the districts, the rhythm of existing spacing between buildings along the blockface should be maintained.

- **Building Orientation**

The principal architectural facade should face the street. The front entrance to residential buildings should generally not be changed by an addition and should be readily apparent from the public street. The existing rhythm and scale of the streetscape should not be altered by an addition. For example, existing doorways that face the street should not be removed or reoriented.

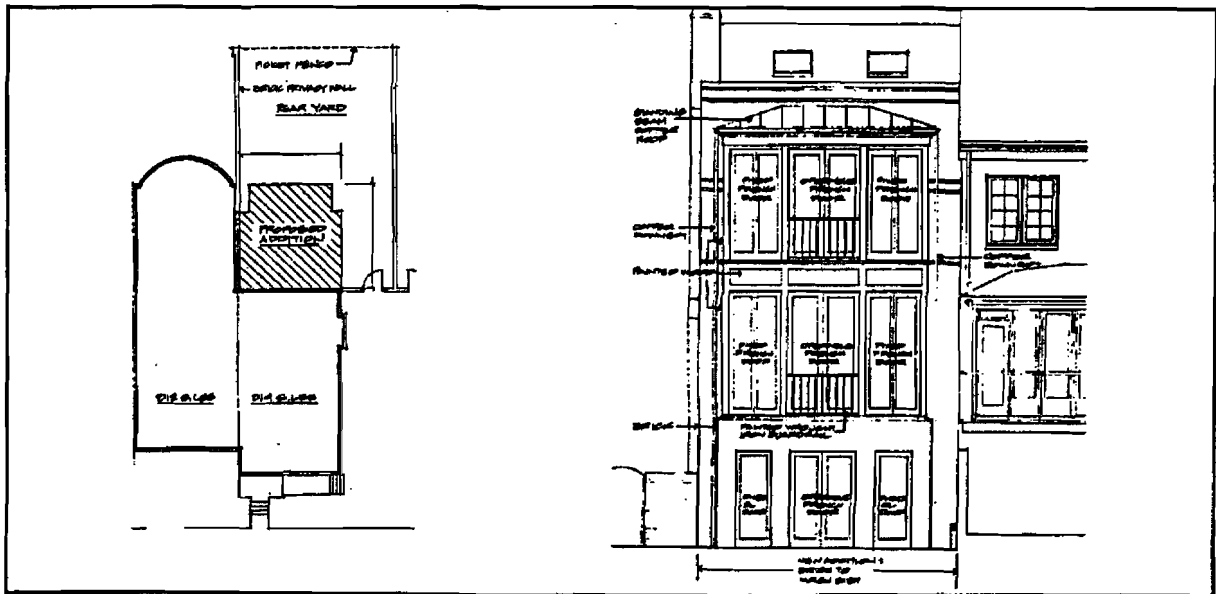
- **Materials**

The predominant building materials for residential buildings in the historic districts are wood and brick. In addition, there are a number of stone buildings. The choice of building materials for residential additions should reflect these traditional materials.

- **Architectural Detailing**

Architectural detailing such as cornices, lintels, arches, and chimneys should express the traditional quality and quantity of architectural detailing found on historic structures throughout the districts.

Side and rear walls which face open areas should be designed with as much attention to detail as the primary facade. It is the general preference of the Boards that surface ar-



*Plan and elevation for a three story rear addition.*

SOURCE: 814 South Lee Street, BAR Case #92-21, Cole & Denny, Architects

tication be provided on otherwise unrelieved side walls to visually break-up apparent massing through such means as the articulation of false windows, pilasters and changes in brick patterns.

- **Utilities**

While the Boards are cognizant of 20th century infrastructure requirements, such items as electrical meters and transformers, and HVAC equipment should be visually and acoustically screened from public view.

- **Color**

The color proposed for residential additions should be compatible with that in use on historic buildings in the districts. The B.A.R. Staff has developed a *Color Chart of Historically Accurate Paint Colors in the Old and Historic Alexandria District and the Parker-Gray District* which can be consulted to help determine appropriate colors which reflect the historic heritage of the City.

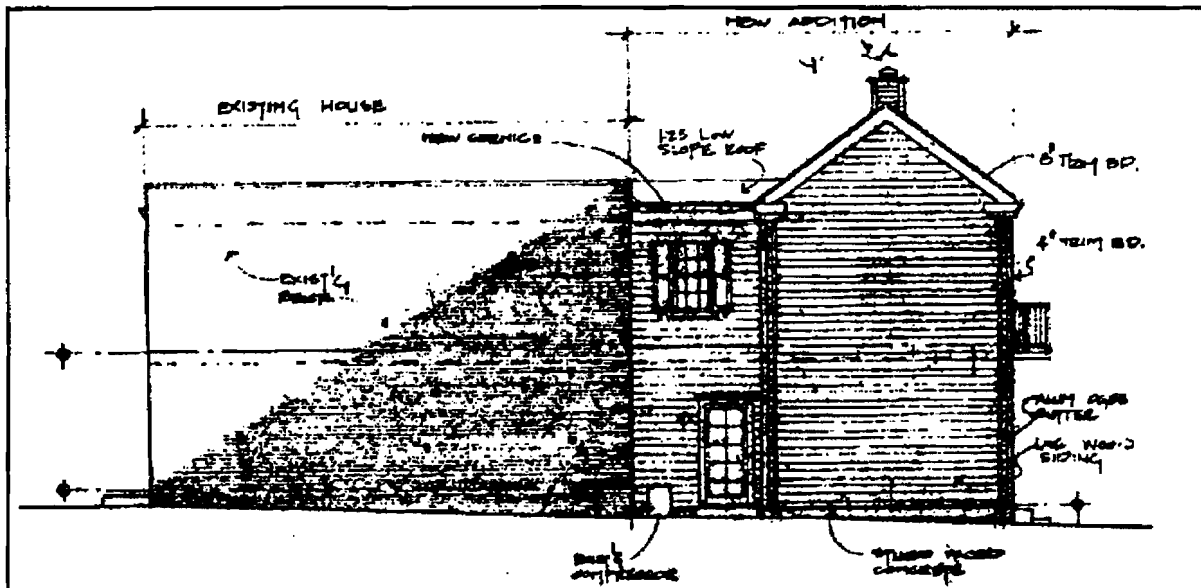
## **APPLICATION REQUIREMENTS**

In order to properly evaluate the appropriateness of a design for a residential addition, the Boards of Architectural Review require that an accurate depiction of the design and its relationship to the immediately surrounding area be presented. Sketches are not acceptable. Most designs for construction of additions to buildings presented to the Boards of Architectural Review are prepared by design professionals, such as architects and engineers; however, a professionally prepared submission is not mandatory. Applicants, however, should be aware that drawings sealed by an architect or engineer licensed in Virginia may be required by the Code Enforcement Bureau prior to the issuance of a building permit.

**All applications for approval of residential additions must contain the following information:**

### **Alexandria Business License**

Proof of a valid Alexandria Business License is required at the time of application for contractors, subcontractors, architects and designers.



*Rear two story addition to a 1950s brick rowhouse.*

SOURCE: 620 South Pitt Street, BAR Case #91-35, Jan Noble, architect

### Photograph of Existing Conditions

Clear photographs of the site and surrounding properties are required for reference.

### Plot Plan/Site Plan

A plot or site plan accurately showing the location and dimensions of the addition including property lines, accessory structures, fences and gradelines is required. A roof plan showing water drainage and location of mechanical units should also be indicated.

### Drawings

Drawings accurately representing all elevations of changes to the proposed structure indicating materials and overall dimensions, including height, are required. In addition, a drawing showing the contextual relationship of the proposed structure to existing adjacent buildings is required. The location of such ancillary items as HVAC units, heat pumps, roof guards, utility meters and risers should be noted on the drawings. The drawings should have a minimum scale of  $3/32" = 1'$ , however, larger scale drawings may be required. At least one set must meet the maximum permit size of  $24" \times 36"$ . Additional copies of the required drawings may be reduced if they are clearly legible.

### Floor Area Ratio and Open Space Calculations

Applicants must provide accurate F.A.R. and open space calculations for the new addition. Forms for these calculations are available at the time of application.

### Materials

The materials to be used for the structure must be specified and delineated on the drawings. Actual samples may be provided, if appropriate.

### Color

The proposed color of the structure and trim-work must be indicated and actual color samples provided.

## RELATED SECTIONS

Guide to the B.A.R. Process

Use of the Design Guidelines

History of the physical development of the historic districts

Chapter 2 - Building Alterations

Accessibility for Persons with Disabilities

Accessory Structures

Awnings

Chimneys & Flues

### ARCHAEOLOGICAL CONSIDERATIONS

The construction of additions to residential buildings creates ground disturbing activities which may affect archaeological resources. With its rich history, the City of Alexandria is particularly concerned about its archaeological heritage. Archaeological resources in the historic districts are great in number and highly diverse in materials. They often consist of ceramic and glass fragments in the backyards of historic properties; however, archaeological resources are also brick-lined shafts in yards and basements; brick kilns; foundations, footings, postholes and builders trenches of non-extant buildings; landscape features such as walkways and gardens; and even American Indian artifacts which pre-date colonial Alexandria. Often these clues to the City's past appear to be unimportant debris, yet when the artifacts and building remains are excavated and recorded systematically, they provide the only knowledge of lost Alexandria.

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to determine whether significant archaeological resources may still survive on the property. Therefore, the potential for additional requirements to protect archaeological resources exists with any project that involves ground disturbing activities.

The applicant can speed along the archaeological review process by requesting a Preliminary Archaeological Assessment from Alexandria Archaeology at the earliest date. Call (703) 838-4399, Tuesday through Saturday. Alexandria Archaeology is located on the third floor of the Torpedo Factory Art Center.

#### • RESIDENTIAL ZONES

In residential zones, the application for construction of additions is reviewed by City archaeologists. In most cases, the applicant is required to notify Alexandria Archaeology before ground disturbance, so that a City archaeologist may monitor this work and record significant finds. However, when a property has a high potential for containing significant archaeological resources, a City archaeologist may request permission to excavate test samples in the affected area before the project begins.



Decks  
Exterior and Storm Doors  
Dormers  
Roof Drainage Systems  
Electrical and Gas Service  
Fences , Garden Walls & Gates  
HVAC Systems  
Exterior Lighting  
Paint Colors  
Driveways and Paving  
Planters  
Porches  
Roofing Materials  
Security Devices  
Shutters  
Siding Materials  
Skylights  
Solar Collectors  
Stoops, Steps and Railings  
Windows  
Storm Windows  
Chapter 4 - Demolition of Existing Structures

NOTE: Illustrations are provided for information only. Applications for certificates of appropriateness are reviewed and approved on a case-by-case basis.

ADOPTED BY THE BOARDS OF  
ARCHITECTURAL REVIEW, 5/25/93

# DORMERS

## INTRODUCTION

Roof dormers that are visible from a public way require the approval of a certificate of appropriateness by the Boards of Architectural Review.

Dormers provide light and ventilation to the top floor of a building and can increase the usable floor area. At the same time, dormers are particularly visible elements of a roof and can have adverse impacts on a building if not properly designed and sited. As a general rule, dormers should not be too large for the structure. If an unacceptable loss of existing historic fabric will result because of the installation of dormers, such installation is generally not appropriate.

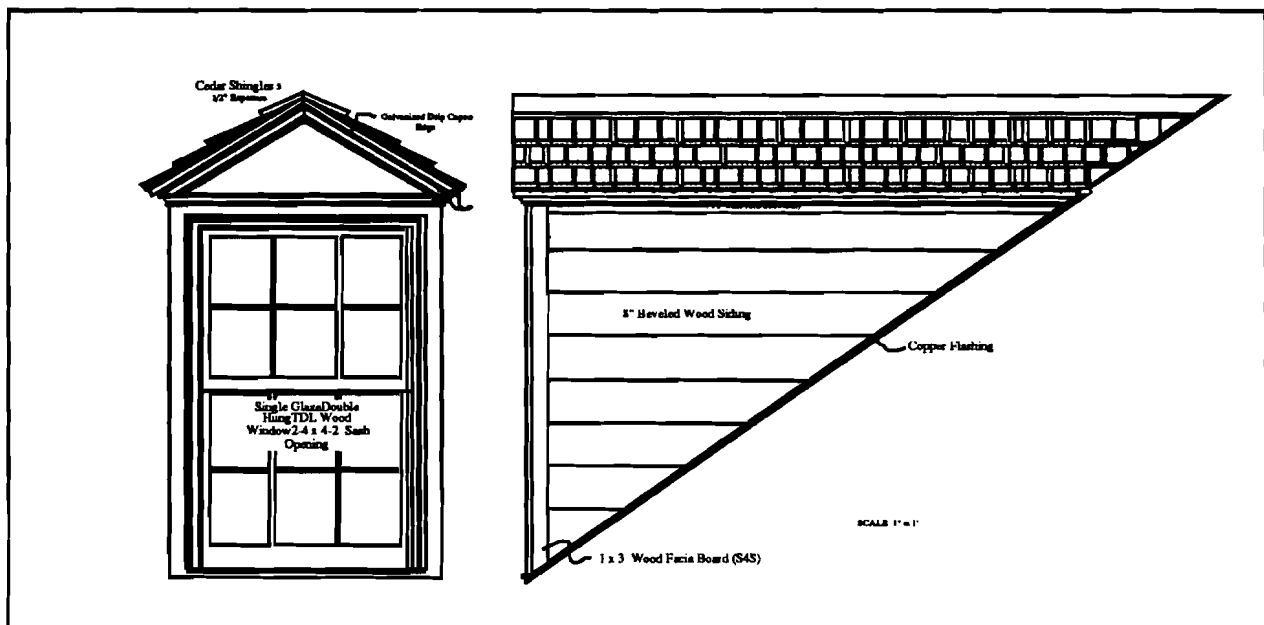
Because installation of dormers can increase the floor area of a building, there are a number of zoning considerations that must be satisfied prior to review of the design by the Boards of Architectural Review.

## REQUIREMENTS

- Construction of dormers must meet the requirements of the Virginia Uniform State-wide Building Code (USBC).
- A building permit is required for the construction of all dormers.
- Dormers must meet the requirements of the Zoning Ordinance including height, setback, overhang and allowable floor area.

## GUIDELINES

- The style of the dormer should be appropriate to the architectural style of the existing structure.
- Dormer sashes should be operable and should be the same type as the other window sashes on the structure.
- The trimwork of the dormer should match the existing window trimwork.
- Shed dormers are strongly discouraged.



*Example of a dormer appropriate for use on a 19th century residential structure.*

SOURCE: 311 Wilkes Street, BAR Case #92-142, Stephen Falatko, designer

- Generally, new dormers should align with the existing windows or be centered between the windows.
- New dormers should match those existing.
- Dormer trimwork should generally be painted to match the existing trim color on the building.
- Dormer sidewalls may be made of the wall material of the existing structure and painted to match, if the structure is painted. Dormer sidewalls may also be covered to match the existing roof material if it is wood or slate. Covering dormer sidewalls with aluminum or vinyl siding or standing seam metal is not appropriate.
- Dormers should match the existing proportions of the building and the windows. Historic dormers are generally tall and narrow with minimal trim at the sides of the windows.

### **APPLICATION REQUIREMENTS**

In order to properly evaluate the appropriateness of the design of a proposed dormer, the Boards of Architectural Review require

that an accurate depiction of the design be presented. Sketches that are not to scale are not acceptable. Most designs for dormers presented to the Board of Architectural Review are prepared by a professional designer; however, such a professionally prepared submission is not mandatory.

**All applications for approval of dormers must contain the following information:**

#### **Alexandria Business License**

Proof of a valid Alexandria Business License is required at the time of application for contractors, subcontractors, architects and designers.

#### **Photograph of Existing Building**

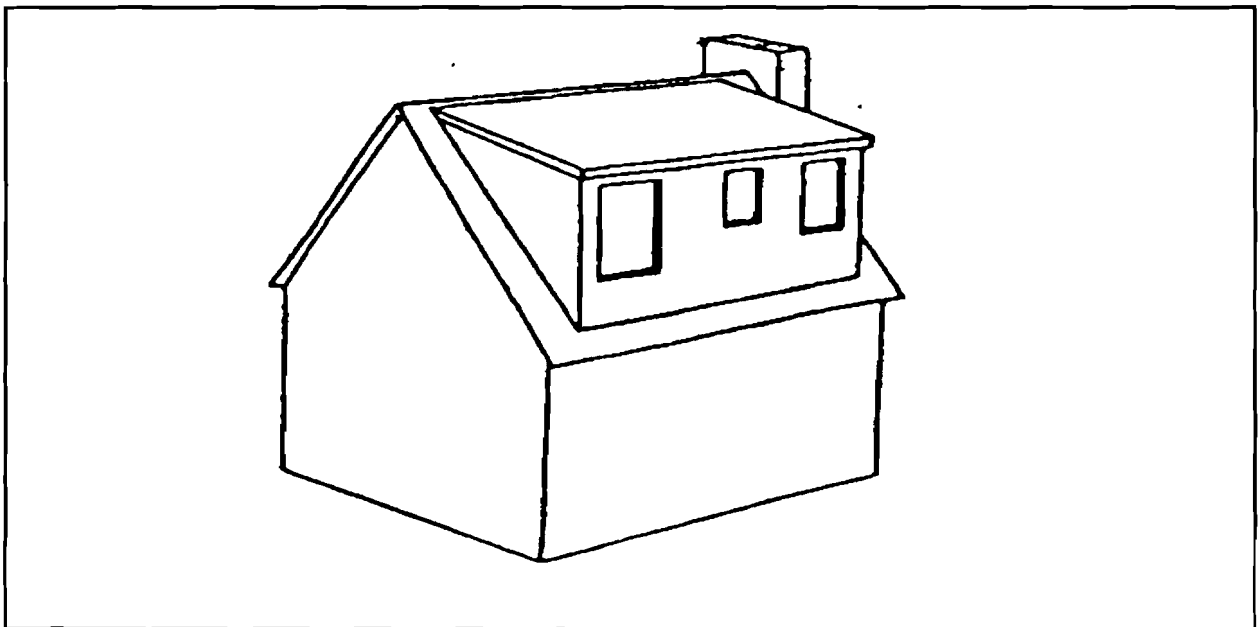
Clear photographs of the existing building are required for reference.

#### **Placement**

The elevation drawing must accurately show the placement of the dormer on the building. The drawing must depict the front and side elevations of the dormer.

#### **Size**

The drawing must accurately indicate the size of the dormer.



*Large shed dormers are generally inappropriate.*

## Materials

The materials to be used for the dormer must be indicated. In some instances, it may be appropriate to supply an actual sample of the material.

## Color

The color that the dormer is proposed to be painted must be indicated and an actual color sample provided.

## RELATED SECTIONS

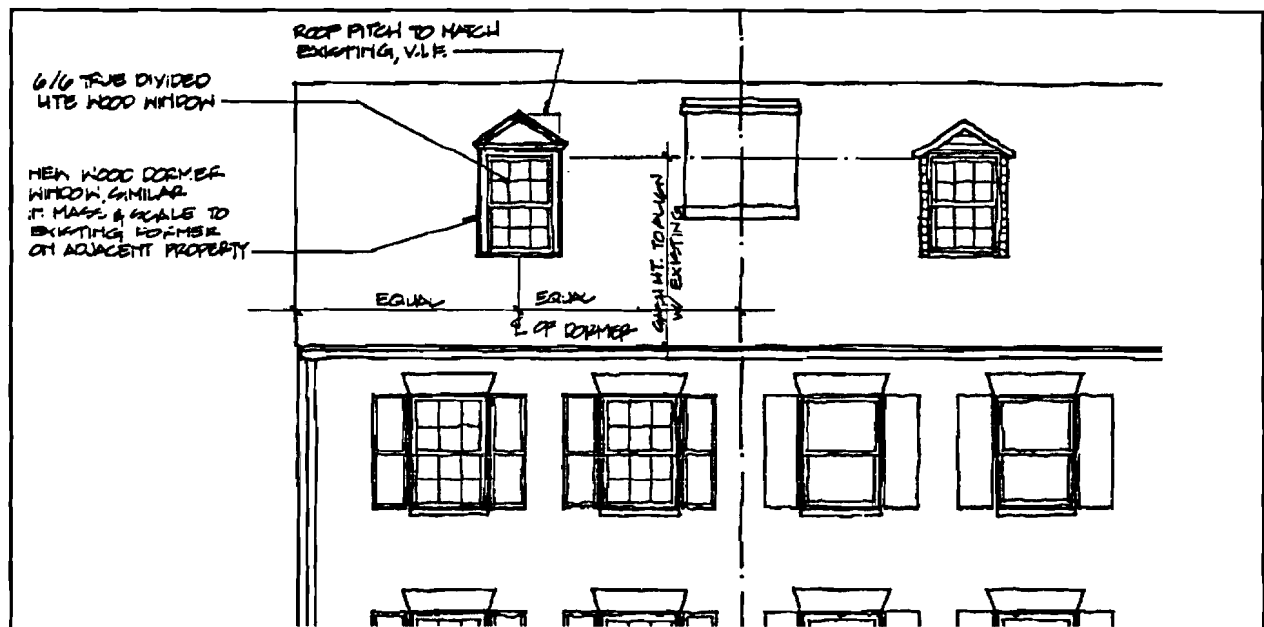
Windows

Roof Materials

Siding Materials

NOTE: Illustrations are provided for information only. Applications for certificates of appropriateness are reviewed and approved on a case-by-case basis.

ADOPTED BY THE BOARDS OF  
ARCHITECTURAL REVIEW, 7/16/92



*Example of an application for a new dormer window in a historic roof. The drawing indicates the placement on the roof and the type of dormer and window.*

SOURCE: Case BAR #90-251, rust, orling & neale, architects

# WINDOWS

## INTRODUCTION

Windows are a principal character defining feature of a building and serve both functional and aesthetic purposes. Windows allow the interior of a building to receive natural light, provide a means to see from the inside of a building to the outside and allow ventilation of a building interior.

The size, location, type and trim of windows are a defining element of historic architectural styles. The proportion of a building facade made up of windows is also an important architectural design element. For example, early-19th century structures generally have a smaller amount of window area than do buildings from the 20th century. Muntin size is also an important indicator of the architectural heritage of a building. Thin muntins are associated with Federal style structures, while wider muntins generally indicate a later 19th century building.

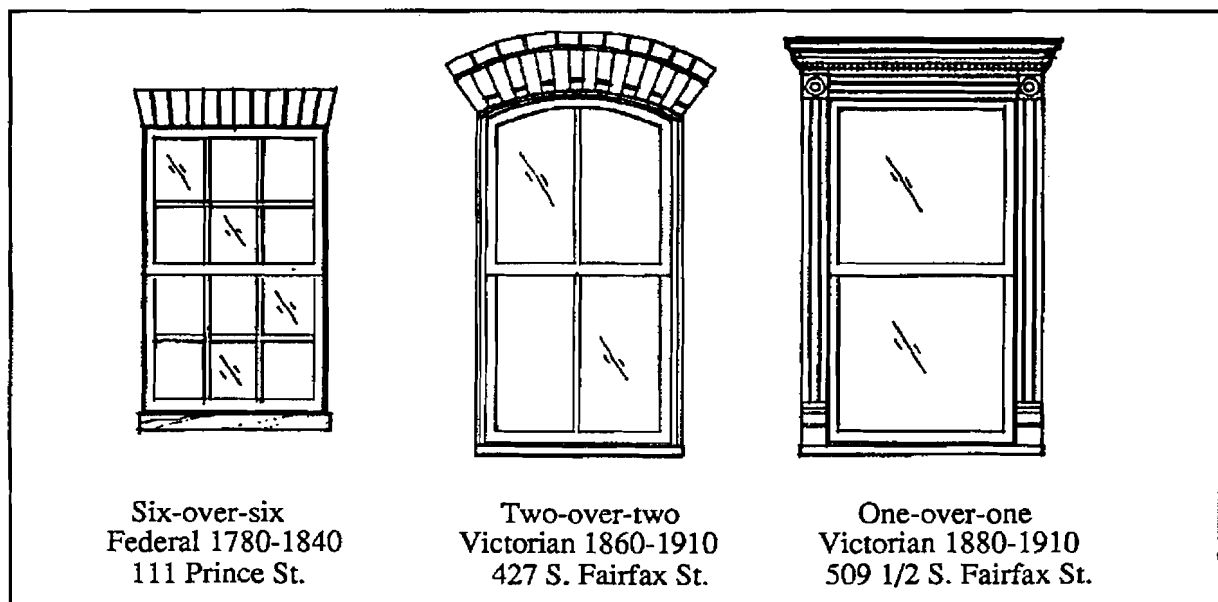
Window trimwork or surrounds also help to define the historic architectural style of a

building. For example, Italianate buildings often have deeply molded curved surrounds or hoods on upper story windows; Colonial Revival style buildings usually have relatively simple wood or brick sills and lintels.

In general, the windows on 18th century buildings in Alexandria were small with small sized panes of glass. By the middle of the 19th century, technology permitted the manufacture of large size panes of glass. This enabled windows on Victorian era structures to have large expanses of glass, some without muntins.

The popular Colonial Revival architectural styles in the 20th century employ multi-pane windows with small panes of glass often with a single light below. Bay windows were not used until the late-19th century; however, they are a well established part of the Colonial Revival design vocabulary.

Changes to windows can have a dramatic impact on the historic appearance of a structure. Many buildings in the historic districts have had the windows changed in an attempt to alter the historic period of the structure or to create the appearance of modernity. For example, the large paned one-over-one or



*Common window configurations in the historic districts (type, dates used, address).*

two-over-two windows typical of wood vernacular Italianate row dwellings have been replaced with small paned six-over-six windows in an effort to Federalize a structure. Similarly, in the late-19th century windows in many wood vernacular Federal style buildings were updated by the installation of large paned windows and Victorian era detailing on the window surrounds.

#### **RETENTION OF HISTORIC MATERIALS**

A central tenet of the philosophy of historic preservation is that original historic materials should be retained and repaired rather than replaced. An informed and careful analysis of the existing condition should be made before any decision to replace historic materials is made. It is often cheaper to keep historic materials and repair them rather than replace an item with new material. Storm windows or new weatherstripping will make a historic sash quite efficient without replacement.

#### **REQUIREMENTS**

- All new and replacement windows must meet the requirements of the Virginia Uniform Statewide Building Code (USBC).
- A building permit is required for all new windows and the installation of replacement windows.
- For fire safety reasons, no openings such as windows can be installed on the side wall of a building which is within 3' of a property line (USBC).
- Habitable rooms must comply with the light and ventilation requirements of the USBC. Windows are required if the need for light and ventilation cannot be met by artificial or mechanical means.
- Windows which are used to satisfy emergency egress from sleeping rooms must meet minimum opening size and sill height requirements. (USBC)
- Bay or other types of projecting windows must comply with applicable yard setback

requirements in residential zones.

- Bay or other types of projecting windows which encroach on the public right-of-way require approval of the Planning Commission and enactment of an encroachment ordinance by City Council.

#### **GUIDELINES**

- New and replacement windows should be appropriate to the historic period of the architectural style of the building. For example, two-over-two and two-over-one windows are appropriate on Victorian style buildings dating from the late-19th to early-20th century. Multi-paned windows are not appropriate on structures dating from this period.

#### **PREFERRED WINDOW TYPE**

Single glazed true divided light wood windows with interior storm sash

#### **ACCEPTABLE WINDOW TYPES**

Single glazed true divided light wood windows with exterior storm panels

Double glazed true divided light wood windows

Windows with fixed or applied muntins have been approved for the rear elevation of a structure which has minimal visibility from a public way

Casement windows should generally only be used on the rear facades of buildings

#### **DISCOURAGED WINDOW TYPES**

Plastic, vinyl and metal windows

Plastic, vinyl and metal clad windows

Awning (vertical opening) windows

Slider (horizontal opening) windows

Flat plastic or snap-in muntins

- Existing historic windows and fanlights should be retained. It is the general policy of the Boards not to approve wholesale replacement of existing historic windows.

- Multi-paned windows or snap-in muntins should not be used to make a structure appear older than it actually is.

- Bay windows are not appropriate on structures pre-dating ca. 1840. Bay windows may be appropriate on Victorian and Colonial Revival style buildings.

- Single horizontal muntin metal windows and metal casement windows are only appropriate for buildings dating from the late-1940s or early-1950s.

- Replacement windows must fit the existing window opening. For example, jamb extensions should not be used to make an undersize window fit an existing opening.

- Street level windows on commercial buildings should not be painted or otherwise made opaque.

- Reflective and tinted glass is not appropriate.

- Original plate glass storefronts should be retained.

- Glass block may be appropriate on both commercial and residential buildings dating from ca. 1920 to 1950.

- Window trimwork should be painted to match the trim color of the structure, except on Victorian structures where the trimwork is usually a contrasting color to the body color of a building with the sash often painted a third, accent color.

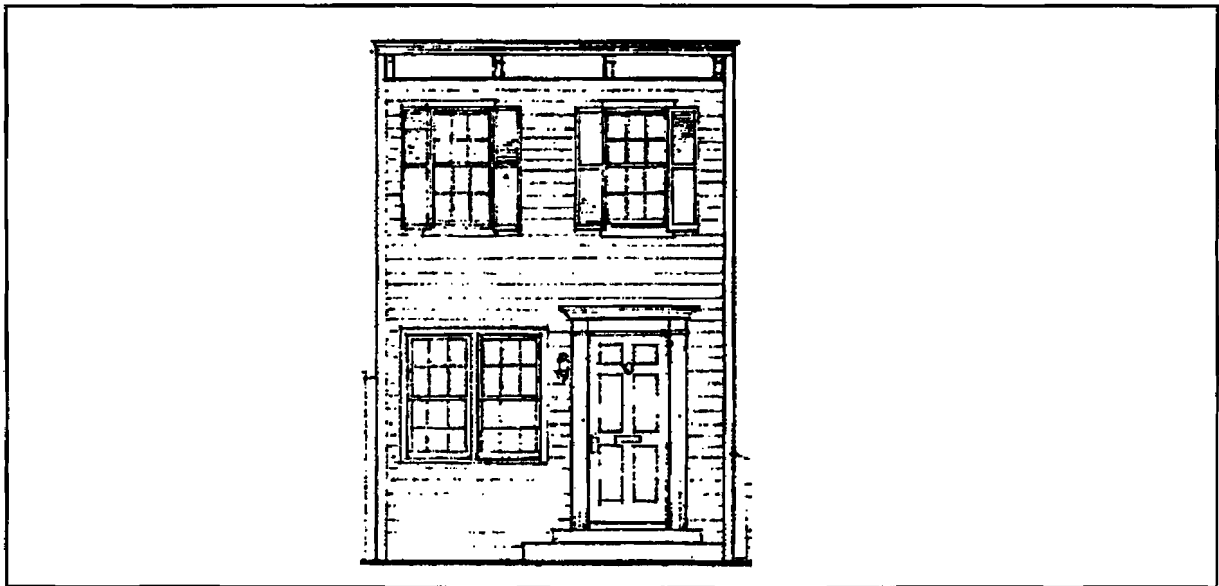
## **APPLICATION REQUIREMENTS**

In order to properly evaluate the appropriateness of proposed windows the Boards of Architectural Review require that an accurate depiction of the design be presented. Sketches that are not to scale are not acceptable.

**All applications for approval of new and replacement windows must contain the following information:**

### **Alexandria Business License**

Proof of a valid Alexandria Business License is required at the time of application for contractors, subcontractors, architects, and designers.



*The multi-paned 6-over-6 windows and paired windows are later additions to this vernacular Italianate house dating ca. 1912-1921 and appear to make the building look older than it actually is. (The 6 panel Colonial style door also makes the house look older than it is.) Vernacular Italianate residential structures usually have 1-over-1 or 2-over-2 wood windows.*

### **Photograph of Existing Building**

Clear photographs of the existing building are required for reference.

### **Plot Plan**

A plot plan accurately showing the location of a bay or other type of projecting window is required to determine compliance with yard setback requirements.

### **Placement**

The drawing must accurately show the placement of the windows on the building.

### **Size**

The drawing must accurately depict the size of the windows.

### **Color**

The color of the window trim must be indicated and an actual color sample provided.

### **Window Type**

A cut sheet or manufacturer's specifications listing for the windows must be included in the application.

## **STORM WINDOWS**

Currently, it is the stated policy of the Boards of Architectural Review that appropriate exterior storm windows do not require review and approval of a certificate of appropriateness.

In the opinion of the Boards, the use of exterior storm windows is a treatment of the historic fabric that allows the retention of original windows while being easily reversible. At the same time, exterior storm windows provide a cost-effective and thermally efficient means of energy conservation. Good weatherstripping and proper caulking around exterior storm windows is needed for maximum energy conservation.

Property owners in the historic districts, however, should be aware of the visual impact that storm windows create on historic structures. Frames for storm windows are made from a number of materials including wood, aluminum and vinyl. Customized

frames for exterior storm windows are available for different windows styles such as curved and arched windows. The frames of exterior storm windows must be painted or anodized to match the existing trim color of the building. Unpainted aluminum window frames are not appropriate and should be avoided.

Interior storm windows should also be considered. This type of storm window will not disrupt the exterior profile of existing historic windows and for this reason is strongly preferred by the Boards.

## **RELATED SECTIONS**

Doors  
Paint Colors  
Shutters  
Skylights

## **REFERENCES:**

Preservation Brief #3, *Conserving Energy in Historic Buildings*.

Preservation Brief #9, *The Repair of Wooden Windows*.

Preservation Brief #13, *The Repair and Thermal Upgrading of Historic Steel Windows*.

"Windows Through Time, An Exhibit of Historic American Windows"

[All available from the B.A.R. Staff.]

NOTE: Illustrations are provided for information only. Applications for certificates of appropriateness are reviewed and approved on a case-by-case basis.

ADOPTED BY THE BOARDS OF  
ARCHITECTURAL REVIEW, 5/25/93



**ATTACHMENT 6**

**LAND, CLARK, CARROLL, MENDELSON AND BLAIR, P.C.**

*Attorneys & Counsellors at Law*

**524 KING ST.**

**ALEXANDRIA, VA 22314-3104**

H. CARTER LAND, III  
JAMES C. CLARK  
F. ANDREW CARROLL, III  
RICHARD S. MENDELSON  
DUNCAN W. BLAIR

.....  
(703) 836-1000

FACSIMILE  
(703) 549-3335

March 20, 2009

Lee Webb  
Principal Planner  
Department of Planning & Zoning  
301 King Street  
City Hall, Room 2100  
Alexandria, VA 22314

**DELIVERED BY FIRST CLASS MAIL AND BY PDF**

**In re: 113 Princess Street, Alexandria, Virginia**

Dear Lee:

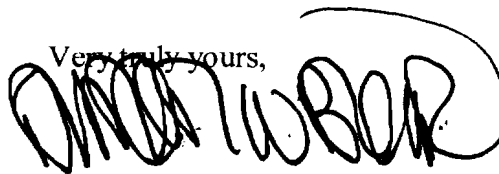
It has been brought to my attention that A. Gruer filed appeals of the BAR Cases 2008-0158 and 2008-0159 pertaining to 113 Princess Street in the Old and Historic District of the City. I assume that the City is verifying timeliness of the filing, the appropriateness of filing appeals to two separate cases as one appeal, and the correctness of the signatures on the Petition filed in support of the appeal. Once this has been completed and the appeals are certified, I would appreciate being advised in writing of such certification and given the opportunity to review information on which the City's based its findings.

In addition to the City certifying the appeals based on the matters discussed above, I believe it is required that the City determine that all of the requirements imposed on appellant's under Section 10-107 (A) (2) the provision of the Alexandria Zoning Ordinance 1992, as amended (the "Ordinance") must be reviewed and certified as true, correct and accurate as well as based on articulated Ordinance based review criteria and not mere and generalized assertion that "the neighbors don't like it." Section 10-107 (A) (2) of the Ordinance in establishing the appeal process for "opponents" of the granting of the Certificate of the Permit requires that the supporting petition of an appeal must be signed: "by at least twenty-five persons owning real estate in the Old and Historic Alexandria District indicating their intention to appeal and state the basis for their appeal." On behalf of our clients, I submit that the Record of Appeal filed by Allan Gruer fails to state a proper basis on which these appeals can be certified. The Record of Appeal fails to allege or set forth Ordinance based of the Board of Architectural Review (BAR) in unanimously approving the Certificate or Permit should be reversed. The Record of Appeals contains no basis, facts, circumstances, findings, or that issues properly

Lee Webb  
Principal Planner  
Department of Planning & Zoning  
March 20, 2009  
Page -2-

within the BAR's jurisdictional purview as set forth in Section 10-105 (A) of the Ordinance for matters to be considered in approving Certificates of Appropriateness or in Subsection B with regards to Permits. The "Basis of Appeal" attached the Record of appeal is, at best an emotional plea for no change because: "The aggressive proposals for alteration, encapsulation, demolition and excavation at 113 Princess Street are deemed unsuitable by all of the neighbors." (Note: excavation is not within the jurisdiction of the BAR) The "Basis of Appeal" is further stated as an unsubstantiated risk that the addition will also "have the ability to increase the flooding potential." An applicant for a Certificate or Permit is required to sign a certification that the information presented is "true, correct and accurate." The Appellant of a BAR appeal should be held at no lessen standard of conduct. This Appeal should not be certified as a complaint with the minimal requirements of the Ordinance. It is unfair to subject my clients to another baseless round of hearings and delays. The Svoboda's project complies with the Ordinance and the Old and Historic District Guidelines as determined by the Staff and the BAR's vote, the Appellant must be held to the requirement to state Ordinance based grounds for an appeal. On behalf of our Client's I request that these Appeals be ruled to fail to satisfy the requirements of a properly filed appeal under Section 10-107 (A)(2) of the Ordinance and not certified.

Very truly yours,

A handwritten signature in black ink, appearing to read "Duncan W. Blair", with a large, sweeping flourish at the end.

Duncan W. Blair

DWB:kl\WebbLee-Svoboda 0309

cc: Karl Svoboda, by PDF  
Christine Leonard, by PDF  
Thomas Hulfish, by PDF  
Christopher Spera, by PDF

# **BAR Appeal to City Council**

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## **Appeal of Approval of a Permit to Demolish and Capsulate, and Alterations and Addition**

**113 Princess Street  
BAR Case #2008-0158 and 159**

**May 16, 2009**

# **Request to the Old and Historic Alexandria District B.A.R.**

---

## **Permit to Demolish and Capsulate and Alteration and Addition at**

- Demolish rear elevation to allow expansion of the existing house by construction of new 1st level sunroom, with smaller 2nd floor addition and 3rd floor roof with dormer
- Approved by Old and Historic Alexandria BAR, 4-0, March 4, 2009



**Rear (north) elevation.**



# Aerial – Looking North

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# Aerial – Looking South



City of Alexandria – Department of Planning & Zoning



# 113 Princess Street Facade



Front (south) elevation.



Existing and proposed front (south) elevation, no alterations.

# **113 Princess Street Existing Rear Elevation**

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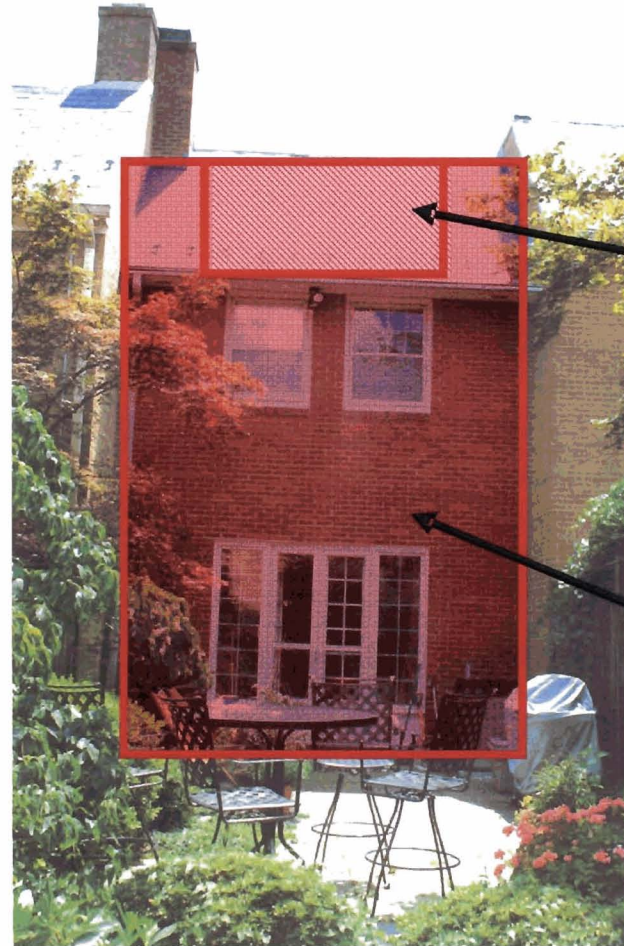


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City of Alexandria – Department of Planning & Zoning



## **Proposed area of demolition and capsulation**



**Roof area proposed for  
dormer**

**Rear elevation proposed  
for demolition and  
encapsulation for addition**

## **APPEAL OF DEMOLITION APPROVAL – Criteria for Permit to Demolish (Sec 10-105(B))**

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- (1) Of such architectural or historic interest that work detrimental to public?** – common circa 1970s townhouse
  - (2) Sufficient interest to make it a historic house?** – No
  - (3) Of such old, unusual, uncommon design, texture, material – not reproducible?** – Mid-20<sup>th</sup> century construction easily reproduced
  - (4) Would retention preserve the GW Parkway?** – N/A
  - (5) Would retention help preserve a historic place or area of City?** – Not historic
  - (6) Would retention promote the general welfare by increasing real estate values, generating business, attracting tourists, encouraging study of history, architecture and design, educating citizens in American culture and heritage, and making the City a more attractive and desirable place to live?** – No
-

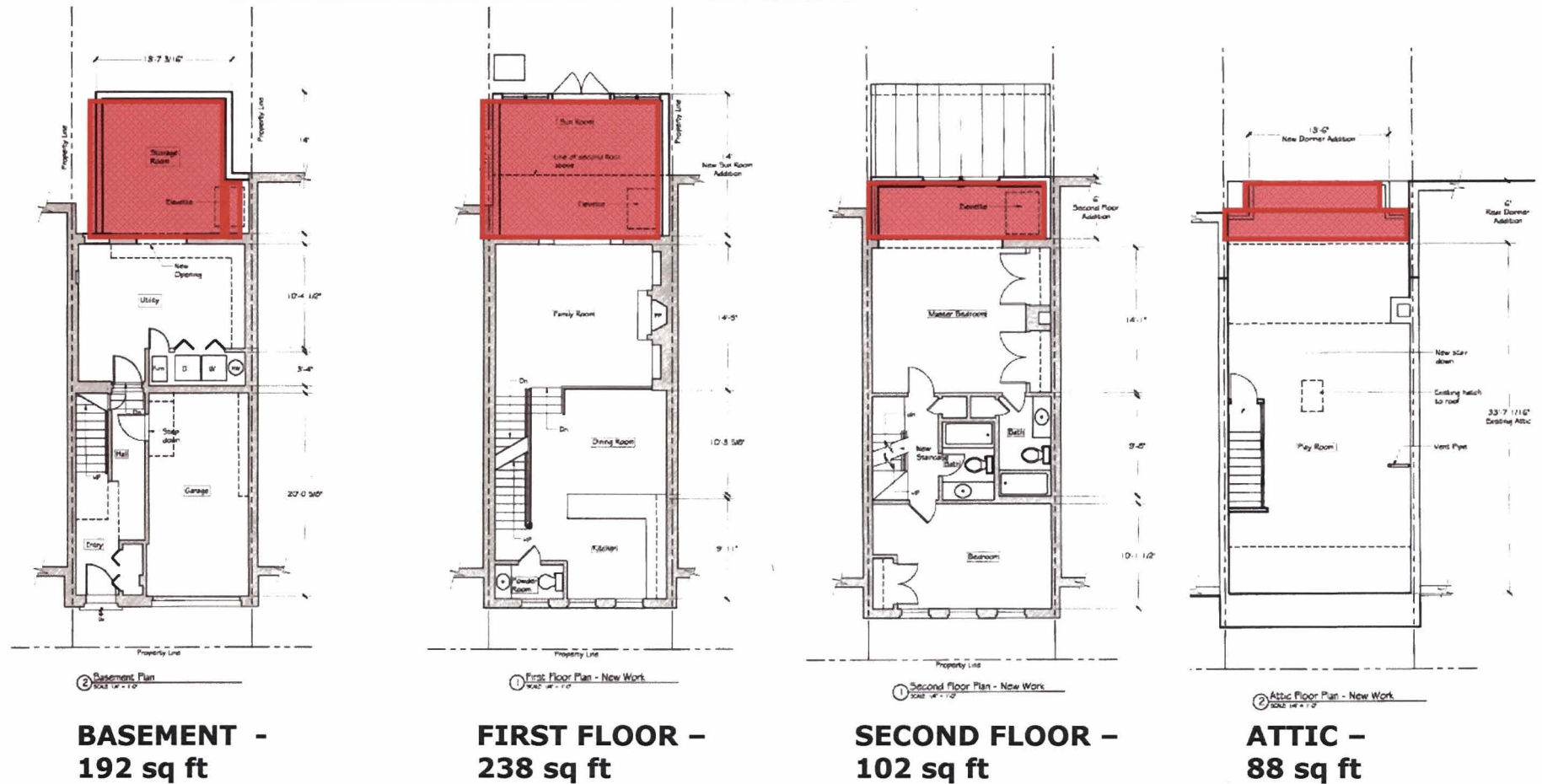
# Proposed Rear Elevation



**Proposed rear (north) elevation.**



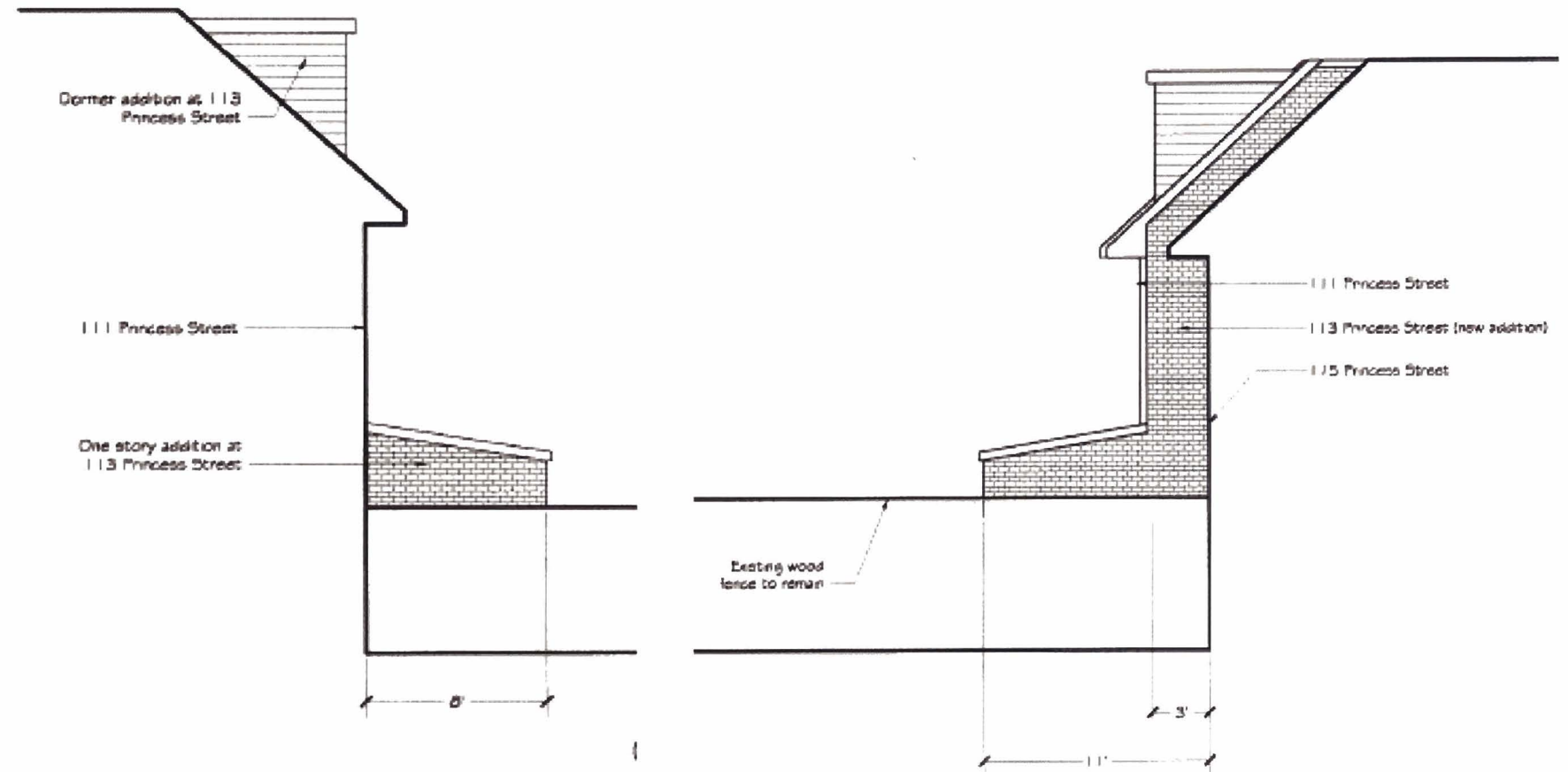
# Proposed Floor Plans with Addition



**620 gross sq ft. 358 net sq ft (excluding Basement and mechanical space (262 sq ft ))**

# Proposed Addition: Side Elevations

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**Proposed side (east and west) elevations.**

## **APPEAL OF COA for Addition and Alterations – Standards for Appropriateness (Sec 10-105(A))**

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| <b>Relevant Standards</b>  | <b>Response</b>   |
|--|---|
| <b>(a) Overall design, form, mass and scale</b>                  | Scale and mass do not overwhelm existing townhouse and style is compatible with existing Colonial Revival design.     |
| <b>(b) Architectural details, materials, ornamentation</b>       | Details and materials are compatible and historically appropriate.  |
| <b>(d) Appropriateness of new features to existing structure</b> | Design is compatible with existing townhouse.   |
| <b>(e) Relation to similar features and to surroundings</b>      | Approved addition and alterations are consistent with previous BAR approvals and the general architectural character. |

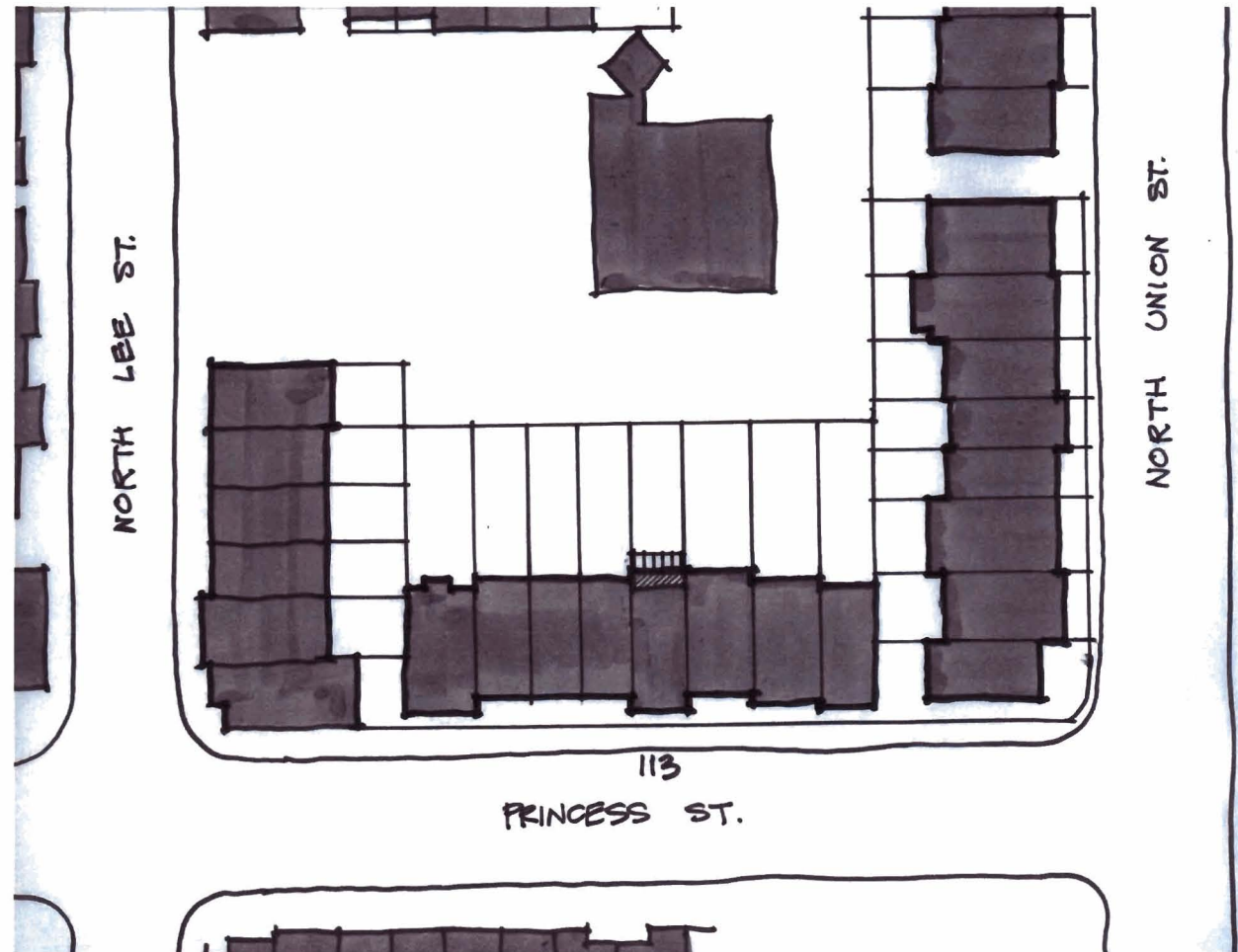
# Neighborhood Context

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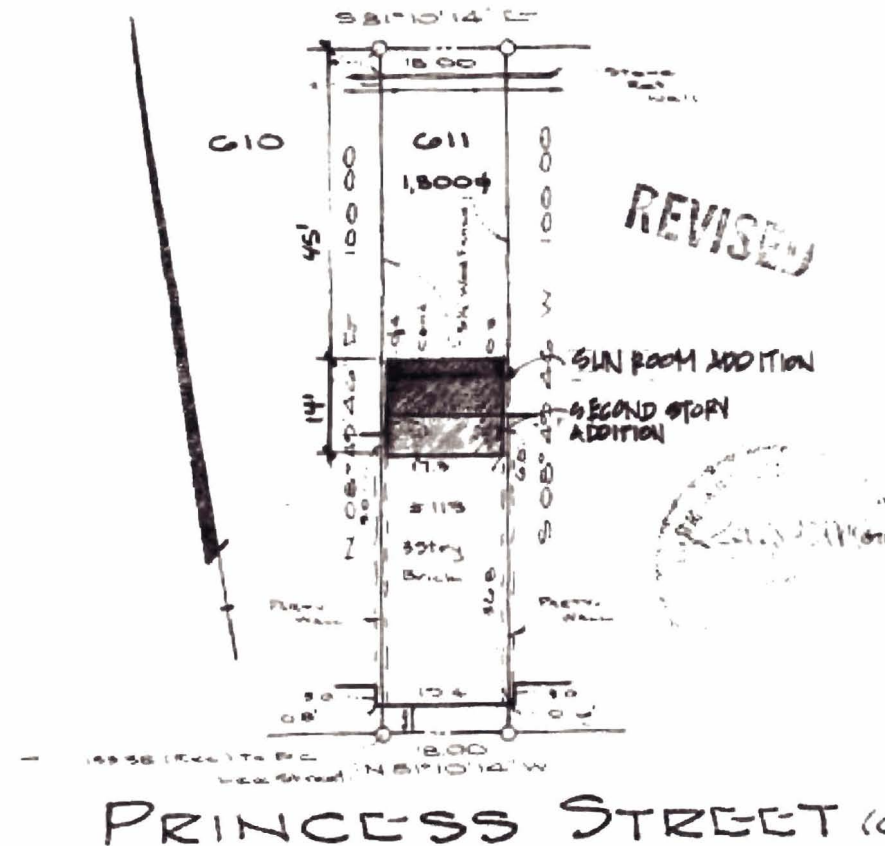
# Proposed Addition Neighborhood Context



**Proposed 113 Princess first and second level rear additions and surrounding block**



# Proposed Rear Addition Footprint



## Open Space

- Existing – 950 sq ft
- Required – 630 sq ft
- Proposed – 700 sq ft

**Plat of 113 Princess Street showing proposed rear addition.**

# **City Council Options**

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- **Affirm BAR Approval of Permit to Demolish and Encapsulate and COA for alterations and an addition**
- **Reverse the Permit to Demolish and the COA**
- **Modify the decision of the BAR**

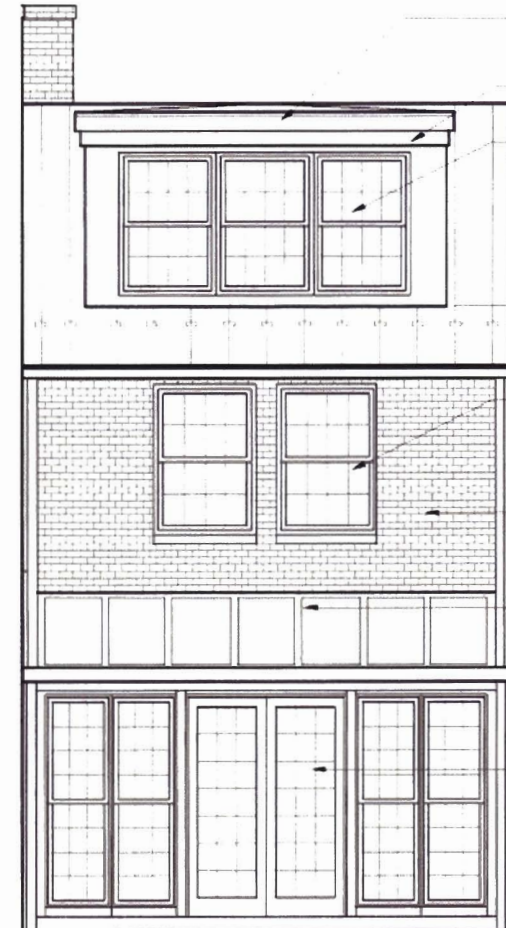
# Recommendation

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## **Affirm BAR Approval of Permit to Demolish, and COA for Alterations and Addition**

Reason:

- Demolition/capsulation proposed does not meet the criteria established by 10-105
- Alterations and Addition are compatible with the c. 1970 non-historic townhouse and surrounding area and neighborhood



## M E M O R A N D U M

**TO:** Mayor, Vice-Mayor, and Members of City Council  
**FROM:** James L. Banks, Jr., City Attorney  
**RE:** 113 Princess Street, Alexandria, VA  
**DATE:** May 15, 2009

### Question

Have appellants stated a proper basis for their appeal of the Board of Architectural Review (BAR) decision?

### Answer

Yes.

### Discussion

Procedurally, one who seeks to appeal a decision by the BAR must do the following:

- Produce a written petition of appeal signed by the City Manager or 25 persons owning real estate within the Old and Historic Alexandria District.
- File the written petition with the City Clerk on or before the expiration of 14 days from the BAR decision.
- Within the written appeal, state the basis for the appeal.
- Pay the appropriate fee for the appeal.

Zoning Ordinance of the City of Alexandria § 10-107(A)(2). (There is no dispute that appellants properly met the obligations in bullets 1, 2 and 4.)

Substantively, the review of the BAR initially and the City Council on appeal is to determine “the **compatibility** of the proposed construction, reconstruction, alteration or restoration with the existing building or structure itself, if any, and with the Old and Historic Alexandria District area surroundings....” Zoning Ordinance § 10-105(A)(1) (emphasis added).

Within that compatibility review, the standards to be considered, include the following:

- “Overall architectural design ... including, but not limited to, the height, **mass** and **scale** of buildings...” Zoning Ordinance § 10-105 (A)(2)(a)(emphasis added).

5-16-09

- submitted by  
Arthur Keleher

I will make a short statement as the staff has outlined the opinion of the Board in some detail.

This applicant started the odyssey in October of last year and here it is May of the following year. He has met with the neighbors and eventually modified his plans so as to leave the front façade alone and put a very modest addition of the back. Because of the way the house sits on the lot, it is indented, the addition does not extend beyond one neighbor and only slightly extends beyond the other.

The Board felt that this modest addition was appropriate noting that Alexandria is not a static community, but one that is constantly changing over time.

I hope that the council will agree with the decision of the BAR

Arthur Keleher May 16, 2009



NATIONAL ASSOCIATION OF  
CHAIN DRUG STORES

10  
5-16-09

May 15, 2009

City Council of Alexandria, VA  
Attn: City Clerk  
Alexandria City Hall,  
301 King Street,  
Alexandria, VA 22314

RE: BAR Cases 2008-0158 and 2008-0159

Dear Mayor Euille and Council Members:

The National Association of Chain Drug Stores (NACDS) is pleased to have been a corporate resident of the City for more than 25 years. In that time we have come to respect the City Council's leadership and citizen centered approach to issues. The above referenced appeal pertains to property adjacent our southern property boundary.

413 North Lee Street  
P.O. Box 1417-D49  
Alexandria, Virginia  
22313-1480

We have always strived to maintain a productive relationship with all of our neighbors. Those efforts have consistently shown that the residents of the 100 block of Princess Street have been reasonable people and good neighbors. While we respect the efforts of the Board of Architectural Review (BAR), it also seems logical that those in the immediate neighborhood are almost always in the best position to evaluate the issues of neighborhood design that are at the heart of this matter. We hope and trust that the Council will give careful consideration to and balance the objective judgment of the BAR and the concerns of our neighbors.

Should the project proceed, we also ask for your consideration to ensure that appropriate conditions and restrictions are in place to prevent any construction related activity from blocking access to our loading dock. Access to our loading dock is directly opposite what appears to be the only logical place for construction staging and access.

Thanks in advance for your consideration of these remarks.

Sincerely,

R. James Huber  
Executive Vice President and CFO

(703) 549-3001

Fax (703) 836-4869

[www.nacds.org](http://www.nacds.org)

10  
5-16-09

KARL

24  
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The undersigned residents of the City of Alexandria have signed this Petition to urge the City Council to uphold the unanimous March 4, 2009 decision of the Board of Architectural Review approving Karl & Lydia Svoboda's plans to modify their home at 113 Princess Street.

We reviewed the requested changes; believe the changes to be modest in scope, appropriate to the building and compatible with the Colonial Revival architectural of the surrounding community. For these reasons the undersigned support the project as recommended by the Preservation Staff and approved by the Board of Architectural Review.

As expressed by a member of the Board of Architecture's March 4 2009: Alexandria is not a static town, it changes. There are some demolitions, some additions...this addition is rather modest, and this one is certainly not huge... (The notion by the neighbors) that no change at all is something that this city can not live with... we do change..."

Thank you for your supporting the Svoboda's Approvals

MS BROWN


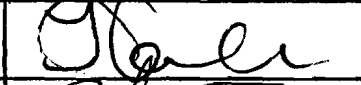
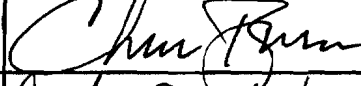
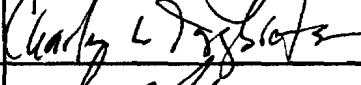
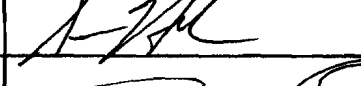


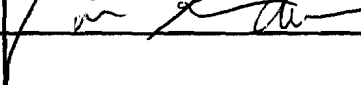
| #  | Name                          | Address                                     |
|----|-------------------------------|---|
| 1  | Barbara Cousens<br>von Gersau | 408 Wilkes Street<br>Alexandria VA 22314    |
| 2  | Elizabeth D. Lippman          | 122 Quidley St.<br>Alex. VA 22314           |
| 3  | Judy Hildebrand               | 110 QUAY ST<br>ALEXANDRIA VA 22314          |
| 4  | Susan Howells                 | 100 Queen St<br>Alexandria 22304            |
| 5  | Joseph DeFico                 | 405 N. Lee St<br>Alexandria                 |
| 6  | Rachel Thompson               | 403 N. Lee St. Alexandria                   |
| 7  | Michael                       | 414 N Lee St ALEXANDRIA 22314               |
| 8  | Cindy Fox                     | 422 N. Union St. Alexandria                 |
| 9  | Karl Svoboda                  | 113 PRINCESS ST, ALEXANDRIA, VA 22314       |
| 10 | LYDIA SVOBODA                 | (POA) 113 PRINCESS ST, ALEXANDRIA, VA 22314 |
| 11 |                               |   |
| 12 |                               |   |
| 13 |                               |   |

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Thank you for your supporting the Svoboda's Approvals

| #  | Name  | Address   |
|----|---|---|
| 1  |   | 908 W Braddock Rd Alex, VA                      |
| 2  |  | " " " "   |
| 3  |  | 3001 PARK CENTER SUITE 1401 ALEXANDRIA VA 22302 |
| 4  |  | 15 W. WALNUT ST. Alex. VA 22301                 |
| 5  |  | 421 E ALEXANDRIA AVE VA 22301                   |
| 6  |  | 414 E ALEXANDRIA AVE 22301                      |
| 7  |  | 323 N. ST. Asaph St Alexandria VA 22314         |
| 8  |  | 323 N. ST. Asaph St Alexandria VA 22314         |
| 9  |   |   |
| 10 |   |   |
| 11 |   |   |
| 12 |   |   |
| 13 |   |   |



Karl and Lydia Svoboda

PETITION TO THE COUNCIL OF CITY OF ALEXANDRIA

April / May 2009

|    |                    |  |
|----|--------------------|--|
| 14 | <i>[Signature]</i> | 14 W. Howell Ave. Alexandria, VA           |
| 15 | <i>[Signature]</i> | 14 W Howell Ave Alex VA                    |
| 16 | <i>[Signature]</i> | 14 W Howell Ave Alexandria VA              |
| 17 | <i>[Signature]</i> | <del>14 W</del> <i>[Signature]</i> Alex VA |
| 18 | <i>[Signature]</i> | 102 S Fairfax S Alexandria VA              |
| 19 | <i>[Signature]</i> | 102 S Fairfax S Alexandria VA 22311        |
| 20 | <i>[Signature]</i> | 225 South Fairfax street Alexandria 22314  |
| 21 | Leon Weidlein      | 14 W Howell Ave Alexandria VA              |
| 22 |                    |  |
| 23 |                    |  |
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| 25 |                    |  |
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Thank you for your supporting the Svoboda's Approvals

| #  | Name       | Address                         |
|----|------------|---------------------------------|
| 1  | Julie Hane | 428 John Carlyle St. Alex 22314 |
| 2  |            |                                 |
| 3  |            |                                 |
| 4  |            |                                 |
| 5  |            |                                 |
| 6  |            |                                 |
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| 13 |            |                                 |

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Thank you for your supporting the Svoboda's Approvals

| #  | Name             |  |
|----|------------------|--|
| 1  | Emily McCarthy   | 113 Princess Street, Alexandria, VA 22304  |
| 2  | Jemma Arcega     | 1028 North Ave, #028, Alexandria, VA 22303 |
| 3  | Kim Jones        | 6141 Forest Lane Alex, VA 22315            |
| 4  | Jim Lepak        | 40 S. VAN DUSEN, ALEXANDRIA, VA 22304      |
| 5  | Holly Richards   | 1327 Wythe Street, Alexandria VA 22314     |
| 6  | William Ford     | 1612 Crestwood, Alexandria, VA 22302       |
| 7  | Maria Medrano    | 2516 Bellevue av. alexandria VA 22303      |
| 8  | P. Lor Fernandez | 5205 COTTINGHAM PL ALEXANDRIA VA. 22304    |
| 9  | Jenna Byrne      | 2704 Central Ave. Alex VA 22302            |
| 10 | KATH             | 3908 Seminary Rd Alex VA 22304             |
| 11 | Eric Anderson    | 3415 HAZARD DR Alex 22305                  |
| 12 | Bambi Coral      | 3401 Cameron Mills Rd Alex 22305           |
| 13 | James Walpole    | 1008 W. Taylor, Propkwy Alex. VA 22304     |

|    |                   |   |
|----|-------------------|---|
| 14 | Cathleen Walpole  | 1008 W Taylor Run, Alex VA 22302          |
| 15 | Mark Walpole      | 1734 Price St Alexandria VA 22301         |
| 16 | Jennifer Walpole  | 1734 Price St Alexandria VA 22301         |
| 17 | Anna Jones        | 1718 W Angdon Dr #301 Alexandria VA       |
| 18 | Lorran Lloyd      | 208 W. Payne St. VAlex VA 22314           |
| 19 | Joe Byn           | 1299 Rucker Hall Dr. Alexandria, VA 22314 |
| 20 | Will Gendle       | 132 Roberts Lane Alexandria, VA 22314     |
| 21 | Agnes Valdez      | P.O. BOX 150214 Alexandria, VA 22315      |
| 22 | Ken Jacques       | 906 Green St. Alex, VA 22314              |
| 23 | Elise Jacques     | 906 Green St. Alex, VA 22314              |
| 24 | Mimi Eshetu       | 334 S. Whiting, Alex, VA 22304            |
| 25 | Kevin Shelledy    | 410 E Royan, Alex VA 22301                |
| 26 | Kay D. Wuchitch   | 408 N. UNION 22314                        |
| 27 | Elizabeth Reno    | 408 N. Union St 22314                     |
| 28 | Laure Henry       | 54 Garden Drive Alex, Va 22304            |
| 29 | Donald Sharland   | 60 GARDEN DR. ALEX, VA 22304              |
| 30 | Ann Sharland      | 60 Garden Dr Alex, Va 22304               |
| 31 | Sarefina Spang    | 56 garden Dr Alex Va 22304                |
| 32 | Tran Nguyen       | 56 Garden Dr. Alex. Va. 22304             |
| 33 | Tran Nguyen       | 159 King St. Alex Va 22314                |
| 34 | Rita Molleur      | 115 Quay St Alex Va 22314                 |
| 35 | Shirley Ann Spang | 121 Quay St, Alexandria VA 22314          |
| 36 | Elle S Spang      | 121 Quay St, Alexandria, VA 22314         |

|    |                   |                                 |       |
|----|-------------------|---------------------------------|-------|
| 37 | Susan Lancaster   | 118 Quincy St., Alexandria, VA  |       |
| 38 | Marissa McGinnis  | 52 Garden Drive, Alexandria, VA | 22304 |
| 39 | Ky Thompson       | 44 GARDEN DR ALEX VA            | 22304 |
| 40 | E. King           | 36 Garden Dr Alex VA            | 22304 |
| 41 | Gretchen McGinnis | 4118 USHER AVENUE ALEXANDRIA VA | 22304 |
| 42 | John A Moriarty   | 50 Garden Dr. Alex. VA          | 22304 |
| 43 | Sarah Moriarty    | " "                             |       |
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*Beautifully designed. Masterfully engineered.*

## Elevette® Home Elevator

### No other manufacturer offers more custom features.

"Custom" is standard at Inclinator. We hand-craft each Elevette home elevator, so making it truly unique is easy. Select from five car styles, then begin customizing.

America's Number One Brand of home elevator.

- Custom sizes up to 15 sq. ft.
- Door openings on 1, 2 or 3 sides
- Nearly all wood species available
- Stained or painted in factory or on-site
- In-shaft or no shaft
- Install in new home or add to existing home

## Car Styles



## Elevette® 500

Metal frame with acrylic panels

(Machine Room elevator only)

(Click image for a larger view)



10  
5-16-09  
- submitted by  
Duncan Blair

## Elevette® 400

Solid wood with hardwood veneer raised or recessed center panels

(Machine Room or Machine Roomless elevator)

(Click image for a larger view)



## Elevette® 300

Smooth hardwood center panels with crown, chair, baseboard and picture molding

(Machine Room or Machine Roomless elevator)

(Click image for a larger view)



## Elevette® 200

Smooth hardwood veneer panels with square, flush corners

(Machine Room or Machine Roomless elevator)

(Click image for a larger view)



## Elevette® 100

Aluminum frame with hardwood veneer or laminate veneer snap-in panels

(Machine Room elevator only)

(Click image for a larger view)

## Shaft Configuration



## No Shaft

Inclinator's machine room elevators can be installed in an "open" environment – running up the center of open winding stairs, next to stairways and where no stairs exist. Elevette 500 car style is used for no shaft elevators.

Consult local codes.



## In-Shaft

Most Inclinator elevators operate within an enclosed shaft. Occasionally, shafts are designed into projects and saved for future elevator installation. Prior to use as an elevator shaft, it can be used as closets stacked on top of each other. Elevette 400, 300, 200 and 100 car styles are used for in-shaft elevators.



Consult local codes.

## Drive Systems

### Machine Room Elevators



### Cable Drum Drive

- Quietest in the industry
- Soft start enhancement
- Patented monorail guiding system
- 500 lb. and 750 lb. capacity
- Can accommodate car size up to 12 sq. feet.



### Hydraulic Drive

- Smooth, quiet ride
- Patented monorail guiding system
- 750 lb. and 950 lb. capacity
- Can accommodate car size up to 15 sq. feet.

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## Car Operating Stations for Machine Room Elevators

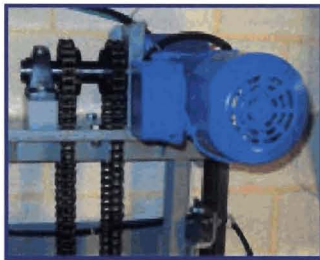


Each elevator includes a Car Control Station. The faceplate will vary depending on finish selected and the number of elevator landings. A Remote Station is placed on each landing by the elevator door.

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## Machine Roomless Elevators

Historically, home elevators included a machine room that housed the drive system. This was a closet-sized room that was usually located at the lowest point of the elevator. Inclinator offers a drive system that is housed entirely in the hoistway (elevator shaft). This eliminates the need for a machine room, thereby taking up less square footage and reducing construction and installation costs.



## Gear Motor Chain Drive

- Simple and reliable
  - Chain for raising/lowering
  - 950 lb. capacity
  - Can accommodate car size up to 15 sq. feet.
  - Double rail chassis
  - Microprocessor-based controller
  - Self-diagnostic
- 

## Car Operating Stations for Machine Roomless Elevators



Each elevator includes a Car Control Station. The faceplate will vary depending on finish selected and the number of elevator landings. A Remote Station is placed on each landing by the elevator door.

---

**Inclinator Company of America**

601 Gibson Boulevard • Harrisburg, PA 17104-1557

**Phone: 717-939-8420**

**Toll-Free: 800-343-9007 (Eastern Time)**

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Inc.



SPEAKER'S FORM

DOCKET ITEM NO. 10

**PLEASE COMPLETE THIS FORM AND GIVE IT TO THE CITY CLERK  
BEFORE YOU SPEAK ON A DOCKET ITEM**

PLEASE ANNOUNCE THE INFORMATION SPECIFIED BELOW PRIOR TO SPEAKING.

1. NAME: Michael A. Matthews
2. ADDRESS: 104 Southpoint Drive, Williamsburg, VA
- TELEPHONE NO. 757-220-0465 E-MAIL ADDRESS: MMATTHEWS@THESTRUCTURESGroup.COM
3. WHOM DO YOU REPRESENT, IF OTHER THAN YOURSELF? Mrs Forester 115 Prince St

4. WHAT IS YOUR POSITION ON THE ITEM?

FOR: \_\_\_\_\_ AGAINST: ☒ OTHER: \_\_\_\_\_

5. NATURE OF YOUR INTEREST IN ITEM (PROPERTY OWNER, ATTORNEY, LOBBYIST, CIVIC INTEREST, ETC.):

Structural Engineer For Neighbors

6. ARE YOU RECEIVING COMPENSATION FOR THIS APPEARANCE BEFORE COUNCIL?

YES ☒ NO \_\_\_\_\_

This form shall be kept as a part of the permanent record in those instances where financial interest or compensation is indicated by the speaker.

A maximum of three minutes will be allowed for your presentation, except that one officer or other designated member speaking on behalf of each *bona fide* neighborhood civic association or unit owners' association desiring to be heard on a docket item shall be allowed five minutes. In order to obtain five minutes, you must identify yourself as a designated speaker, and identify the neighborhood civic association or unit owners' association you represent, at the start of your presentation. If you have a prepared statement, please leave a copy with the Clerk.

Additional time not to exceed 15 minutes may be obtained with the consent of the majority of the council present; provided notice requesting additional time with reasons stated is filed with the City Clerk in writing before 5:00 p.m. of the day preceding the meeting.

The public normally may speak on docket items only at public hearing meetings, and not at regular legislative meetings. Public hearing meetings are usually held on the Saturday following the second Tuesday in each month; regular legislative meetings on the second and fourth Tuesdays in each month. The rule with respect to when a person may speak to a docket item at a legislative meeting can be waived by a majority vote of council members present but such a waiver is not normal practice. When a speaker is recognized, the rules of procedures for speakers at public hearing meetings shall apply. If an item is docketed *for public hearing* at a regular legislative meeting, the public may speak to that item, and the rules of procedures for speakers at public hearing meetings shall apply.

In addition, the public may speak on matters which are not on the docket during the Public Discussion Period at public hearing meetings. The mayor may grant permission to a person, who is unable to participate in public discussion at a public hearing meeting for medical, religious, family emergency or other similarly substantial reasons, to speak at a regular legislative meeting. When such permission is granted, the rules of procedures for public discussion at public hearing meetings shall apply.

Guidelines for the Public Discussion Period

(a) All speaker request forms for the public discussion period must be submitted by the time the item is called by the city clerk.

(b) No speaker will be allowed more than three minutes; except that one officer or other designated member speaking on behalf of each *bona fide* neighborhood civic association or unit owners' association desiring to be heard during the public discussion period shall be allowed five minutes. In order to obtain five minutes, you must identify yourself as a designated speaker, and identify the neighborhood civic association or unit owners' association you represent, at the start of your presentation.

(c) If more speakers are signed up than would be allotted for in 30 minutes, the mayor will organize speaker requests by subject or position, and allocated appropriate times, trying to ensure that speakers on unrelated subjects will also be allowed to speak during the 30 minute public discussion period.

(d) If speakers seeking to address council on the same subject cannot agree on a particular order or method that they would like the speakers to be called on, the speakers shall be called in the chronological order of their request forms' submission.

(e) Any speakers not called during the public discussion period will have the option to speak at the conclusion of the meeting, after all docketed items have been heard.

## SPEAKER'S FORM

DOCKET ITEM NO. 10

**PLEASE COMPLETE THIS FORM AND GIVE IT TO THE CITY CLERK  
BEFORE YOU SPEAK ON A DOCKET ITEM.**

**PLEASE ANNOUNCE THE INFORMATION SPECIFIED BELOW PRIOR TO SPEAKING.**

1. **NAME:** Duncan W. Blair, Esquire
2. **ADDRESS:** 524 King Street, Alexandria, Virginia 22314  
**TELEPHONE NO.** 703 836-1000 **E-MAIL:** dblair@landclark.com
3. **WHOM DO YOU REPRESENT, IF OTHER THAN YOURSELF?**  
Karl and Lydia Svoboda
4. **WHAT IS YOUR POSITION ON THE ITEM?**  
Against
5. **NATURE OF YOUR INTEREST IN ITEM (PROPERTY OWNER, ATTORNEY,  
LOBBYIST, CIVIC INTEREST, ETC.):**  
Attorney
6. **ARE YOU RECEIVING COMPENSATION FOR THIS APPEARANCE BEFORE  
COUNCIL?**  
Yes

This form shall be kept as a part of the permanent record in those instances where financial interest or compensation is indicated by the speaker.

A maximum of three minutes will be allowed for your presentation, except that one officer or other designated member speaking on behalf of each *bona fide* neighborhood civic association or unit owners' association desiring to be heard on a docket item shall be allowed five minutes. In order to obtain five minutes, you must identify yourself as a designated speaker, and identify the neighborhood civic association or unit owners' association you represent, at the start of your presentation. If you have a prepared statement, please leave a copy with the Clerk.

Additional time not to exceed 15 minutes may be obtained with the consent of the majority of the council present; provided notice requesting additional time with reasons stated is filed with the City Clerk in writing before 5:00 p.m. of the day preceding the meeting.

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