

EXHIBIT NO. 1

15
9-17-11

Docket Item #
BAR CASE # 2011-0182 and
2011-0183

City Council
September 17, 2011

ISSUE: Appeal of a decision of the Board of Architectural Review, Old and Historic Alexandria District, approving a Permit to Demolish and Certificate of Appropriateness for alterations

APPLICANT: Janice Cuny and Steve Robinson

APPELLANT: Billie Schaeffer and John Williams, on behalf of petitioners

LOCATION: 329 North Saint Asaph Street

ZONE: RM/Residential



BAR CASE #2011-0182 & 0183

**BAR Hearing Date: 7/20/2011
City Council Date: 9/17/2011**



I. SUMMARY

Issue:

- Neighboring property owners have appealed a decision of the Old and Historic Alexandria Board of Architectural Review (BAR) made on July 20, 2011 to approve a Permit to Demolish and a Certificate of Appropriateness for exterior alterations to the townhouse located at 329 North Saint Asaph Street. The appellants state that the proposed alterations are incompatible with the neighboring properties and will negatively impact the row of townhouses on the 300 block of North Saint Asaph Street. Many of the townhouses in the 300 block of North Saint Asaph Street were constructed in the nineteenth century, though some were substantially altered and remodeled in the 1960s and 1970s by Marianne “Polly” Hulfish, founder and President of Old Alexandria Restoration Inc. Ms. Hulfish restored six of the 14 houses on this block face.
- The subject property was originally constructed between 1891 and 1896 as a freestanding Second Empire Victorian style townhouse. In 1965, the townhouse underwent substantial alteration, to reflect an earlier, Colonial period building. The 1965 changes included: relocation of the front door from the left bay to the center bay, changing the original shed roofline to a side gable roof, construction of a dentiled cornice, installation of a new chimney and replacement of all original windows, siding and trim. BAR Staff has determined that little, if any, original material remains today and considers this to essentially be a well-proportioned and appropriately detailed townhouse that reflects a Colonial architectural style favored in Alexandria in the late 20th century.
- The present application was heard before the BAR at the July 20, 2011 hearing. The application evolved over time in response to comments from Staff and to address concerns raised by the neighbors prior to hearing. Staff recommended approval of the application and the Board approved the proposal, finding all of the alterations and minor demolition to be appropriate in conformance with Standards set forth in the Zoning Ordinance and consistent with the *Design Guidelines*.
- The Board found the proposed alterations to be modest in scale and appropriate to the existing house and surrounding neighborhood. The Board found that the changes did not compromise the architectural integrity of the townhouse design nor detract from the restoration work of Polly Hulfish. Ms. Hulfish restored less than half of the townhouses on this block face and minor changes to the front of this particular townhouse will not adversely alter a unified composition of her work. While several Board members commented that any alterations should be sensitive to and compatible with existing buildings and their context, they also noted that buildings must evolve to meet contemporary needs and specifically stated that the Old and Historic Alexandria District was not frozen in time. There was concern about the precedent that could be set for the entire district by denying any changes to a building whose significance dated to 1965. The intrinsic value of the extensive restoration work done throughout the district by Polly Hulfish in the 1960s was noted by the Board but they generally found that the scope of this project did not detract from Ms. Hulfish’s rehabilitation work.

- On appeal, Council must decide whether the proposed changes are appropriate and consistent with the standards and criteria in the Zoning Ordinance (Sec. 10-105(A)(2) and Sec. 10-105(B)) and the *Design Guidelines*. Council may uphold, overturn, or amend the Board's decision, in whole or in part, or remand the case to the Board for further action. Staff continues to find that the proposed alterations are appropriate to this townhouse and compatible with the surrounding area.

Recommendation: Council should support the July 20, 2011 decision of the Old and Historic Alexandria District Board of Architectural Review by denying the appeal.

II. APPLICATION TO THE BAR

The application evolved over time in response to comments from Staff and the neighbors. Initial proposals showed more windows on the south elevation which Staff discouraged. In addition, after submitting the application and sharing the plans with the neighbors, the applicant revised portions of the application to address neighbors' concerns before the hearing, including relocation of two HVAC units.

The application before the Board of Architectural Review at the July 20, 2011 hearing included the following requests:

Permit to Demolish/Encapsulate

- Enclose (encapsulate) the existing rear porch on the south elevation with two new windows and a door.
- Demolish small portions of the south (side) and east (rear) elevations for new and resized window and door openings.

Alterations¹

- Relocate front door and stoop from center bay to original location at the northernmost bay on the west (front) elevation. The front stoop design and railing will be reused. A six panel mahogany door with two lights at the top is proposed. A copper lantern is also proposed.
- Enclose existing rear porch with two new windows and door.
- New rear deck off enclosed porch on south (side) elevation to measure approximately 9' by 5'-7" to replace existing stairs from open porch to yard. The deck will have a wood handrail to match the existing stair railing. (deck itself is not visible but the handrail of the deck will be minimally visible)
- Install one new window and shift two existing window locations on the south (side) elevation. Reduce size of existing window on east (rear) elevation at second story and replace with a casement window (minimally visible from public right-of-way).

¹ Only those alterations that are visible from the public right of way are within the jurisdiction of the BAR, and thus before Council on appeal. All of the proposed alterations, including those not visible from the right of way, were listed in the application for a full understanding of all of the work proposed. Only those decided by the BAR and before Council on appeal are listed here. However, the BAR reviews all demolition over 25 square feet, regardless of visibility. Therefore, in this case, there are certain elements for which the BAR reviewed the proposed demolition but not the actual alteration.

- Replace all existing windows with simulated divided light double-glazed wood windows and install shutters on front elevation. This element could have been approved administratively, but the applicant chose to have it be considered as part of the overall application.

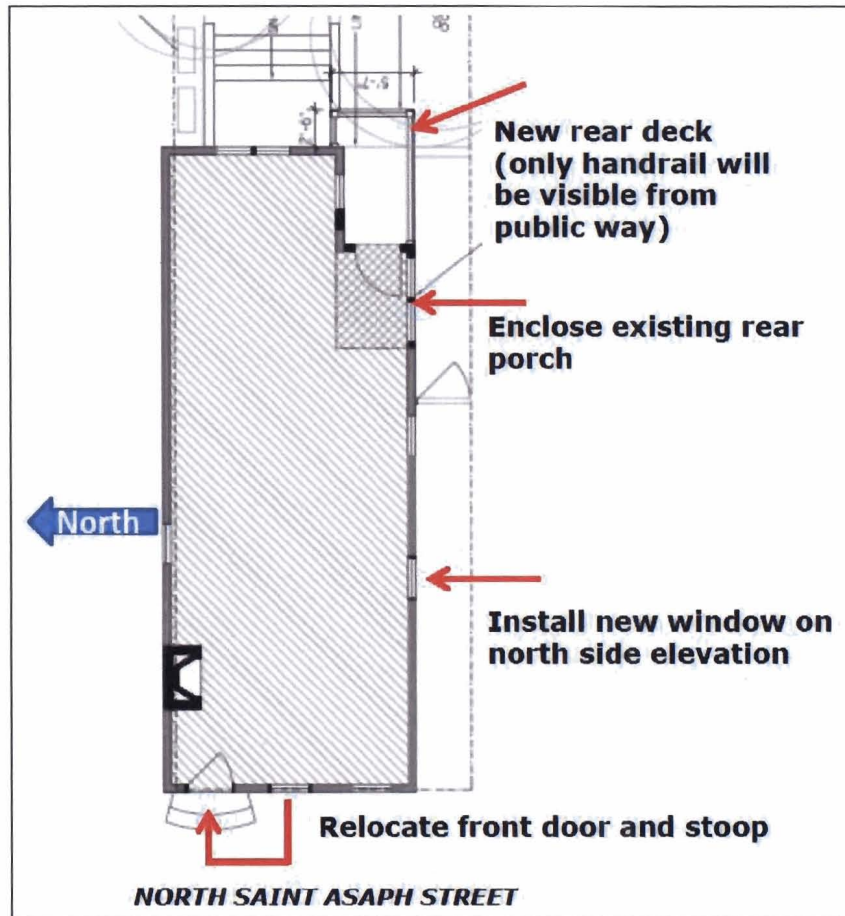


Figure 1. Plan showing proposed alterations.

III. STANDARDS

The purview of the Board and the Council on appeal for the Certificate of Appropriateness is that specifically limited under Section 10-105(A)(1) which states that:

“the Old and Historic Alexandria District board of architectural review or the city council on appeal shall limit its review of the proposed ... alteration ... of a building ...to [its] exterior architectural features...[and] shall review such features ... for the purpose of determining the compatibility of the proposed construction ... with the existing building... itself ... and with the Old and Historic District area surroundings...”

To determine compatibility of a project, the Board uses both the Zoning Ordinance Standards of Section 10-105 (A) (2) and the *Design Guidelines* adopted in 1993.

Section 10-105(A) (2) of the Zoning Ordinance includes the Standards by which the Board, and Council on appeal, must limit their review on the appropriateness of alterations of buildings and structures, and includes the relevant Standards:

- (a) Overall architectural design, form, style and structure, including but not limited to, the height, mass and scale of buildings or structures;
- (b) Architectural details, including, but not limited to, original materials and methods of construction, the pattern, design, and style of fenestration, ornamentation, lighting, signage, and like decorative or functional fixtures of buildings or structures; the degree to which the distinguishing original qualities or character of a building, structure or site (including historical materials) are retained;
- (c) Design and arrangements of buildings and structures on the site; and the impact upon the historic setting, streetscape or environs;
- (d) Texture, material, and color, and the extent to which any new architectural features are historically appropriate to the existing structure and adjacent existing structures;
- (e) The relation of the features in this sections 10-105(A)(2)(a) through (d) to similar features of the preexisting building or structure, if any, and to buildings and structures in the immediate surroundings.

The premise of Section 10 of the Zoning Ordinance is that buildings in the historic district will be changed, altered, restored or added on to over time. The Board's responsibility is to ensure that when such changes occur, that they be compatible and appropriate both to the specific property for which a request is made and to the district as a whole.

The *Design Guidelines* most relevant to the project at 329 North Saint Asaph Street are the chapters related to: *Use of the Design Guidelines, Porches and Doors*. (Attachment E)

For a Permit to Demolish/Encapsulate, Section 10-105(B) requires the Board and City Council to assess the importance of the historic materials that will be lost if demolition were allowed. (See full text of Sec. 10-105 (A)(1), (A)(2), and (B) of the Zoning Ordinance and applicable *Guidelines*, Attachments D and E.)

IV. DECISION OF THE BAR

The Board found the proposed alterations to be modest in scale and appropriate to the existing house and surrounding buildings of historic merit. While several Board members commented that any alterations should be sensitive to and compatible with existing buildings and their context, they also noted that buildings evolve and specifically stated that the historic district was not frozen in time. There was concern about the precedent that could be set by denying any

changes to a building that had already been significantly altered and had very little historic fabric remaining.

The basis for the neighbors' appeal is that the proposed alterations will alter the historic character of the house and will negatively affect the surrounding buildings. In particular, it was pointed out that this block face is regularly shown in publications as a representation of the colonial charm of Old Town. However, the Board found that the proposed alterations were appropriate and that they would not detract from nearby buildings of historic merit. The Board found that none of the criteria for demolition in Section 10-105(B) were met and that the application met the Standards outlined in Section 10-105 (A)(2). (See Attachment D).

The Board noted the value and importance of the preservation and restoration work done by Marianne "Polly" Hulfish to restore not only 329 North Saint Asaph Street, but also many houses throughout the district that would have otherwise likely suffered demolition by neglect. However, as noted by the Board, Ms. Hulfish herself did not adhere to strict preservation or restoration standards as she converted Victorian period townhouses into earlier Federal or Colonial Revival style buildings to make them appear 100 years older than they are. Her work often involved the removal of significant amounts of what would today be considered historic material (siding, doors, windows, roofs) and substantial renovation (adding door surrounds, new cornices, changing roof forms, and the like). Ms. Hulfish's restoration work reflects her interpretation of the post-Williamsburg, Colonial Revival architectural movement of the 1960s and documents an important phase of the growth and development of the Old and Historic Alexandria District.

The proposed alterations for 329 North Saint Asaph Street are typical of changes that the Board regularly approves throughout the historic district and are representative of how historic buildings are thoughtfully altered to accommodate modern needs. The Board noted that the 300 block of North Saint Asaph Street did have special qualities but, as noted by several Board members at the July 20, 2011 hearing, the historic district is not a museum and is not frozen in time. Rather, thoughtful and sensitive alterations and changes are made to buildings regularly and permit the continued use and adaptation of historic buildings for contemporary needs. The Board reviews applications to ensure that they are appropriate and compatible. The types of changes proposed in this case are more modest and discreet than many applications which come before the Board. Although some of the proposed changes, such as relocating the front door to its original location and installing a new window on the south elevation, will be plainly visible from North Saint Asaph Street, they are appropriate changes which do not adversely affect the overall design. Further, in this particular case, due to the extensive 1965 restoration, there is little concern for the loss of original historic materials. Thus as an overall matter, as well as related to the individual elements of the application, the proposal meets the BAR's criteria for approval.

Findings on Specific Proposals

Relocation of Front Door and Stoop

The Board found that the relocation of the front door and stoop to its original location will not negatively affect this townhouse or the work of Ms. Hulfish. There are very few examples of three-bay residences with a center entrance because it can result in an awkward interior layout. The historic rationale behind a side entry for a three-bay townhouse is that it allows more efficient furniture placement in the main room and for the entry door to be aligned with the side stair case, typically opposite the fireplace. The modest size of most three-bay townhouses necessitates this efficient use of space.

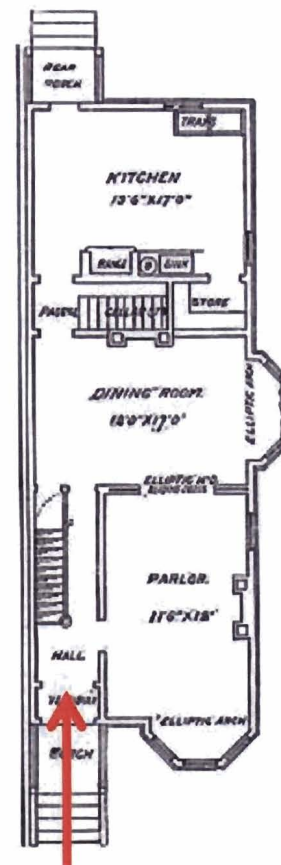
The moving of the front door back to its original position is one of the neighbors' primary concerns because it is a clear departure from the 1960s renovation by Ms. Hulfish. Neighbors are also concerned because of the effect on the overall streetscape of this block. On the other hand, although one Board member did not find the relocation of the front door to be necessary, others found it to be an improvement. Overall the Board supported this alteration finding that it supported Section 10-105(A)(2)(b) and (e) by returning to the "distinguishing original qualities or character of a building" and relating "to similar features of the preexisting building...and to buildings...in the immediate surroundings." The Board did place a condition that the applicant work with Staff to select a more appropriate light fixture and to not use gas jet lamps.

Enclosure of Existing Rear Porch

The enclosure of an existing porch, on the side or rear of a property is a common and typical alteration throughout the historic districts and seen on a range of properties from various time periods. It is one of the most effective ways to gain additional floor area without expanding a building's footprint or massing. Historically, enclosed porches were often used as sleeping porches and mud rooms. In this case, the existing porch is modest, measuring 7' by 5', and will be enclosed on one side by the addition of two windows and on another side by the addition of a French door. The roof will not change and this feature will still read as a "porch," albeit enclosed rather than open. The porch is minimally visible from a public right-of-way.

Neighbors voiced concern about the enclosed rear porch proposed because it would change the appearance of the rear of the house. The Board supported the enclosure of the porch finding that the "design...and impact upon the historic setting and streetscape or environs" to be appropriate and consistent with historic patterns of development (Section 10-105(2)(c)). In addition, the Board found that the enclosed porch, as a new architectural feature, was "historically appropriate to the existing structure and adjacent existing structures," as identified in Section 10-105(A)(2)(d). The Board found that although the proportion of the enclosing windows needed further

Figure 2. Typical historic townhouse floor plan. Source: www.victoriana.com



refinement, this improvement could be handled by Staff during the building permit review process. The Board had no objection to the “capsulation” of this feature and found it did not meet any of the criteria in Section 10-105(B) regarding the issuance of a permit to move, remove, capulate or demolish.

Rear Deck

Adjacent to the enclosed porch will be a deck measuring 9’ by 5’-7”. This deck will not be visible from a public right-of-way and its railing, while minimally visible, will match the existing stair railing. The adjacent neighbors objected to the deck in its entirety as they perceived a loss of privacy and thought it to be more of a suburban style element. The Board found that the wooden handrail, similar to the existing stair handrail, was appropriate with respect to “texture, material and color,” as noted in Section 10-105(A)(2)(d).

New Window on South Side Elevation/Change Existing Window on East Rear Elevation

The addition of a window and resizing of an existing window on a side or rear elevation are common alterations reflective of changing use of interior space over time. The proposed new window is consistent with the existing window pattern and type found on this building. Neighbors objected to this new element claiming that it altered Hulfish’s intention in her 1960s redesign. No Board member was concerned with these changes finding that they were appropriate and retained “distinguishing original qualities” of the building as a whole as prescribed in Section 10-105(A)(2)(b).

Replacement Windows

The Board had no objection to the replacement of all the existing, non-historic windows with the proposed double-glazed, simulated divided light wood windows, finding the proposed replacement windows to be in conformance with the recently adopted Window Policy. The neighbors likewise did not criticize this portion of the application. The Board did note that shutters must be operable and sized to fit the opening to be in conformance with the *Design Guidelines*.

Demolition of minor areas

The proposal involves the demolition of small areas on the south (side) and east (rear) elevation to accommodate new window openings (only one new window is visible from public right-of-way, basement windows are not visible and therefore BAR only approves area of demolition) and resize existing an existing opening. The Board had no objection to this selective demolition and found that none of the criteria of Section 10-105(B) (see Attachment D) were met noting that the proposed demolition was minimal in scope and located on secondary elevations.

City Council Action Alternatives:

Council may affirm, reverse, or modify the decision of the Board of Architectural Review, in whole or in part, using the criteria for approval a Permit to Demolish and a Certificate of Appropriateness in §10-105(A)(2) and 10-105(B) of the Zoning Ordinance. City Council may also remand the project to the Board with instructions to consider alternatives.

V. RECOMMENDATION

Staff recommends that Council uphold the July 20, 2011 decision of the Old and Historic Board of Architectural Review by denying the requested appeal.

Attachment A: BAR Staff Report with board action from July 20, 2011 hearing

Attachment B: Application Submission

Attachment C: "The Work of Marianne (Polly) Hulfish in the Old and Historic Alexandria District" by Peter H. Smith

Attachment D: Zoning Ordinance: Sec. 10-105 (A)(1), (A)(2), and (B)

Attachment E: Design Guidelines: Chapters on *Use of the Design Guidelines, Porches and Doors*

Attachment F: Correspondence

STAFF: Faroll Hamer, Director, Department of Planning & Zoning
Barbara Ross, Deputy Director, Department of Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning
Catherine Miliaras, Historic Preservation Planner, Planning & Zoning

VI. IMAGES



Figure 3: 329 North Saint Asaph, west (front) elevation.

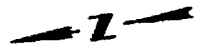
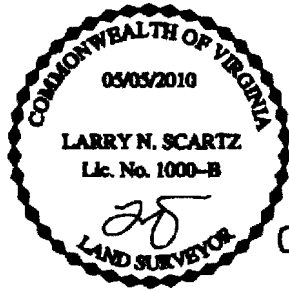


Figure 4: South (side) elevation and shared alley showing the existing open porch in the rear.

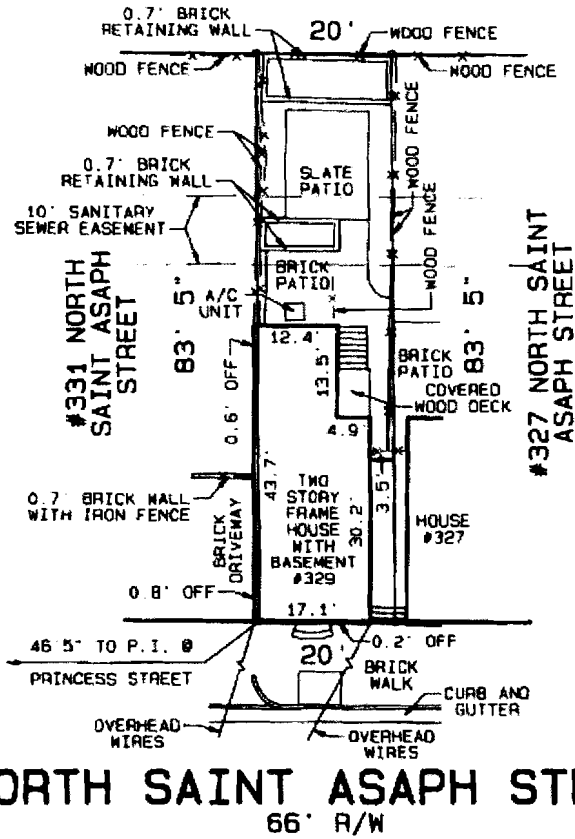


Figure 5: East (rear) elevation as viewed from Princess Street.

COPYRIGHT SCARTZ SURVEYS - THIS IS A SERVICE DOCUMENT AND IS VALID FOR SIX MONTHS FROM DATE ISSUED
THIS SURVEY WAS PERFORMED ACCORDING TO THE STANDARDS SET FORTH IN VIRGINIA CODE SECTION 54.1-407.



CARRIAGE SQUARE WEST 1



NORTH SAINT ASAPH STREET 66' R/W

PHYSICAL IMPROVEMENTS SURVEY
ON THE PROPERTY LOCATED AT
#329 NORTH SAINT ASAPH STREET
CITY OF ALEXANDRIA, VIRGINIA
SCALE: 1"=20' DATE: MAY 5, 2010

Figure 6: Plat.

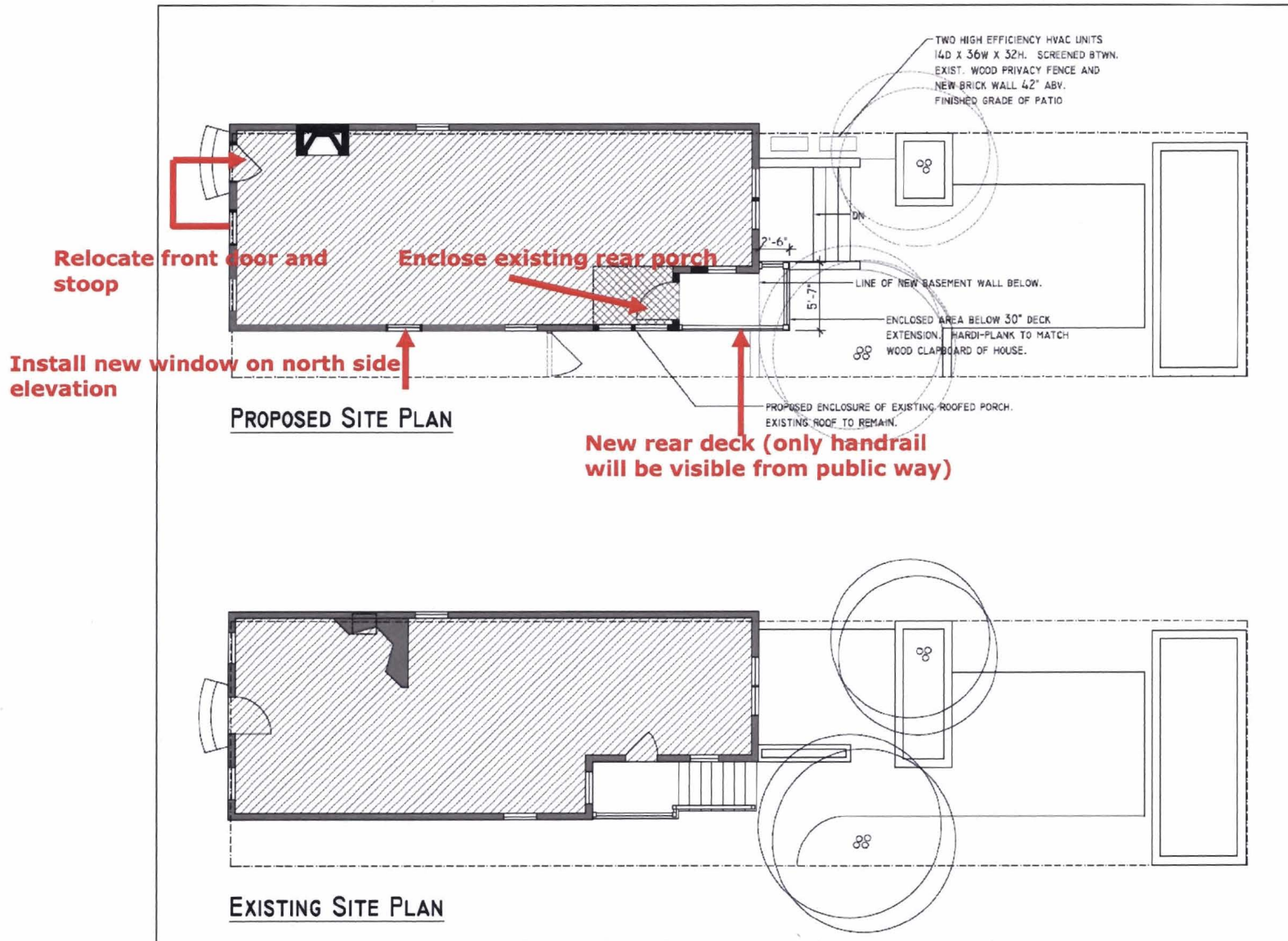


Figure 7: Existing and proposed site plan.



Figure 8: Existing and proposed west (front) elevation.



Figure 9: Existing south (side) elevation.



Figure 10: Proposed south (side) elevation with proposed new windows shown surrounded by red lines.

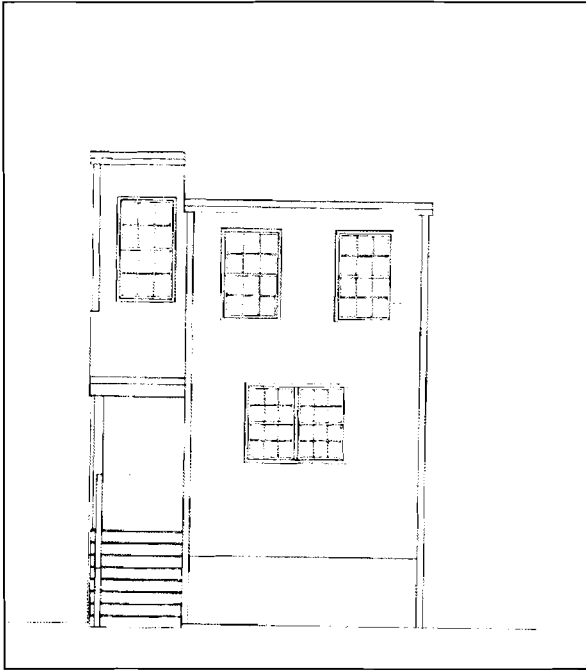


Figure 11: Existing east (rear) elevation.

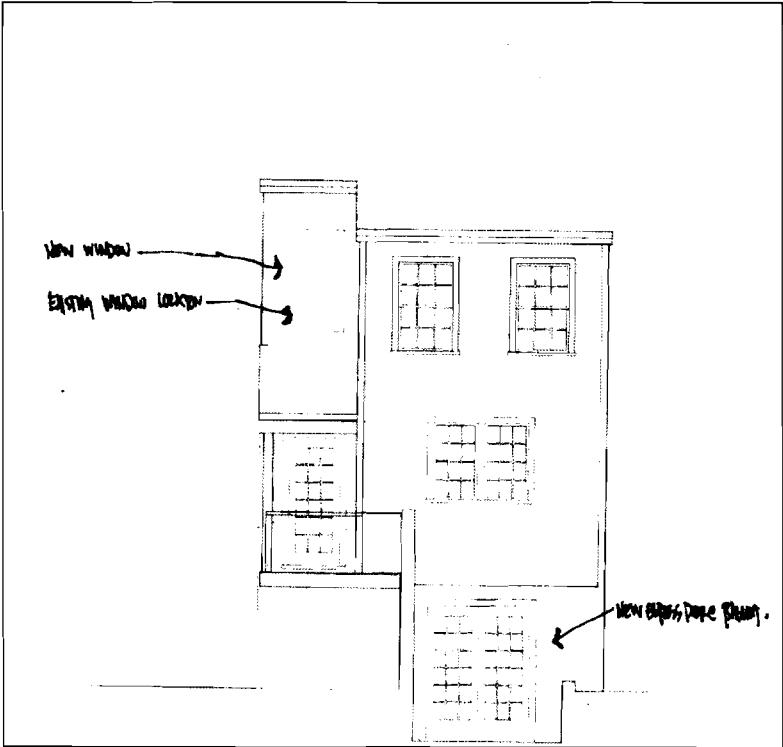


Figure 12: Proposed east (rear) elevation. New basement doors not visible from public right-of-way.

Docket Item # 4 & 5
BAR CASE # 2011-0182 &
2011-0183

BAR Meeting
July 20, 2011

ISSUE: Permit to Demolish/Encapsulate and Alterations
APPLICANT: Janice Cuny & Steve Robinson by Tom Canning
LOCATION: 329 North Saint Asaph Street
ZONE: RM / Residential

BOARD ACTION, July 20, 2011: Approved, as amended, by a roll call vote 4-1.

CONDITIONS OF APPROVAL

1. The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
 - a. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
 - b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.
2. That the applicant provide complete window specifications for the replacement windows and doors to verify conformance with Alexandria Replacement Window Policy at the time of building permit application.
3. That the proposed shutters be wood, sized to fit each window and operable.
4. That no gas get lamps be used and that a more appropriate light fixture be used with final approval by staff; and
5. That the applicant work with Staff on the final details of the enclosed porch design.

SPEAKERS

Hope Canning, project designer, agreed with the staff recommendations and spoke in support of the application.

Billie Schaeffer, neighbor at 327 North Saint Asaph Street, spoke in opposition to the proposed alterations.

John Williams, neighbor at 327 North Saint Asaph Street, spoke in opposition to the proposed alterations.

Whitney and Jaime Steve, neighbors at 325 North Saint Asaph Street, spoke in opposition to the proposed alterations.

Dan Nelson, neighbor at 403 North Saint Asaph Street, spoke in opposition to the proposed alterations.

John Kester, neighbor at 313 North Saint Asaph Street, spoke in opposition to the proposed alterations.

Thor Ronay, neighbor at 328 North Pitt Street, spoke in opposition to the proposed alterations.

Mary Theresa Vasquez, neighbor at 317 North Saint Asaph Street, spoke in opposition to the proposed alterations.

The above neighbors expressed concern that the proposed alterations would negatively affect this blockface and the restoration work done by Polly Hulfish in the 1960s.

John Hynan, representing the Historic Alexandria Foundation, commented that this case was very different from the case before the Board in 2007 to do an addition on the rear of one of the townhouses in the 300 block of North Saint Asaph. He noted that the applicant and the neighbor's arguments both have merit but that the final decision rests with the Board.

Janice Cuny, applicant, agreed with the staff recommendations and spoke in support of the application. Ms. Cuny provided photographic evidence of the overwhelming number of houses on the block and in the surrounding area that have an entry at the side of the façade, rather than in the center. She explained that their intention was to improve the property through these alterations. Ms. Cuny stated that she shared copies of the plans with neighbors and sent additional letters beyond what was required by legal notice. She expressed frustration that some neighbors had told her that they did not object to the plans previously but then were speaking in opposition. Ms. Cuny explained that they revised the plans to address concerns from the neighbors.

Steve Robinson, applicant, spoke in support of the staff recommendations and noted that many of the topics raised at the hearing were not relevant to the application and beyond the scope of the Board's purview.

BOARD DISCUSSION

Mr. Smeallie stated that there is something special about this block, Hulfish Row, and that it should be preserved, but that it should not be frozen in time. He noted that Polly Hulfish significantly changed these houses and that they were not pristine 18th- or 19th-century houses. While he did not support radical changes, he found moving the door to the side to be an improvement and did not object to the new window on the south elevation. However, he did not support enclosing the rear porch or adding a deck.

Mr. von Senden stated that this case was interesting because the period of significance was the period of renovation rather than the first period of construction. He stated that this was not Williamsburg and houses in Old Town should not be frozen in time. Mr. von Senden commented that there was no real reason to move the door. He had no objection to the rear porch but noted that it could use further refinement and detailing, such as aligning the sills with the adjacent existing windows. He objected to the use of the gas jet light as it was not appropriate to either date, was environmentally wasteful and did not provide any real light. He noted that construction noise was not a BAR issue.

Mr. Neale stated that all buildings get altered over time and that we should not fear altering buildings but that changes must be sensitive. He found that the proposed changes were generally sensitive and included minimal work. He agreed that the back porch needed further refinement.

Mr. Carlin acknowledged this case was an emotional one and he understood the heritage aspect. He noted that some houses were changed significantly and that some retained original materials and fixtures. He observed that many houses and rows of house were converted, altered and restored in the past and estimated that 200-300 no longer had any historic fabric left. He expressed concern that denial of the proposed changes could set a bad precedent in the historic district that might prevent any future alterations to buildings that had already been altered. In addition, he noted the changes in this project were modest in scope and that it was typical to have a storm porch/mudroom.

Mr. von Senden made a motion to approve the application with the staff recommendations and two additional conditions: #4) that no gas jet lamps are used and that a more appropriate light fixture be used with final approval by staff and, #5), that the applicant work with staff on the final details for the enclosed porch design.

Mr. Neale seconded the motion, which was approved 4-1 by a roll call vote, with Mr. Smeallie voting in opposition.

REASON

The Board found the proposed alterations to be modest in scale and appropriate to the existing house and surrounding neighborhood. While several Board members commented that any alterations should be sensitive to and compatible with existing buildings and their context, they also noted that buildings evolve and specifically stated that the historic district was not frozen in time. There was concern about the precedent that could be set by denying any changes to a building that had already been significantly altered and had very little historic fabric remaining.

STAFF RECOMMENDATION, July 20, 2011: Staff recommends approval of the application with the following conditions:

1. The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
 - a. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in

the area of the discovery until a City archaeologist comes to the site and records the finds.

- b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.
2. That the applicant provide complete window specifications for the replacement windows and doors to verify conformance with Alexandria Replacement Window Policy at the time of building permit application.
3. That the proposed shutters be wood, sized to fit each window and operable.

****EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of final approval if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

****BUILDING PERMIT NOTE:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including siding or roofing over 100 square feet, windows and signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.



I. ISSUE

The applicant is requesting a Permit to Demolish/Encapsulate and a Certificate of Appropriateness for alterations at 329 North Saint Asaph Street.

Permit to Demolish/Encapsulate

The applicant is requesting approval of a Permit to Demolish/Encapsulate to demolish the following:

- Encapsulate the existing rear porch on the south elevation with new windows and a door.
- Demolish portions of the south (side) and east (rear) elevations for new window and door openings.

Alterations

- Replace all existing windows with simulated divided light double-glazed wood windows. Install shutters on front elevation.
- Relocate front door and stoop from center bay to original location at the northernmost bay on the west (front) elevation. The front stoop design and railing will be reused. A six panel mahogany door with two lights at the top is proposed. A copper lantern is also proposed.
- Install one new window and shift two existing window locations on the south (side) elevation. Install two new basement windows beneath the enclosed porch on the south (side) elevation behind the existing gate (not visible from public right-of-way). Install a pair of French doors and below-grade steps on the east (rear) elevation at the basement level (not visible from public right-of-way).
- Reduce size of existing window on east (rear) elevation at second story and replace with a casement window (not visible from public right-of-way).
- New rear deck off enclosed porch on south (side) elevation to measure approximately 9' by 5'-7" and replace existing stairs from open porch to yard. The trim and columns will be made of Azek. The deck will have a wood handrail to match the existing stair railing. The area below the deck and porch will be HardiePlank to match the profile of the existing siding (area below deck and porch not visible from public right-of-way).
- Relocate HVAC units to north property line, screened by a 42" brick wall (not visible from public right-of-way).
- Excavate new English basement with access from rear yard (not visible from public right-of-way).

II. HISTORY

329 North Saint Asaph Street is a two-story, three-bay frame freestanding townhouse which was originally constructed in a Second Empire Victorian style between 1891 and 1896. In 1965, the Board approved an application made by the Old Alexandria Restoration Inc. to substantially alter and renovate this house. Photographs from before and after the renovation confirm that the townhouse was originally a typical late 19th-century Victorian townhouse with a small Mansard roof, with a side bay entry on the front facade, two-over-two windows and a pronounced door hood and window surrounds. The transformation of this townhouse to a Colonial Revival style "Polly House" included relocation of the front door to the center bay, changing the original shed roofline to a side gable roof, construction of a dentiled cornice, installation of a new chimney and replacement of all windows, siding and trim.

A "Polly House" is a term of endearment in the Alexandria community for a townhouse which underwent substantial renovation and "restoration" in the 1960s and 1970s by Marianne "Polly"

Hulfish, founder and President of Old Alexandria Restoration Inc. The work of Old Alexandria Restoration, Inc. was quite extraordinary and resulted in the preservation and restoration of over sixty properties throughout the Old and Historic Alexandria District and, in no small part, was responsible for stabilization and preservation of the historic district in these early years. While her alterations to these houses were not subject to the same preservation standards and Design Guidelines we would apply today, they have, nevertheless, acquired importance in their own right as an early record of an evolving national preservation ethic.

III. ANALYSIS

The proposed project complies with Zoning Ordinance regulations.

Staff has no objection to the proposed demolition and encapsulation and finds the proposed alterations to generally be compatible with the existing building and surrounding area. While much of the rear elevation is plainly visible from Princess Street, the majority of the proposed alterations are at the lower level and not visible from the public right-of-way. Staff notes that this case is particularly interesting in that the subject property, while originally constructed in the late 19th-century, is almost entirely a 1960s Colonial Revival style townhouse due to the extensive remodeling and renovation done at that time. The house's original design, character-defining elements and materials are almost entirely absent. Because of the changes over time, Staff, therefore, considers it a mid-20th-century Colonial Revival resource. Staff does not advocate a return to the original architectural design, noting that the 1960s alterations represent a distinct period of the local historic preservation movement and have achieved historic significance in their own right.

Permit to Demolish

In considering a Permit to Demolish, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B):

- (1) Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?
- (2) Is the building or structure of such interest that it could be made into a historic house?
- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
- (4) Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?
- (5) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?
- (6) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?

In the opinion of Staff, none of the criteria for demolition and encapsulation are met and the Permit to Demolish should be granted. The areas proposed for demolition and encapsulation are minimal in scope, do not remove any portion of the building containing character-defining features of uncommon design or historic merit, and do not compromise the integrity of the building as a whole. While at times, the cumulative effect of demolition and encapsulation can

compromise the integrity of a property, Staff does not find that to be the case in this instance. All of the proposed alterations are in the spirit of the Colonial Revival design constructed by Ms. Hulfish.

Alterations

Converting an open side or rear porch to an enclosed porch is common in the historic district. This type of alteration allows the porch element to continue to read as a porch while providing for expanded interior space without expanding the footprint of the structure. In addition, it is an easily reversible alteration. Staff finds that this alteration will be minimally visible from North Saint Asaph Street and is not visible from Princess Street. The proposed materials are appropriate for an enclosed porch and are compatible with the existing building. The Board has regularly approved fiber cement siding and high-quality and solid-through-the-core composite trim on new construction and additions and Staff believes its use here would help subtly differentiate between the historic body of the house and the newly enclosed porch.

Staff supports the return of the front door to its original location. In a narrow urban townhouse, a center door entry would have been highly unusual because of such a location's adverse effect on the interior furniture layout. Staff recognizes that the 1965 relocation of the door to the center was part of a larger effort to "Colonialize" this building and, perhaps, recall more grand, center-hall Georgian period structures. These center hall buildings were typically five bay, freestanding buildings such as the original Gadsby's Tavern, which is not the case here. Staff has no objection to the return of the door to its original location and notes that this change will not detract from the Colonial Revival architectural style of the building. The side entry is more appropriate for this urban townhouse form, regardless of the architectural period or style, and is what is found everywhere else on this street. Staff also supports the proposed door, lantern and reuse of the railing and stoop design.

As Staff considers the effective period of significance of this building to date from its complete alteration in 1965, Staff supports the installation of double-glazed, simulated divided light wood windows to match the existing Colonial Revival style windows, finding such an alteration to be in conformance with the Board's recently adopted Window Policy.

Staff has met with the applicant and neighbors numerous times throughout the design review process. Initially, the applicant proposed Craftsman-style windows on the south (side) elevation that Staff found to be stylistically inappropriate. The applicant, therefore, revised this elevation to eliminate two new openings, add one new double-hung window and slightly shift two windows at the rear.

The adjacent property owner at 327 North Saint Asaph Street, had expressed concerns to Staff and the owner about the size and design of the proposed rear deck, as well as the location of the AC condenser units. Although the HVAC units and new basement entrance are not visible from a public way and are not subject to BAR review, the applicant reduced the size of the rear deck by half, relocated the AC condenser units to the north property line and screened the AC condenser units with a low brick wall. The adjacent owner also originally expressed concern about the impact of construction and basement excavation. However, these constructability issues are not before the BAR and are addressed by Code Administration and T&ES as part of the building permit and inspection process.

Staff recommends approval of the Permit to Demolish/Encapsulate and the Certificate of Appropriateness for alterations with the conditions noted above.

STAFF

Catherine Miliaras, Historic Preservation Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Zoning Division:

C-1 Proposed porch enclosure, window replacement and door relocation comply with zoning.

C-2 Applicant must submit proposed open space calculations and show improvements on a survey plat to determine if proposed rear deck and basement egress steps comply with the required open space.

C-3 Applicant should screen HVAC units under the deck facing neighbor.

F-1 Indicate on the plans submitted for building permit the location of any downspouts/gutters.

Code Administration:

F-1 The following comments are for preliminary review only. Once the applicant has filed for a building permit, code requirements will be based upon the building permit plans. If there are any questions, the applicant may contact Thomas Sciulli, Plan Review Supervisor at 703-746-4190 or thomas.sciulli@alexandriava.gov.

C-1 Building and trades permits will be required to be issued prior to any work at the site

C-2 Five sets of sealed plans shall be submitted for review with the permit application. The plans submitted for the BAR request are not approved for construction

C-3 Sequence of construction/excavation and methods to protect adjacent properties during construction/excavation shall also be submitted at the time of application.

C-4 Window or door openings in the exterior wall shall comply with the following;

- Between zero and 3 feet of the lot line no openings are allowed
- Between 3 and 5 feet from the lot line openings are limited to 25% of the wall area
- Greater than 5 feet from the lot line the number is unlimited

Transportation & Environmental Services

RECOMMENDATIONS

R1. The building permit plans shall comply with requirements of City Code Section 5-6-224 regarding the location of downspouts, foundation drains and sump pumps. Refer to

Memorandum to Industry dated June 18, 2004. [Memorandum is available online at the City web site under Transportation\Engineering and Design\Memos to Industry.].
(T&ES)

- R2. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R3. All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (T&ES)
- R4. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- R5. No staging, stockpiling or storage of materials, to include equipment, is permitted in the sanitary sewer easement. A note to this effect shall be placed on the plat submitted with all building permit applications. (T&ES)
- R6. An erosion and sediment control plan must be approved by T&ES prior to any land disturbing activity greater than 2,500 square feet. (T&ES)
- R7. Compliance with the provisions of Article XIII of the City's zoning ordinance for stormwater quality control is required for any land disturbing activity greater than 2,500 square feet. (T&ES)
- R8. The building permit must be approved and issued prior to the issuance of any permit for demolition. (T&ES)
- R9. Construction of a new driveway entrance, or widening of an existing driveway entrance, requires separate application to; and approval from, the Department of Transportation and Environmental Services. (T&ES)

FINDINGS

- F1. An approved grading plan may be required prior to approval of building permit applications, per City code Section 5-6-224.
Questions regarding grading plans requirements should be directed to the T&ES Site Plan Coordinator at (703) 746-4064. Memorandum to Industry No. 02-08 was issued on April 28, 2008 and can be viewed online via the following link. (T&ES)
<http://alexandriava.gov/uploadedFiles/tes/info/gradingPlanRequirements.pdf>

CITY CODE REQUIREMENTS

- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Pay sanitary sewer tap fee prior to release of Grading Plan. (Sec. 5-6-25) (T&ES)
- C-6 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)

Alexandria Archaeology

Archaeology Findings:

- F-1 Tax records indicate that a structure was present along this street face at least as early as 1810. By 1850, these records document a free African American household near the corner of Princess and St. Asaph streets in the vicinity of this development lot. On later nineteenth-century Sanborn Insurance maps, the area near this corner has structures labeled "Negro shanties." The property therefore has potential to yield archaeological resources that could provide insight into domestic activities in 19th-century Alexandria, perhaps relating to African Americans.

Recommendations:

- R-1 The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
 - a. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
 - b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

V. IMAGES



Figure 1: 329 North Saint Asaph, west (front) elevation.



Figure 2: South (side) elevation and shared alley showing the existing open porch in the rear.



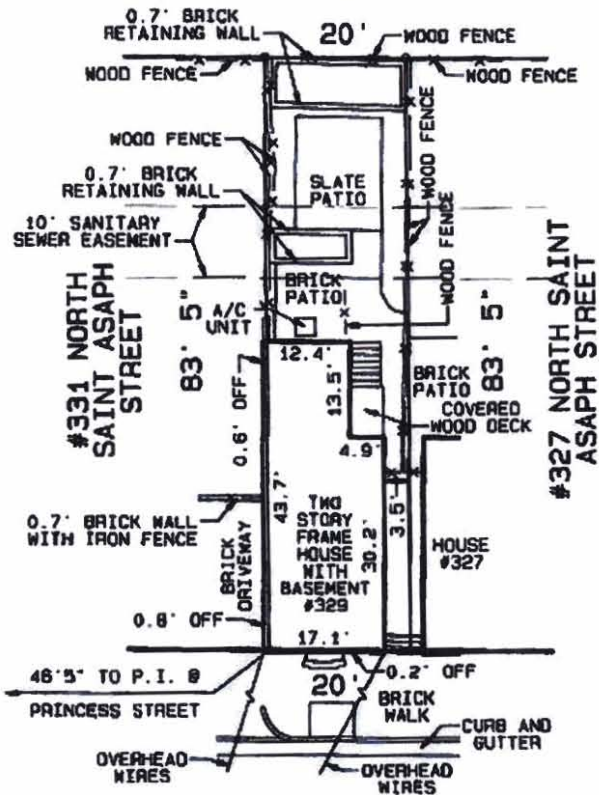
Figure 3: East (rear) elevation as viewed from Princess Street.

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THIS SURVEY WAS PERFORMED ACCORDING TO THE STANDARDS SET FORTH IN VIRGINIA CODE SECTION 94.1-407.



CARRIAGE SQUARE WEST

1



NORTH SAINT ASAPH STREET

66' R/W

PHYSICAL IMPROVEMENTS SURVEY
ON THE PROPERTY LOCATED AT
#329 NORTH SAINT ASAPH STREET
CITY OF ALEXANDRIA, VIRGINIA
SCALE: 1"=20' DATE: MAY 5, 2010

Figure 4: Plat.

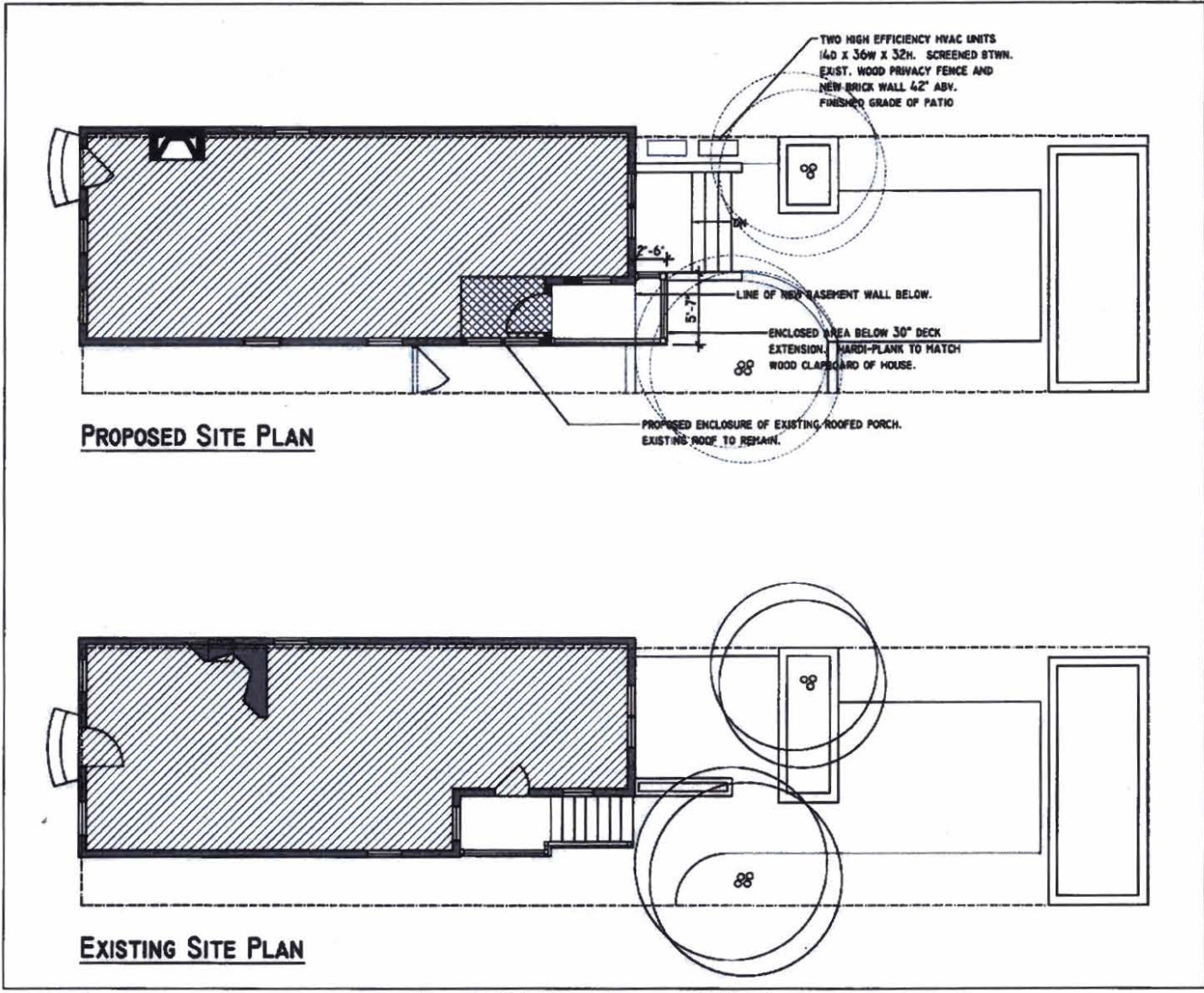


Figure 5: Existing and proposed site plan.

32

July 20, 2011

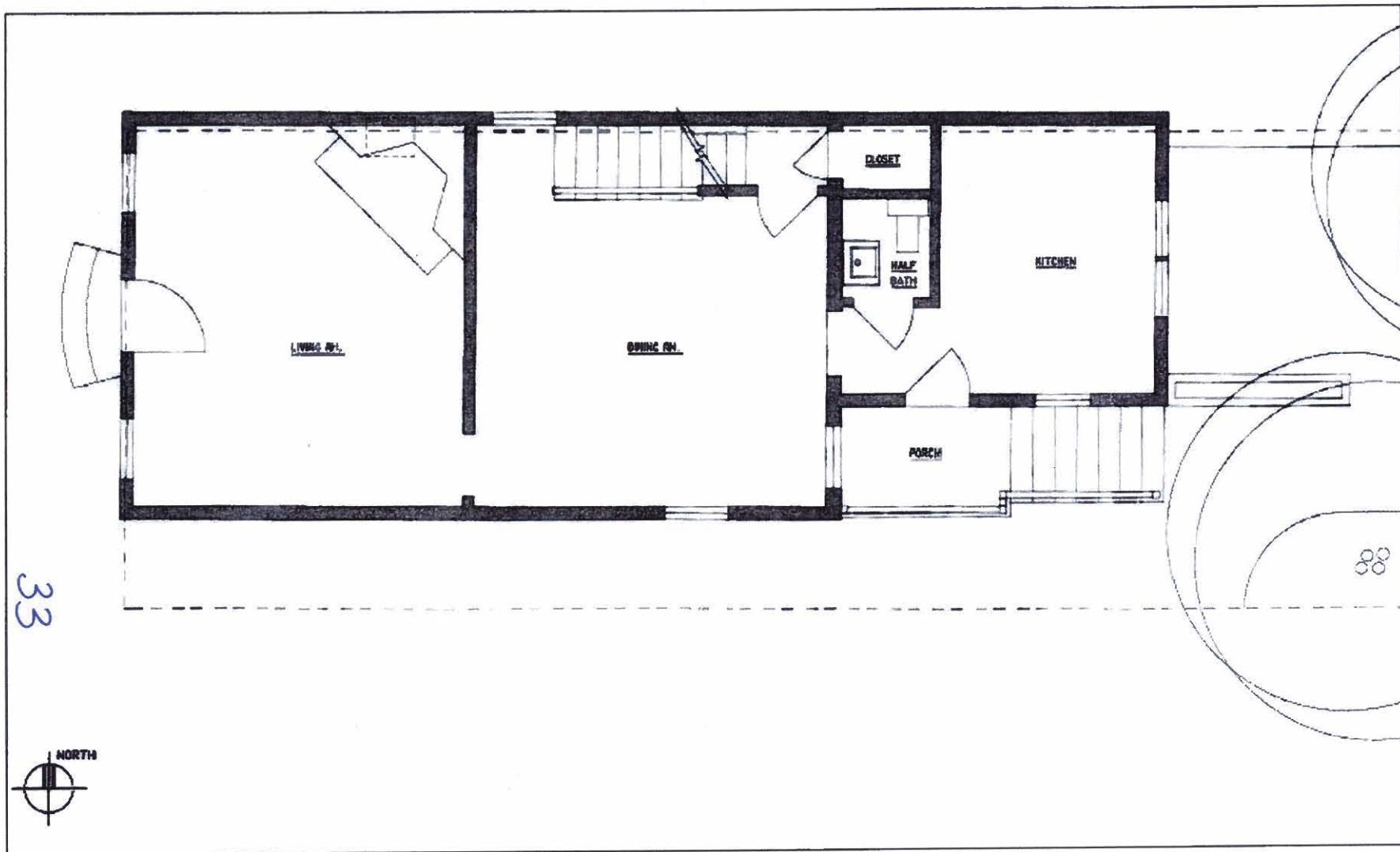


Figure 6: Existing first floor plan.

July 20, 2011



Figure 7: Existing east (rear) elevation.

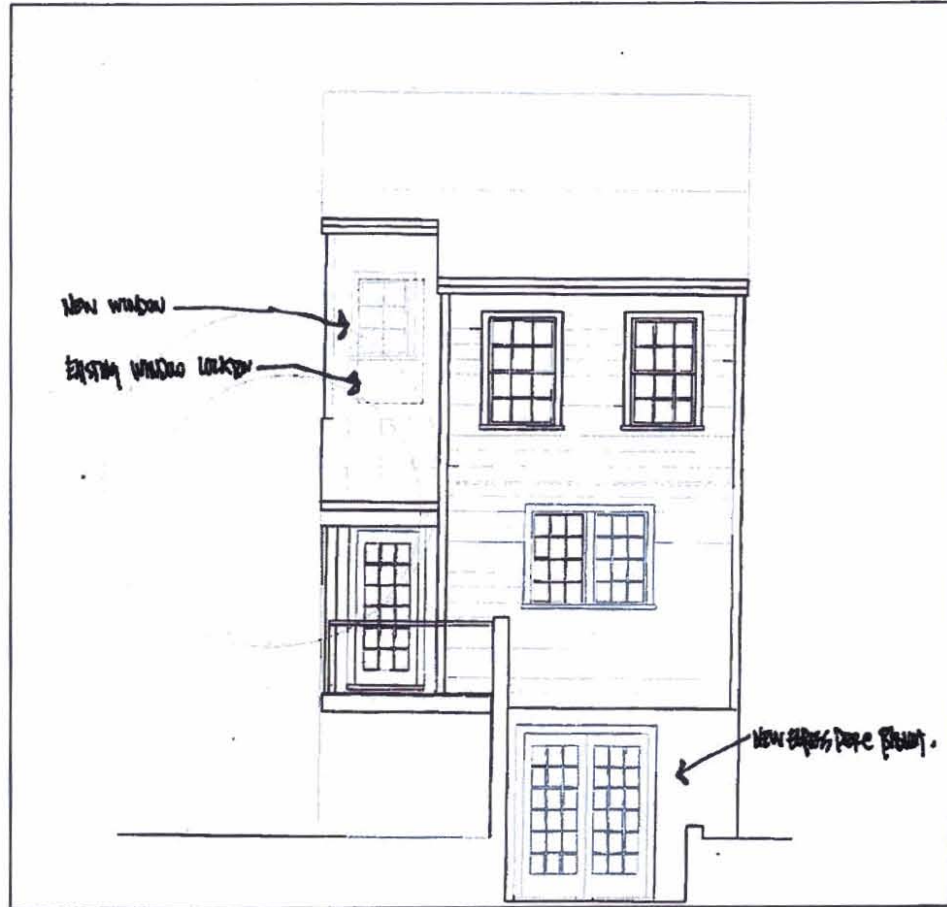


Figure 8: Proposed east (rear) elevation.

July 20, 2011

35



Figure 7: Existing and proposed west (front) elevation.

July 20, 2011

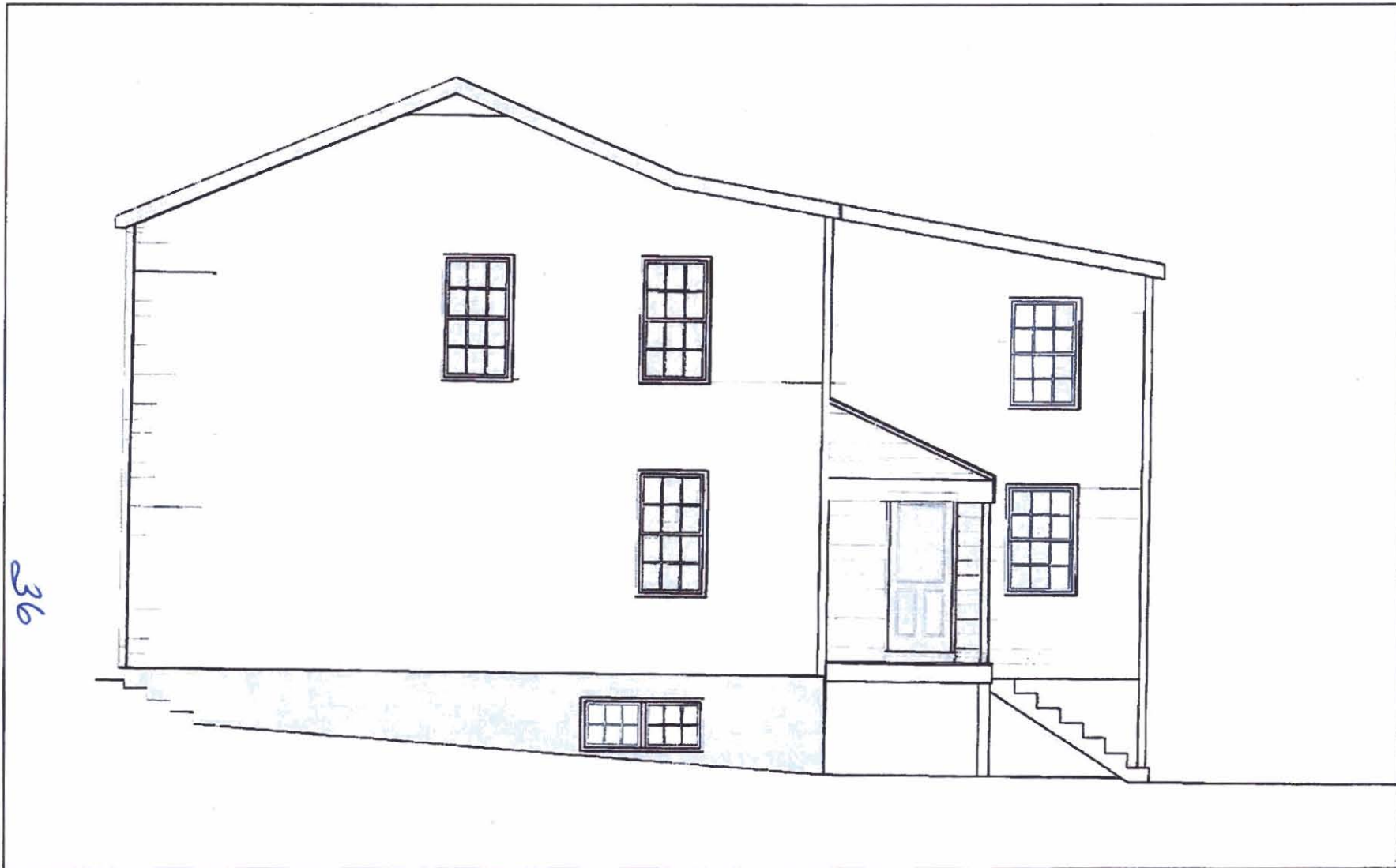


Figure 10: Existing south (side) elevation.

July 20, 2011



Figure 11: Proposed south (side) elevation with proposed new windows shown surrounded by dashed red lines.

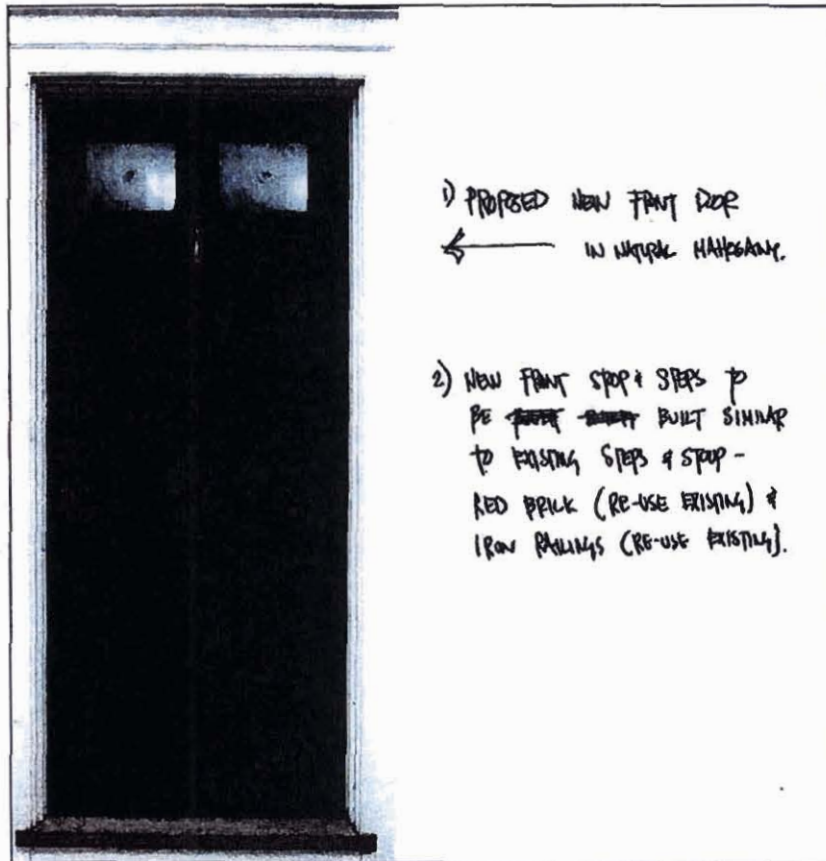


Figure 8: Proposed front door.

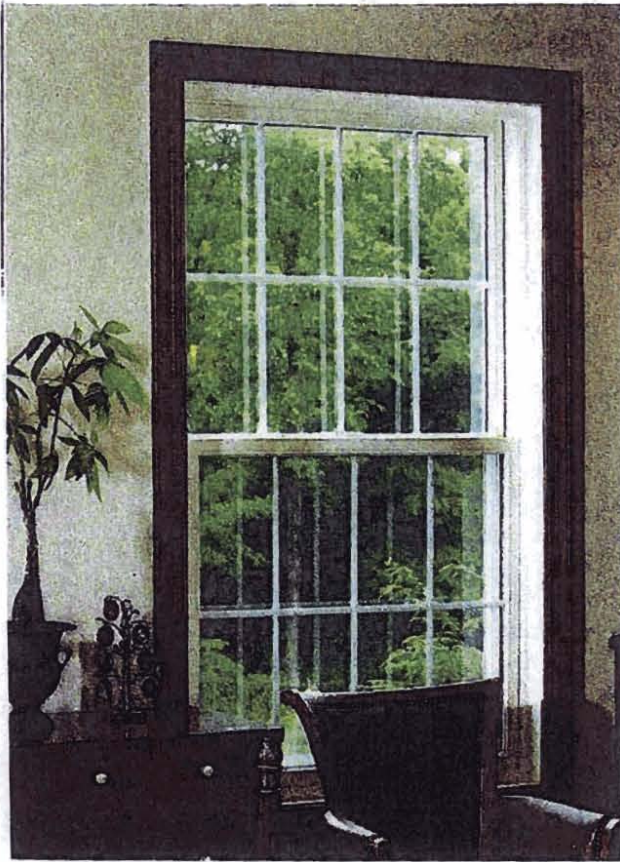


Figure 9: Proposed light fixture.

STERLING DOUBLE HUNG

PATENTS PENDING

STERLING DOUBLE HUNG STANDARD FEATURES



- 1-3/4" thick sash
- Overall jamb width is 4-9/16" (basic box width is 4-9/16")
- Frame thickness is 3/4" at side jambs and head
- Sill thickness is 1-3/16", slope is 14°
- Constructed of pine, with pine interior stops and wood mull casings on mullied units
- 7/8" H^oK LoE²-270 insulating glass*
- Glazed to the interior with wood glazing beads
- 1-15/16" exterior brickmould applied
- All exterior wood parts are preservative-treated
- Exterior frame and sash are latex primed
- Wood interior head parting stop
- Fully weatherstripped for a tight seal
- Clay-colored heavy duty sash lock with a dual positioning lever allows sash to be unlocked, operated and tilted in from one location
- Spring-loaded block-and-tackle mechanical balances to carry the sash weight
- Concealed PVC jamb liners with kerf mount
- Wood wrapped jamb liner closure on the interior (unless interior is prefinished White or primed, then jamb liner will be White) and a primed, extruded aluminum jamb liner closure on the exterior hides PVC jamb liners
- Pine-veneered head and seat boards; unique narrow mullions on bay units

** WITH SIMULATED DIVIDED LITE - MULLION PATTERN AS SHOWN ON THE ELEVATIONS.**

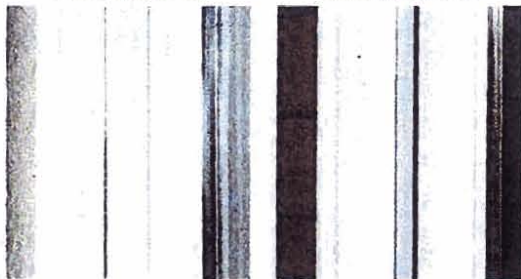
NOTES:

All measurements are nominal.

* Argon gas may not be included with units to be installed in or shipped through high altitude areas.

interior jamb view

exterior jamb view



Wood wrapped jamb liner closure on the interior and a primed, extruded aluminum jamb liner closure on the exterior hides PVC jamb liners.



Heavy duty sash lock with dual positioning lever allows sash to be unlocked, operated, and tilted in from one location.



1) PROPOSED NEW FRONT DOOR
← IN NATURAL MAHOGANY.

2) NEW FRONT STOP & STEPS TO
BE ~~RE-USE~~ ~~BUILT~~ BUILT SIMILAR
TO EXISTING STEPS & STOP -
RED BRICK (RE-USE EXISTING) &
IRON RAILINGS (RE-USE EXISTING).

AVAILABLE OPTIONS INSIDE

Open to learn how this custom door was created.

- Catalog
- Photos
- About Us
- Order/Pricing
- Mounting Instructions
- Specifications
- Distributors
- Create a Lamp
- F.A.Q.
- Contact Us

Wall Bracket 1

This page shows the various options for the lamp style you requested. Please click on any image for a larger detail.

Mount Types:

Wall Bracket 1 Wall Bracket 2 Goose Neck
 Top and Bottom Top Scroll Post Mount
 Half Yoke Full Yoke Custom



[<< Back](#)



Model: 1018
 Wall Bracket 1 - Flat Top - Solid Copper Top

x1



Call us 601-894-9090

[Click here to return to the home page.](#)

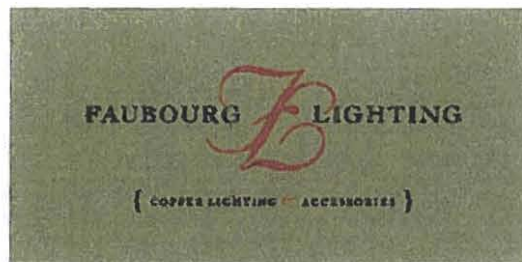
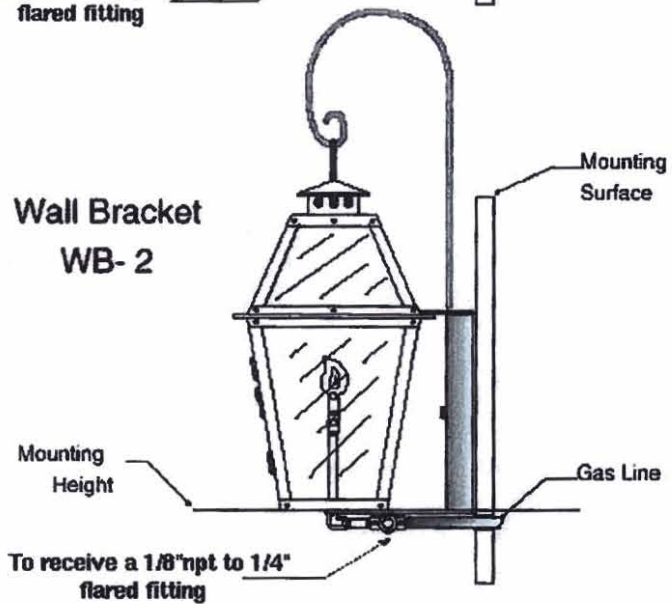
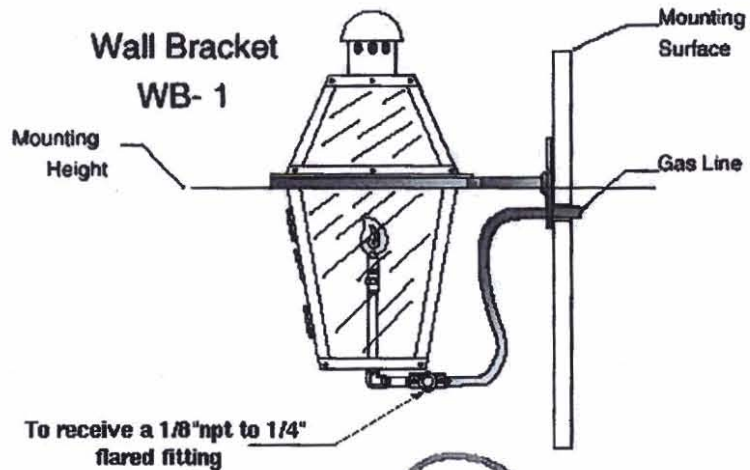
- Catalog
- Photos
- About Us
- Order/Pricing
- Mounting Instructions
- Specifications
- Distributors
- Create a Lamp
- F.A.Q.
- Contact Us

Gas Light and Gas Lantern Mounting Instructions & Specifications

Gas light Mounting Instructions: Gas Lantern - Wall Mount Gas Lantern - Hanging Mount

Gas Lantern Mounting Specifications: Wall Mount Hanging Mount Moustache Mount

Mounting instructions for Wall Bracket Mount Gas Lanterns



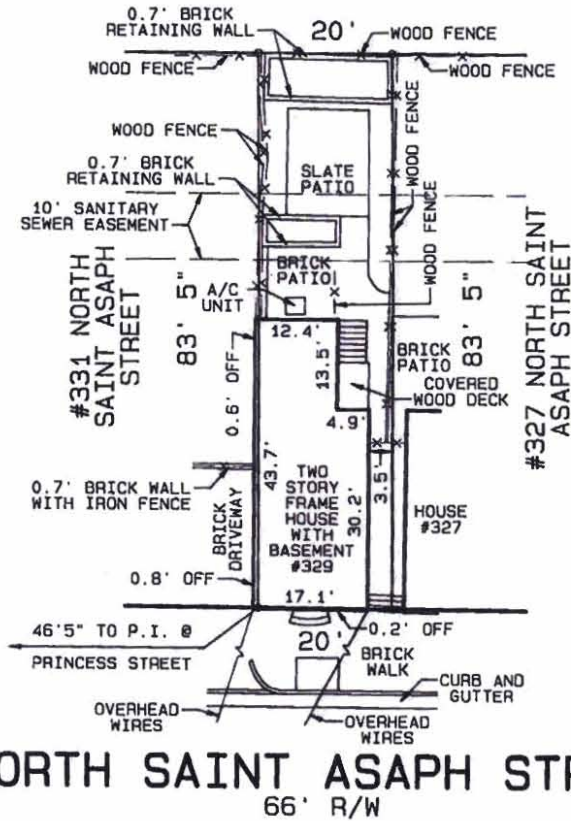
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CARRIAGE SQUARE WEST
1



NORTH SAINT ASAPH STREET
66' R/W

PHYSICAL IMPROVEMENTS SURVEY
ON THE PROPERTY LOCATED AT

#329 NORTH SAINT ASAPH STREET

CITY OF ALEXANDRIA, VIRGINIA

SCALE: 1"=20' DATE: MAY 5, 2010

CASE NAME: MALONEY TR/NELSON TR
TO CUNY/ROBINSON (OTA1004005)

NO TITLE REPORT FURNISHED.

PLAT SUBJECT TO RESTRICTIONS & EASEMENTS OF RECORD OR OTHERWISE.

FENCE LOCATIONS, IF SHOWN, ARE APPROXIMATE ONLY
AND DO NOT CERTIFY AS TO OWNERSHIP.



SCARTZ SURVEYS

LARRY N. SCARTZ LOCAL (703) 494-4181
CERTIFIED LAND SURVEYOR FAX (703) 494-3330
WOODBIDGE, VIRGINIA LARRY.SCARTZ@SCARTZ.COM



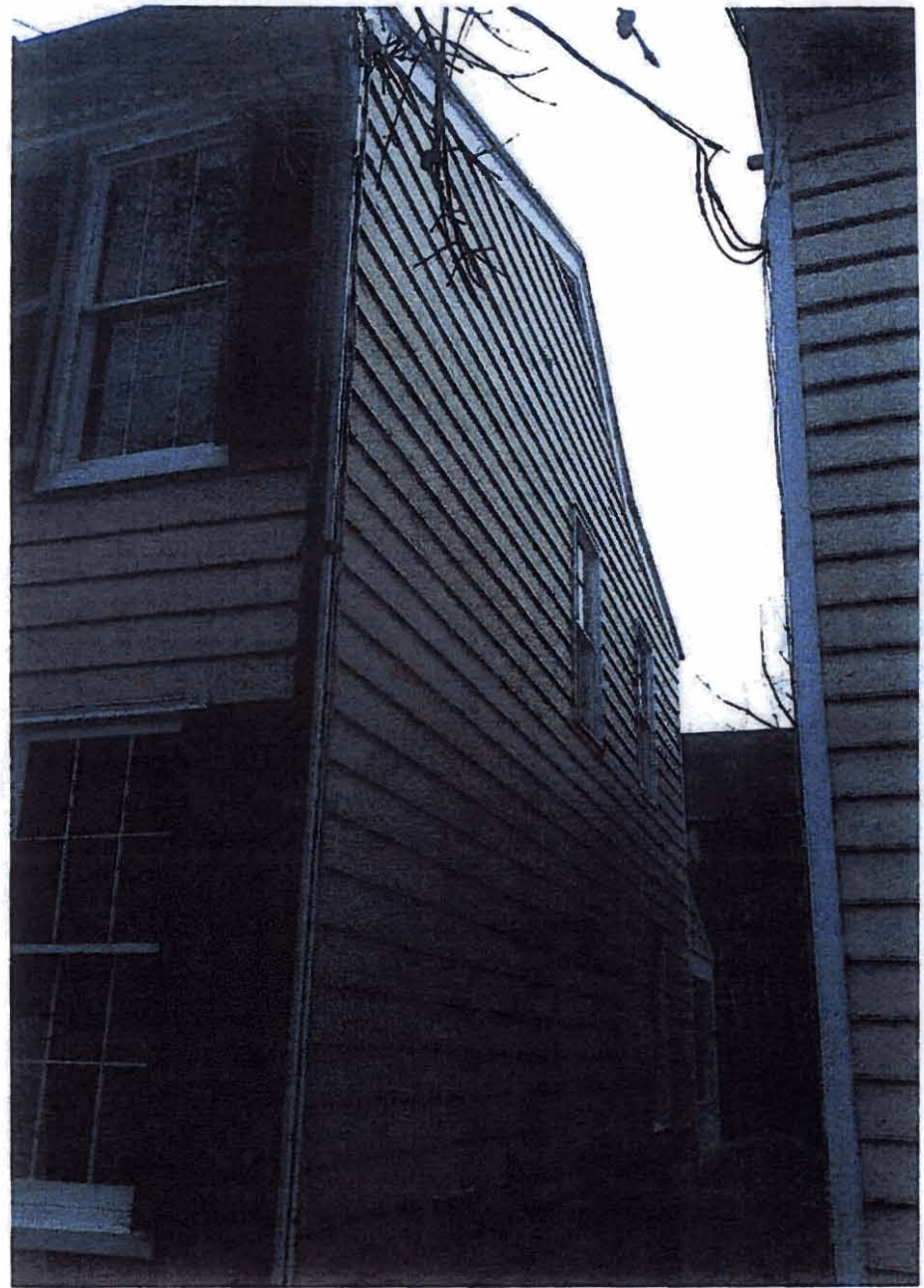
TAX MAP# 064.04-03-47

JOB# 20100400

MN



EXISTING WEST ELEVATION ↗



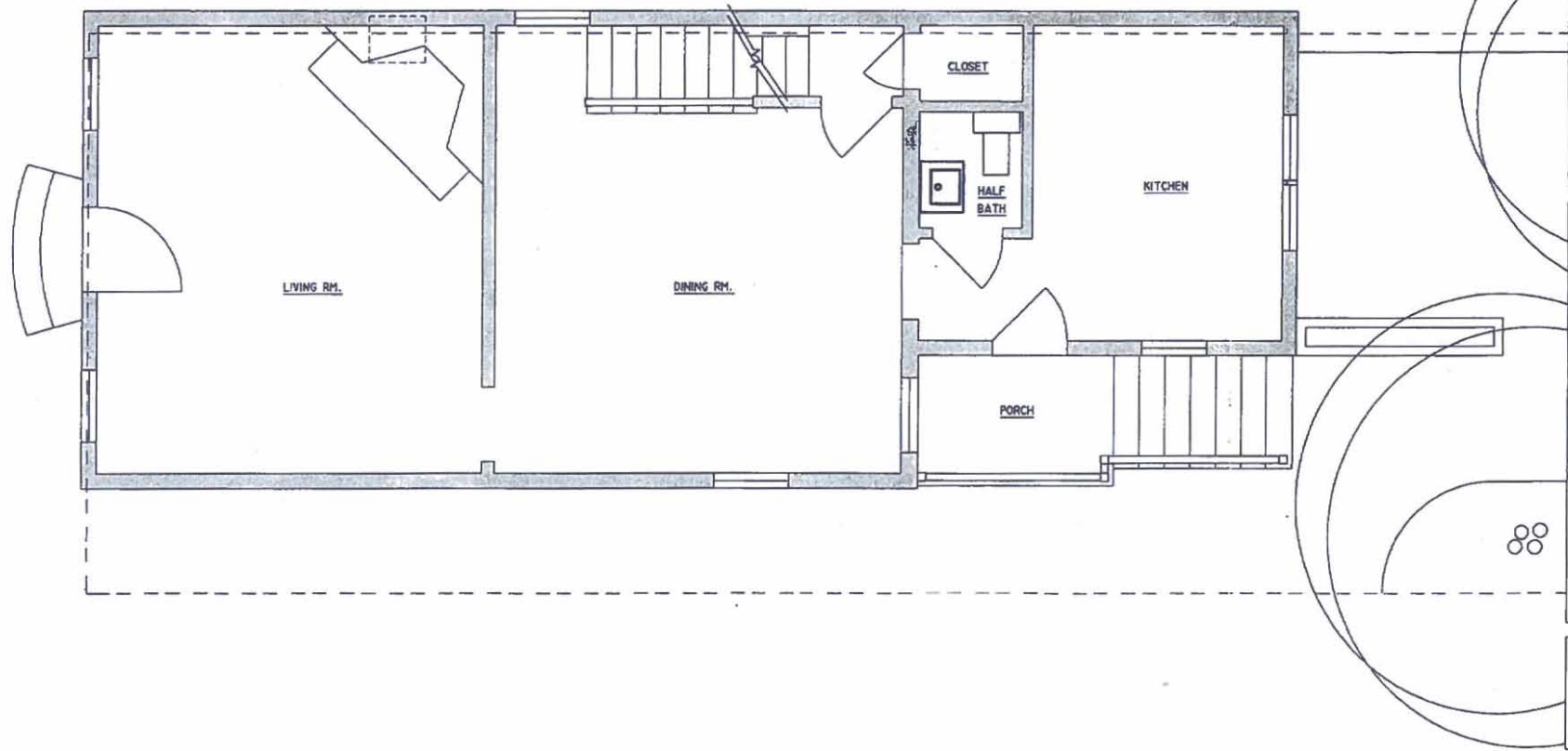
EXISTING SOUTH ELEVATION ↘



EXISTING EAST ELEVATION ↗

45

46



SethAnne
STUDIOS
ALEXANDRIA, VA
(703) 519-9777

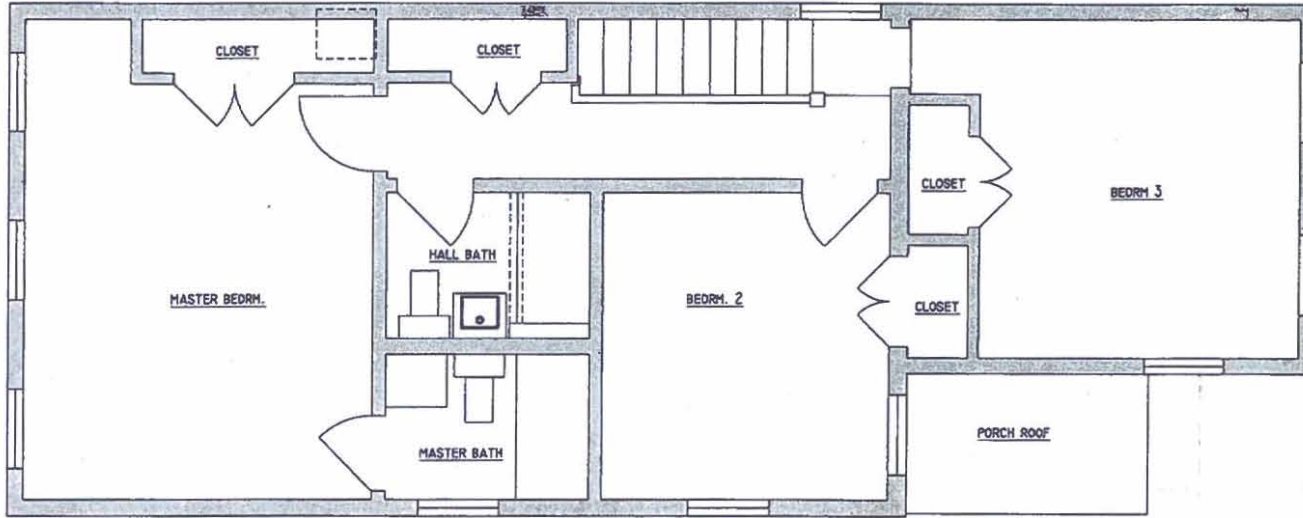
Robinson
Cuny Residence
329 NORTH ST. ASAPH ST.
ALEXANDRIA, VA 22314

EXIST 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"
SCHEMATIC DESIGN

3.3.2011

X1.1

47



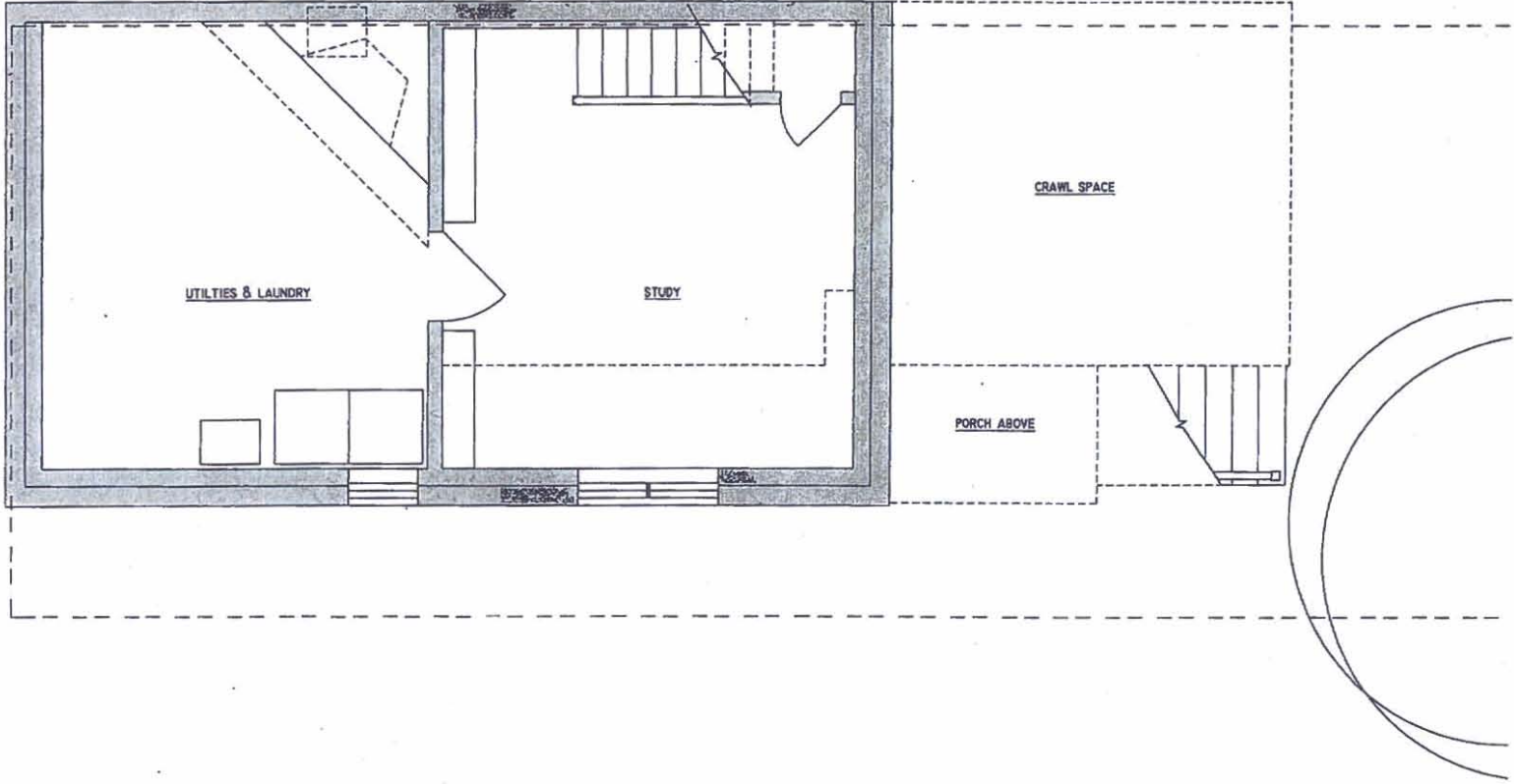
SethAnne
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ALEXANDRIA, VA
(703) 519-9777

Robinson
Cuny Residence
329 NORTH ST. ASAPH ST.
ALEXANDRIA, VA 22314

EXIST 2ND FLOOR PLAN
SCHEMATIC DESIGN | SCALE: 1/4" = 1'-0"

3.3.2011

X1.2



48

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(703) 510.0777

Robinson
Cuny Residence
320 NORTH ST. APT#7 ST.
ALEXANDRIA, VA 22314

EXIST BASEMENT FLOOR PLAN
SCHEMATIC DESIGN
SCALE: 1/4" = 1'-0"

3.3.2011

X1.3

49



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ALEXANDRIA, VA
(703) 519-9777

Robinson
Cuny Residence
329 NORTH ST. ASAPH ST.
ALEXANDRIA, VA 22314

EXIST SOUTH ELEV

SCALE: 1/4" = 1'-0"

SCHMATIC DESIGN

5.5.2011

X2.1

50



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STUDIOS
ALEXANDRIA, VA
(703) 510-0777

Robinson
Cuny Residence
329 NORTH ST. ASAPH ST.
ALEXANDRIA, VA 22314

EXIST EAST ELEV
SCHEMATIC DESIGN
SCALE: 1/4" = 1'-0"

5.5.2011

X2.2

SI

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(703) 519-9777

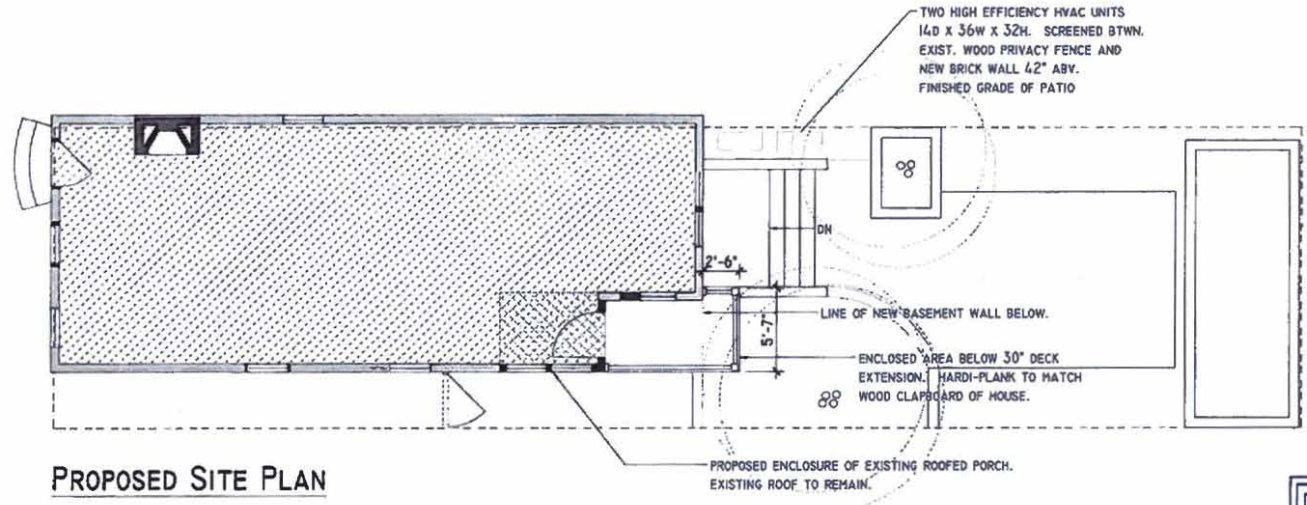
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329 NORTH ST. ASAPH ST.
ALEXANDRIA, VA 22314

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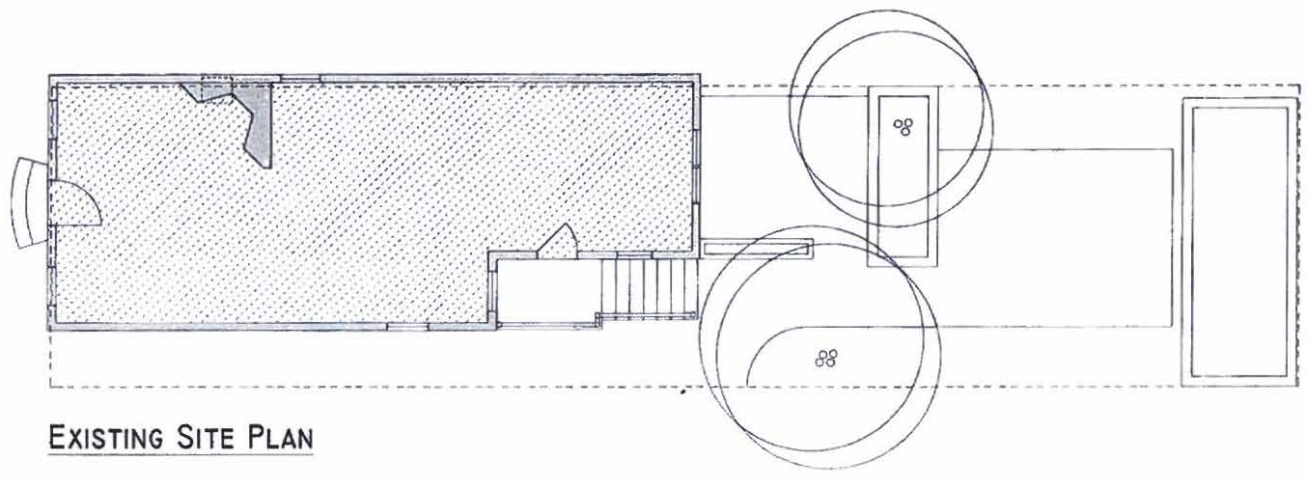
SITE PLANS
GRAPHIC DESIGN

6.22.2011
7.8.2011

A1.0



PROPOSED SITE PLAN



EXISTING SITE PLAN

52

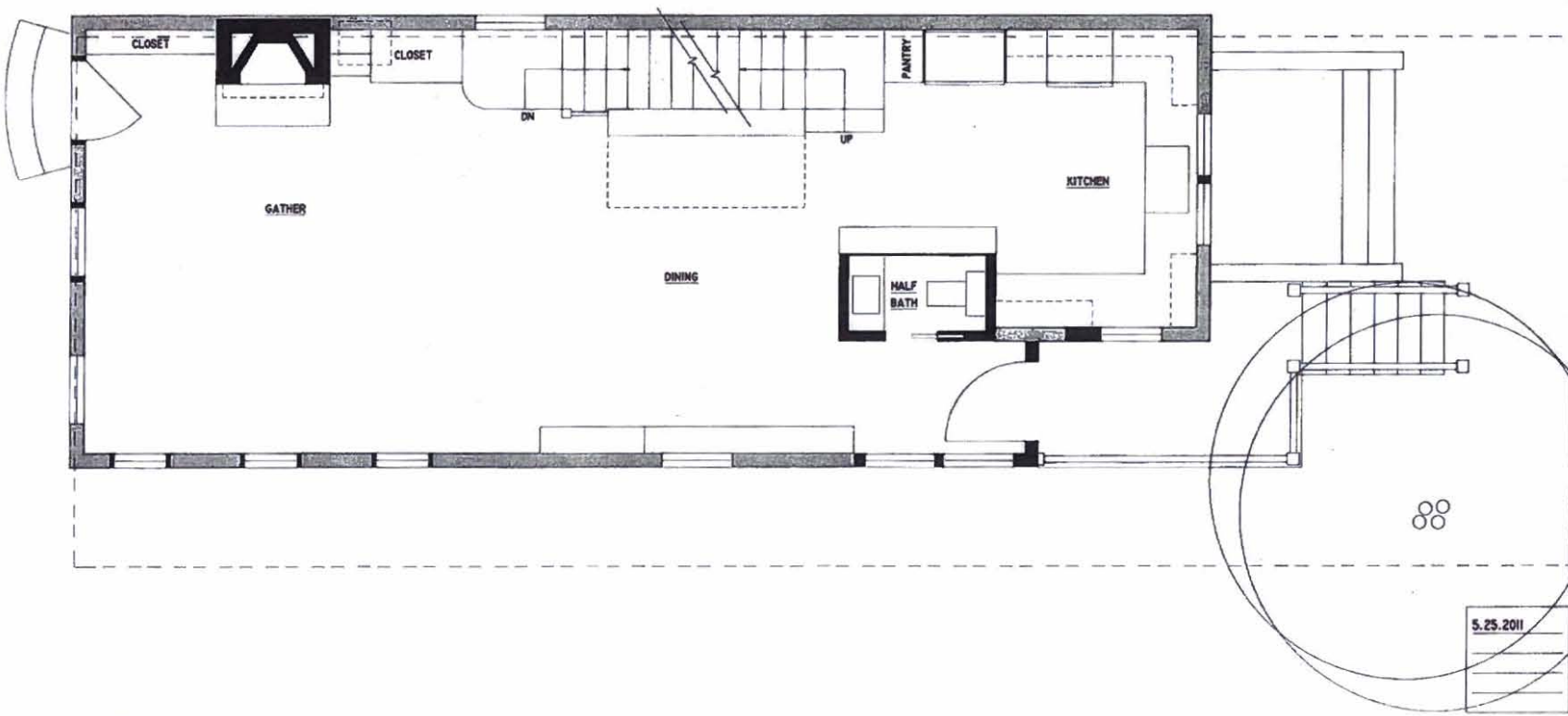
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ALEXANDRIA, VA
(703) 519-9777

Robinson
Cuny Residence
329 NORTH ST. ASAPH ST.
ALEXANDRIA, VA 22304

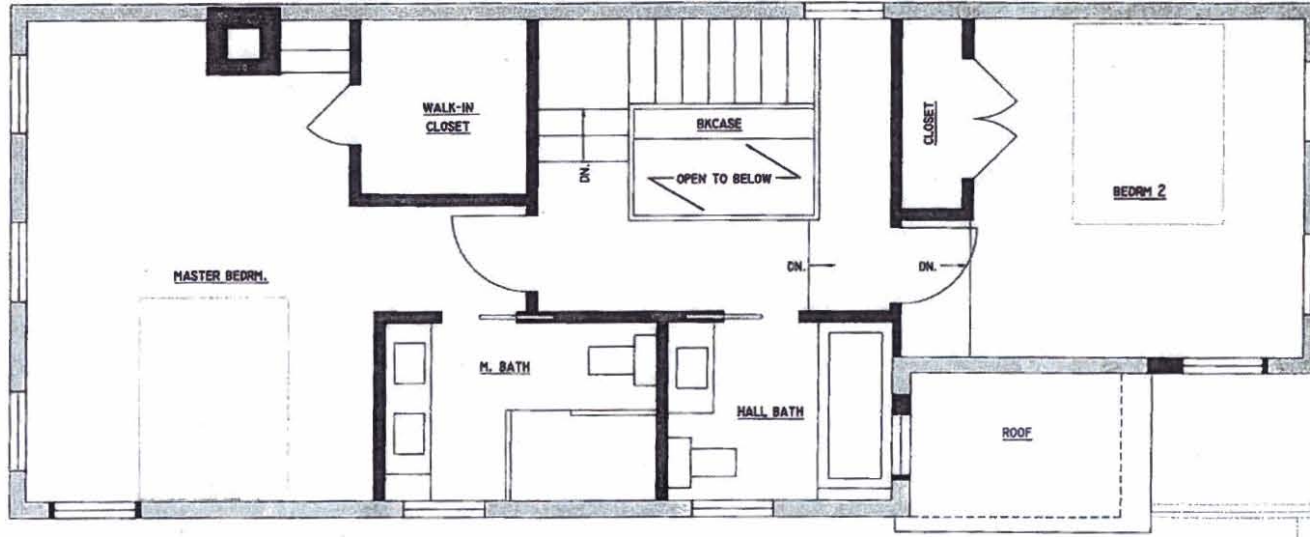
1ST FLOOR PLAN
SCHEMATIC DESIGN
SCALE: 1/4" = 1'-0"

5.25.2011	3.3.2011
	3.22.2011
	3.30.2011
	5.20.2011
	5.22.2011

A1.1



53



SethAnne
STUDIOS
ALEXANDRIA, VA
703.410.0777

Robinson
Cuny Residence
329 NORTH ST. ASAPH ST.
ALEXANDRIA, VA 22304

2ND FLOOR PLAN
SCHEMATIC DESIGN
SCALE: 1/2" = 1'-0"

5.25.2011	5.3.2011
6.16.2011	5.30.2011
	5.5.2011
	5.20.2011
	5.22.2011

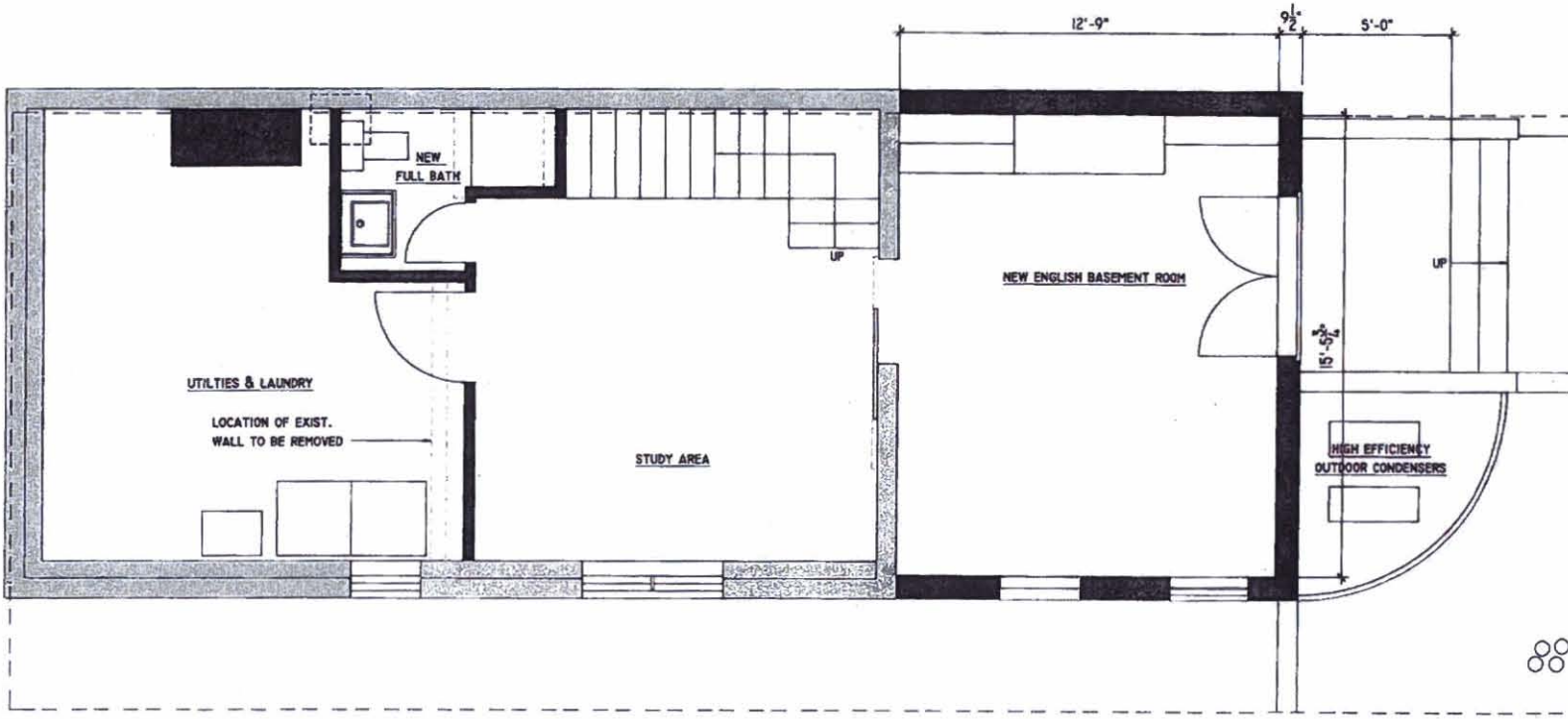
A1.2

54

SethAnne
STUDIOS
ALEXANDRIA, VA
703.526.0777

Robinson
Cuny Residence
329 NORTH ST. ASHLEY ST.
ALEXANDRIA, VA 22304

BASEMENT FLOOR PLAN
SCALE: 1/2" = 1'-0"
SCHEMATIC DESIGN



5.25.2011	3.3.2011
6.16.2011	3.22.2011
	3.30.2011
	5.20.2011
	5.22.2011

A1.3

SS



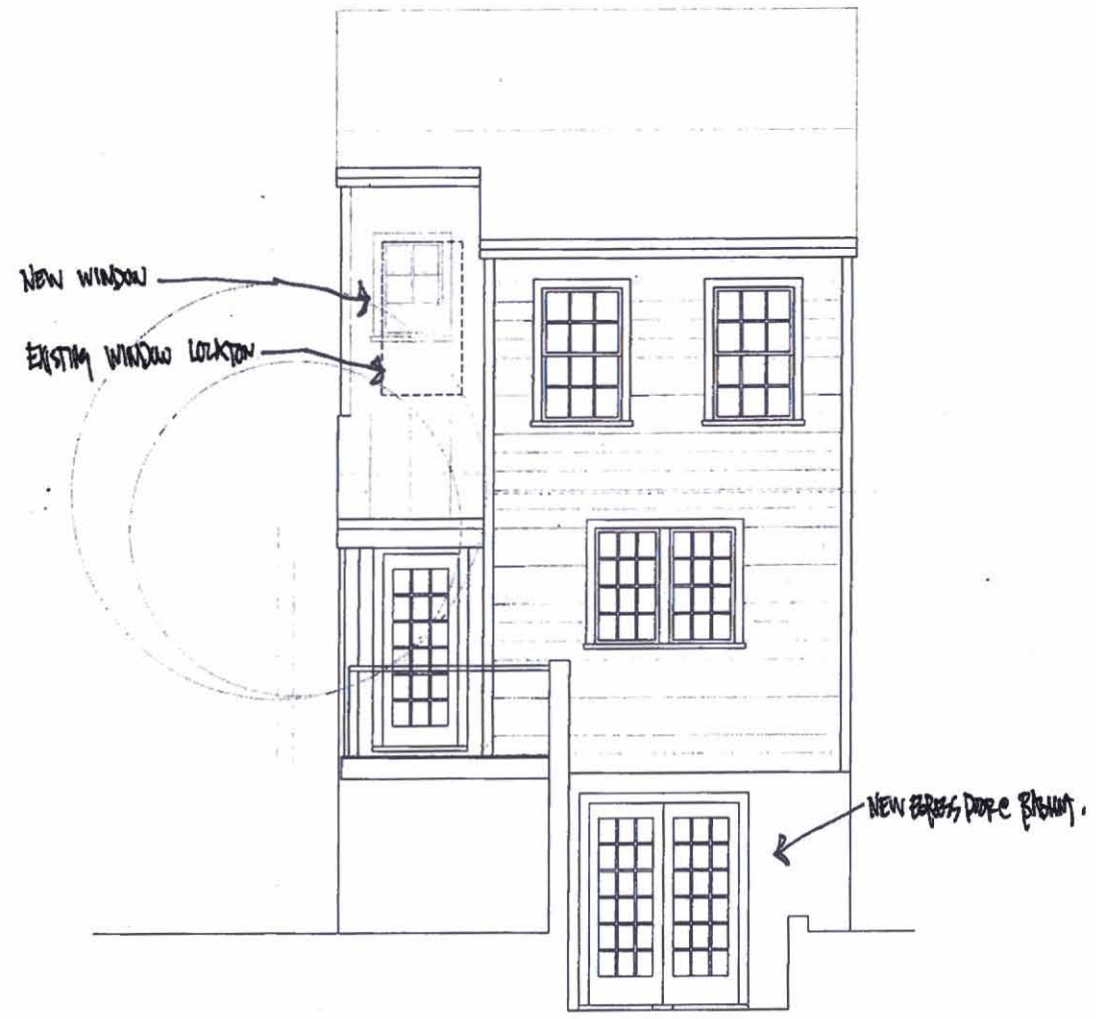
Seth Anne
STUDIOS
ALEXANDRIA, VA
(703) 519-9777

Robinson
Cuny Residence
139 NORTH ST. ASHBY ST.
ALEXANDRIA, VA 22304

SOUTH ELEV
SCALE: 1/4" = 1'-0"
SCHEMATIC DESIGN

5.5.2011
5.22.2011
5.25.2011
6.16.2011
6.22.2011

A2.1

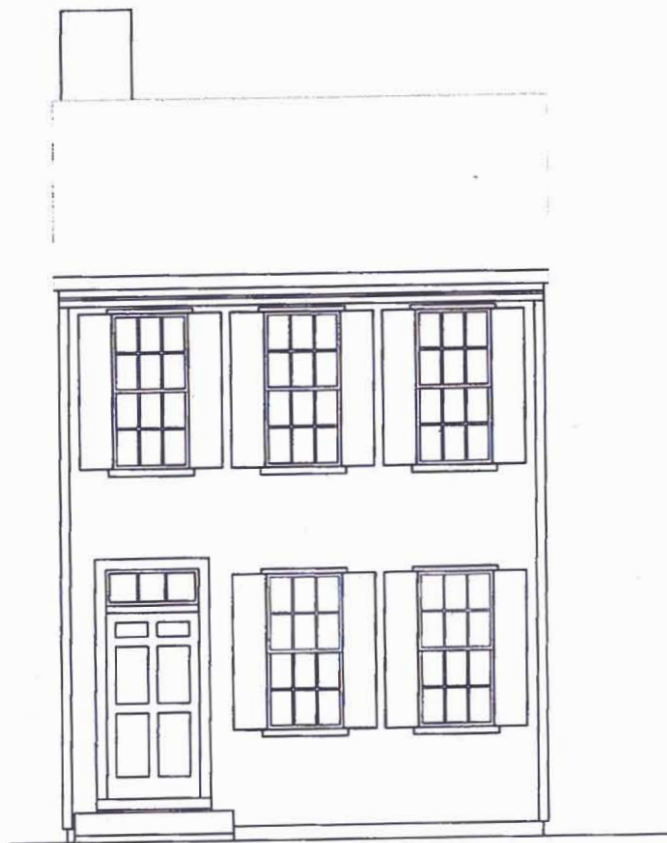


SCALE: 1/4" = 1'-0"

57



EXISTING WEST ELEVATION



PROPOSED WEST ELEVATION

SethAnne
STUDIOS
ALEXANDRIA, VA
(703) 519-9777

Robinson
Cuny Residence
329 NORTH ST. AGRAP ST.
ALEXANDRIA, VA 22304

WEST ELEVATIONS
EXISTING & PROPOSED
SCHEMATIC DESIGN

SCALE: 1/4" = 1'-0"

6.20.2011
6.22.2011

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THE ALEXANDRIA CHRONICLE



Spring 1998 Vol. VII, No. 1.

The Work of Marianne (Polly) Hulfish in the Old and Historic Alexandria District

by Peter H. Smith

Principal Staff, Boards of Architectural
Review, Department of Planning and Zoning

Alexandria's colonial image is, in large measure, a product, not a legacy. Central among the Colonial manufactory magnates was Marianne Hulfish (1906-1981). Polly, as she was affectionately and universally known, was one of the instrumental forces in securing Alexandria's historic past. Without her and many like her, undoubtedly there would be no preservation there today. The visual impression of Alexandria in

the 1990s is the handiwork of a band of dedicated and committed historic preservationists beginning a generation ago. Their foresight and financial resources created what we celebrate today. Polly Hulfish was personally responsible for the "preservation" of over fifty residential and commercial structures in the Old and Historic Alexandria District beginning in 1960 and lasting until 1971.

Central to the philosophy of

historic preservation is the scrape versus anti-scrape debate that is most widely known through the writings and works of Viollet LeDuc and John Ruskin. In essence, this debate has as its tenets: should buildings be left as they are or should buildings be "restored", shorn of their modern accretions and made to resemble something they might have looked like in the past? In this philosophical debate, Polly was definitely in the LeDuc camp. Clearly it was her decided intention to create something that might have been. In doing so, she was widely celebrated. Her remarkable legacy, the image of preservation in Alexandria, is less widely praised. Alexandria's preservation efforts have been widely criticized as celebrating the eighteenth century at the expense of the twentieth century. This image reaffirmed by professional writers, including native sons, neglects the path breaking record of historic preservation in the City and distorts the possible.

Polly was instrumental in the creation of Old Alexandria Restoration, Inc. The work of this organization was quite extraordinary. Old Alexandria Restoration functioned as a

historic preservation revolving fund -- that is, the Corporation bought houses, fixed them up and resold them, hopefully, for at least a small profit and then re-used the profits to carry out other projects. Old Alexandria Restoration was established with Polly as its President in 1962. During the 1970s preservation revolving funds were hailed as one of the most innovative and successful preservation tools that could be used to revitalize a historic district. Like much of her career in preservation, Polly was many years ahead of everyone. It was not until nearly a decade after the establishment of Old Alexandria Restoration that preservation revolving funds were in wide use in preservation districts in such places as Annapolis, Charleston and Pittsburgh. But in one sense, the revolving fund that was Old Alexandria Restoration was like every other revolving fund -- it revolved down, not up. The corporation was dissolved in 1975 and returned 10 cents on the dollar to the original investors. However, the corporation was quite successful in what it did. By the time of its dissolution, the corporation had bought and sold nearly twenty properties, assuring them of preservation and a

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continued life in the Old and Historic Alexandria District.

At the time of her death in 1981, the Gazette Packet wrote, she "was a leader of a tiny handful of citizens who proved that restoration of old homes was basically better and more profitable than demolition and new construction in Alexandria's historic area...In 1960 Mrs. Hulfish formed Old Alexandria Restoration, Inc. which led to the restoration of over 45 houses in Alexandria primarily in the historic district. These houses remain distinctive for their unique beauty, warmth and charm. Mrs. Hulfish's touch is so apparent in her work that the homes are often advertised as 'Polly houses.'" In addition to her restoration work, Mrs. Hulfish was a member of the Board for 9 years. The Alexandria Association gave her awards for outstanding restoration work in 1962 and 1968. In July 1981 she was honored with an award from the Alexandria City Council for her contributions to Alexandria preservation. Her husband, Thomas A. Hulfish, Jr. was a member of the City Council in the mid-1940s and was a principal sponsor of the ordinance which created the Old and Historic

Alexandria District in 1946. Today, her son, Thomas A. Hulfish, III, serves as the Chairman of the Old and Historic Alexandria District Board of Architectural Review.

Polly houses, or buildings which have been "Polly-ized" to use Al Cox's felicitous phrase, are plainly recognizable. They have their own iconography. Their exterior characteristics are on plain view and easily decipherable with but few clues. Polly houses and their progeny, "Son of Polly Houses," have the following characteristics: 8" beaded siding, six-over-six true divided light wood windows, a gable roof form with asphalt shingles, usually a single gable dormer and a uniform front facade.

632 S. St. Asaph Street is the only residence Polly is known to have created in its entirety. The former house existing on the site was condemned and torn down ca. 1966. In its place, OARI and its architects Gotteshall & Ayers (Hamilton Morton, project architect) created a Colonial Revival house unlike any other in the Old and Historic Alexandria District. The house with its first floor overhanging pent roof recalls Pennsylvania colonial

architecture. But, more vividly it bespeaks the Colonial architecture ideal of *Better Homes and Gardens* of the late 1960s. This is a rowhouse that looks in elevation as it more rightly belongs in Bethesda. In short, it has no antecedents in the architectural heritage of Alexandria. Yet, there it sits as part of a row of mid-nineteenth century structures.



200 Duke Street
Polly & Thomas Hulfish's
Residence

A CHECKLIST OF THE WORK OF MARIANNE HULFISH IN THE OLD AND HISTORIC ALEXANDRIA HISTORIC DISTRICT by Peter H. Smith

Source: Old and Historic Alexandria District Board's Architectural Review Minute Books

Tabulation of Applications:
Total Number of Applications: 88 (includes withdrawn applications)

Abbreviations:
MH - Marianne Hulfish
OARI - Old Alexandria Restrictions, Inc.

MH 46
OARI by MH 27
OARI 5
OARI by others 3
MH for others 7

Number of different addresses: 49

ADDRESS (Alphabetically by address)	WORK DESCRIPTION	DATE	APPLICANT
501 Cameron	Alter steps and rear entrance Approved porch on terrace Alter fence on Pitt & Cameron St.	1/19/66 2/3/67	MH for OARI MH for OARI
200 Duke	Shed for garden tools Enlarge kitchen and install new windows Eliminate proposed chimney and substitute a large small paned window	1/1/66 10/23/63 1/15/65	MH MH MH
201 Duke	Alter front steps Erect a brick wall	10/24/63 11/66	MH MH for W.H. Dempsey
304 Duke	Remove chimney and add windows to east side	11/4/70	MH for Society of St. Vincent de Paul

321 Duke	Alter roof, install 8" beaded siding and install windows and alter entrance Retain facade, particularly cornice and retain Victorian character	11/4/70 12/16/70	de Paul MH for St. Mary's
	Alter windows (to have shutters)	8/18/71	MH for Society of St. Vincent de Paul
518 Duke	Brick addition to rear of residence	1/23/63	MH
514-16 Duke	Change previous approval for addition	3/20/63	MH for Andrew Clarke
309 Duke	New siding, alter windows and steps Steps to have nosing of molded brick similar to 7/67	7/12/67 8/9/67	MH MH
	Metal to wood rail	12/13/67	MH
512 S. Fairfax	Install 10" beaded siding alter windows	8/10/66	MH for Fred Renner, Jr.
310 Gibbon	Alterations Masonry addition on rear Move front door to west side	6/14/61 4/11/62 5/23/62	MH OARI MH for OARI
205 King	Alterations to exterior	9/12/62	MH
207 King	Alterations to exterior	9/12/62	MH
211 S. Lee	Alter roof and windows Replace a porch	11/13/63 4/8/64	MH MH
226 S. Lee	Alterations Relocate front door to south side	5/14/61 9/26/62	MH MH
115 S. Pitt	Addition, window changes and clapboard siding to be painted white	12/14/60	MH
116 S. Pitt	Remodel residence (Architect: Thomas Darnall) Approval of materials Enlarge and alter Alterations to the exterior	10/9/63 12/4/63 3/18/65 8/11/65	MH MH MH MH
120 S. Pitt	Change windows and front door	10/10/62	MH
122 S. Pitt	Remodel residence	8/14/63	MH
123 S. Pitt	Apply wood siding over imitation brick siding	8/14/63	MH
124 S. Pitt	Alter the front of the residence	2/13/63	MH
126 S. Pitt	Change windows and front door	10/10/62	MH
421 S. Pitt	Remove asphalt siding and replace with wood siding and add room to rear	5/11/66	MH for Wm. Sarwick
300 Queen	Remove extra door, alter store windows and extend brick wall	12/14/66	MH for Ralph Marker
508 Queen (probably 518)	Now front for building	10/10/62	MH
519 Queen	5' high board fence	5/21/62	MH
524 Queen	Alter the front Remove wooden enclosure and rebuild masonry addition	11/4/64 3/11/68	GARI GARI by Edw. Baldrige
107-309 S. Royal	Alter entrance details and replace front steps	11/4/70	MH for St. Mary's Catholic Church
107 N. St. Anaph	Alterations to the exterior	8/11/65	MH

		and garden supply house		
389 N. St. Asaph		Alterations to the exterior	8/11/65	MH
379 N. St. Asaph		Replace siding with 4" redwood siding and otherwise alter the front	10/11/66	MH for OARI
131 N. St. Asaph		Remodel and alter	4/11/66	MH
133 N. St. Asaph		Remodel and alter	4/13/66	MH for OARI
418 S. St. Asaph		Addition	2/1/67	OARI by David Rosenthal Architect
		Construct new residence	8/19/61	OARI
623 S. St. Asaph		Erect a residence	3/1/67	MH for OARI
625 S. St. Asaph		Repair front and erect addition	3/9/67	MH for OARI
623-26 S. St. Asaph		Erect fence and steps	7/11/68	MH for OARI
630 S. St. Asaph		Alterations	3/1/69	OARI by Eugene Cullinane
		New addition	7/2/60	
631 S. St. Asaph		Install 3" beaded siding and alter front door frame and windows	5/14/67	MH for OARI
632 St. St. Asaph		New residence	3/1/70	OARI by Eugene Cullinane
635 S. St. Asaph		Remove front porch, replace some siding, install 6/6 windows and shutters and one story addition	3/7/67	MH for OARI
637 S. St. Asaph		Replace steps, erect fence and install new front door	10/11/67	MH for OARI
1627 in minutes		Retaining wall at side and rear To modify previous request to alter	4/13/68 8/11/66	MH for OARI MH
639 S. St. Asaph		Rear addition Alter siding and make addition	3/1/69 3/1/67	MH for OARI MH for OARI
		Brick retaining wall and steps Alter height of rear garden wall	3/13/68 3/11/69	MH for OARI MH for OARI
419 Wolfe		Alter	5/11/61	OARI
428 Wolfe		Alterations	5/14/61	MH
430 Wolfe		New window and door openings	12/14/60	MH
507 Wolfe		Alter front	8/11/60	MH
716 Wolfe		Add a false front roof line	3/1/64	MH

Vignettes from the Pages of the Alexandria Gazette

DISORDERLY CONDUCT:

Alexandria has always been noted for her noisy boys, and there are no indications that she will lose that cause of notoriety. The time for the fuss to

begin is usually after school hours in the evening, and from then till after dark, in some sections of the city, the din is continued, to the great

10-104 - Board of architectural review.

10-105

Matters to be considered in approving certificates and permits.

(A)

Certificate of appropriateness.

(1)

Scope of review. The Old and Historic Alexandria District board of architectural review or the city council on appeal shall limit its review of the proposed construction, reconstruction, alteration or restoration of a building or structure to the building's or structure's exterior architectural features specified in sections 10-105(A)(2)(a) through (2)(d) below which are subject to view from a public street, way, place, pathway, easement or waterway and to the factors specified in sections 10-105(A)(2)(e) through (2)(j) below; shall review such features and factors for the purpose of determining the compatibility of the proposed construction, reconstruction, alteration or restoration with the existing building or structure itself, if any, and with the Old and Historic Alexandria District area surroundings and, when appropriate, with the memorial character of the George Washington Memorial Parkway, including the Washington Street portion thereof, if the building or structure faces such highway; and may make such requirements for, and conditions of, approval as are necessary or desirable to prevent any construction, reconstruction, alteration or restoration incongruous to such existing building or structure, area surroundings or memorial character, as the case may be.

(2)

Standards. Subject to the provisions of section 10-105(A)(1) above, the Old and Historic Alexandria District board of architectural review or the city council on appeal shall consider the following features and factors in passing upon the appropriateness of the proposed construction, reconstruction, alteration or restoration of buildings or structures:

(a)

Overall architectural design, form, style and structure, including, but not limited to, the height, mass and scale of buildings or structures;

(b)

Architectural details including, but not limited to, original materials and methods of construction, the pattern, design and style of fenestration, ornamentation, lighting, signage and like decorative or functional fixtures of buildings or structures; the degree to which the distinguishing original qualities or character of a building, structure or site (including historic materials) are retained;

(c)

Design and arrangement of buildings and structures on the site; and the impact upon the historic setting, streetscape or environs;

(d)

Texture, material and color, and the extent to which any new architectural features are historically appropriate to the existing structure and adjacent existing structures;

(e)

The relation of the features in sections 10-105(A)(2)(a) through (d) to similar features of the preexisting building or structure, if any, and to buildings and structures in the immediate surroundings;

(f)

The extent to which the building or structure would be harmonious with or incongruous to the old and historic aspect of the George Washington Memorial Parkway;

(g)

The extent to which the building or structure will preserve or protect historic places and areas of historic interest in the city;

(h)

The extent to which the building or structure will preserve the memorial character of the George Washington Memorial Parkway;

(i)

The extent to which the building or structure will promote the general welfare of the city and all citizens by the preservation and protection of historic interest in the city and the memorial character of the George Washington Memorial Parkway; and

(j)

The extent to which such preservation and protection will promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage and making the city a more attractive and desirable place in which to live.

(B)

Permit to move, remove, capulate or demolish in whole or in part buildings or structures. The Old and Historic Alexandria District board of architectural review or the city council on appeal shall consider any or all of the following criteria in determining whether or not to grant a permit to move, remove, capulate or demolish in whole or in part a building or structure within the Old and Historic Alexandria District.

(1)

Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?

(2)

Is the building or structure of such interest that it could be made into an historic shrine?

(3)

Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?

(4)

Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?

(5)

Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?

(6)

Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage and making the city a more attractive and desirable place in which to live?

(7)

In the instance of a building or structure owned by the city or the redevelopment and housing authority, such building or structure having been acquired pursuant to a duly approved urban renewal (redevelopment) plan, would retention of the building or structure promote the general welfare in view of needs of the city for an urban renewal (redevelopment) project?

USE OF THE DESIGN GUIDELINES

INTRODUCTION

The Design Guidelines for Alexandria's regulated historic districts are a tool to assist the general public and the Boards of Architectural Review in the design review process. The guidelines should be viewed as a distillation of generally accepted design approaches in the historic districts. The guidelines should not be viewed as a device that dictates a specific design response nor should the guidelines be viewed as prohibiting a particular design approach. There may be better ways to meet some design objectives that have not been reviewed by the Boards in the past. New and untried approaches to common design problems should not be rejected out of hand simply because they appear to be outside the common practices outlined in the guidelines.

The guidelines set forth in clear terms the practices and policies of the Boards. As such, they should be of substantial benefit to the non-design professional in providing information on the types of projects and kinds of information that the Boards need in order to intelligently consider a project.

It must be emphasized, however, that the guidelines are intended only to provide guidance and that the Boards consider each application on a case-by-case basis. It is entirely possible that an application may conform to the guidelines, but be considered incompatible by the Boards. The Boards view the Guidelines as a living document that will change as circumstances warrant.

The Boards will strive to provide consistency in their decisions by giving careful attention to the Guidelines. The Boards recognize, however, that they may, in their decisions, have to depart from the Guidelines where such departure is appropriate to assure the historic fabric of the districts.

GUIDELINES ORGANIZATION

Each section of the guidelines is designed to be independent. An applicant need only pick up the guideline section or sections dealing with the specifics of a particular project rather than having an entire book containing a great deal of information that is not germane to the specific undertaking.

Each guideline is divided into the following sections:

INTRODUCTION: contains background information on the threshold that must be met before Board approval is required. It states in general terms why the Boards consider the issue important.

REQUIREMENTS: deals primarily with conditions of the Zoning Ordinance and the Building Code that must be met in order for a project to be undertaken. All of the zoning information reflects the new zoning ordinance adopted by City Council on June 24, 1992.

GUIDELINES: This is the heart of each design guideline because it sets forth the policies and practices of the Boards.

APPLICATION REQUIREMENTS: sets forth the specific types of information required by the Boards to review particular types of projects. Application requirements vary from project type to project type.

REFERENCES: provides a list of readily available source material for further information. In all instances this material is available from the B.A.R. Staff.

ARCHAEOLOGICAL CONSIDERATIONS: is included in every section where ground disturbing activities may take place. It sets forth the requirements of the Archaeological Protection Ordinance.

RELATED SECTIONS: other relevant guidelines are cross referenced. Generally, if other guidelines are cross-referenced an applicant will probably need the other cited sections.

The illustrations are, for the most part, from recent Board cases and are intended to illustrate the types of submissions that the Boards receive and the level of information required. Few generic examples of preservation work are included because of the long history of preservation activity in Alexandria. Illustrations are provided for information only. For this reason, specific dimensions have been deleted from the illustrations as a way of simplifying the information. Certificates of appropriateness are reviewed and approved on a case-by-case basis.

ADOPTED BY THE BOARDS OF
ARCHITECTURAL REVIEW, 5/25/93

FOR FURTHER INFORMATION:

Boards of Architectural Review
City Hall, 301 King Street
Room 2100
Alexandria, VA 22314
Telephone: (703)838-4666

PORCHES

INTRODUCTION

Porches are important architectural elements, especially on residential structures. They can serve as a defining element of an architectural style. For example, open wrap-around porches are a dominant feature of Queen Anne style residential architecture. A porch provides a transition area between the public streetscape and the private interior of a building and traditionally provide a social space between the public and private zones. Porches are subject to review and approval of a certificate of appropriateness if they are visible from a public way.

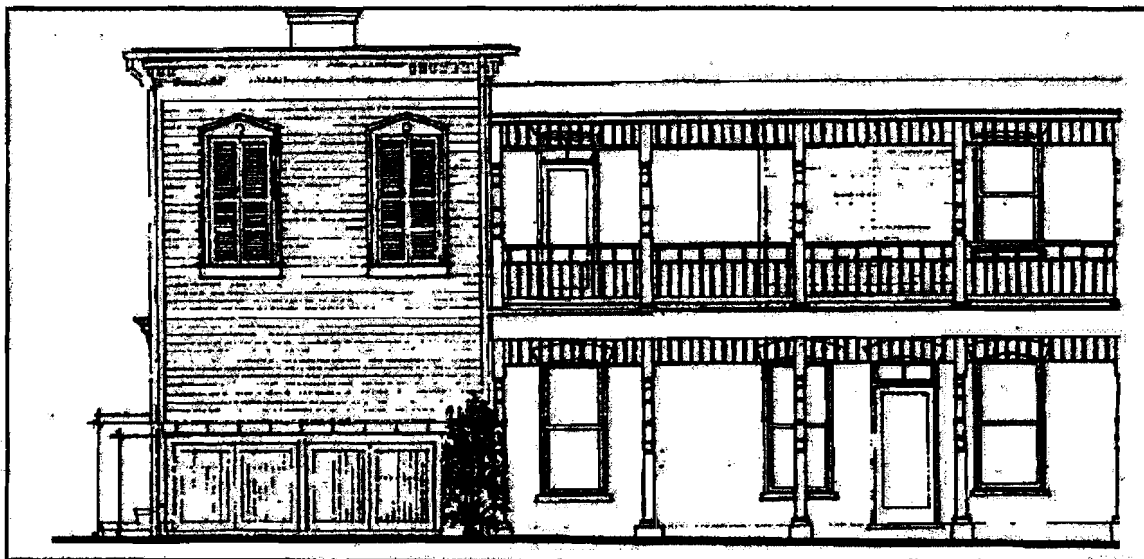
Porches are an important amenity on many residential buildings in the historic districts. Prior to the widespread use of air-conditioning, porches provided cool covered space during the summer months. Today, porches serve the same functions and are often added to buildings to provide these amenities.

Porches have roofs and are sometimes enclosed with screening. Decks, which are similar to porches, never have roofs. Design guidelines for deck construction are covered in another section of this chapter.

Many historic structures in the districts have had porch additions which were built at a later time than the original structure. In some instances, a porch addition may have acquired historic significance in its own right. For example, during the late-19th century many late-18th and early-19th century houses were modernized with the addition of Victorian detailing including porches. One hundred years later such Victorian era additions have acquired architectural significance and should be retained.

RETENTION OF HISTORIC MATERIALS

A central tenet of the philosophy of historic preservation is that original historic materials should be retained and repaired rather than replaced. An informed and careful analysis of the existing condition should be made before any decision to replace historic materials is made. It is often cheaper to keep historic materials and repair them rather than replace an item with new material.



A new second story side porch with wood columns and balusters fills in the space between an existing house and a new addition.

SOURCE: 226 N. Fairfax Street, BAR Case #91-6, rust, orling & neale, architects

REQUIREMENTS

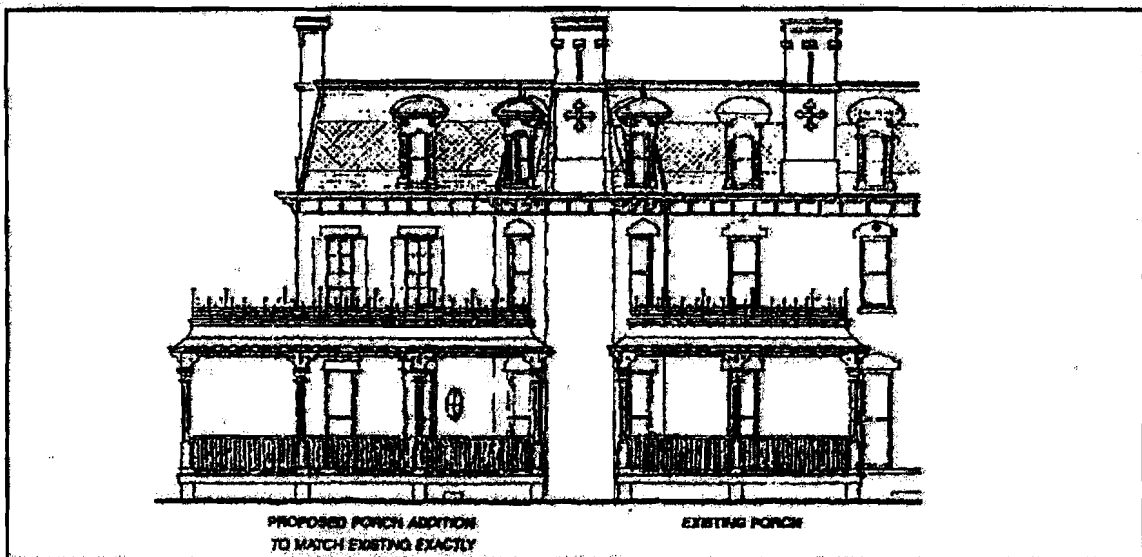
- Porch construction must meet the requirements of the Virginia Uniform Statewide Building Code (USBC).
- A building permit is required for porch construction.
- Porches must meet the applicable front, side and rear yard setback and open space requirements for the applicable zone.
- Porches more than 30' in height require a railing around the perimeter with baluster spacing no greater than 4" o.c. (USBC).
- Vision Clearance
There is a general City requirement that buildings and structures such as porches on corner lots must maintain a vision clearance at the corner for purposes of transportation safety. In such instances, structures may be no higher than 42" (3' 6") above the curb. There is also a general policy to maintain the building line in the historic districts. Therefore, the Zoning Ordinance gives the Boards the power to waive this requirement as well as other yard requirements where it determines that the maintenance of the building

line is important to the blockface.

- A plat of the property is required at the time of application to verify yard requirements and the vision clearance.
- Enclosed porches create useable space and therefore must meet the Floor Area Ratio (F.A.R.) requirements for the underlying zone.

GUIDELINES

- Porches should be appropriate to the historical style of the structure. For example, enclosed screen porches are not appropriate on 18th century structures. Side porches are found on many 19th century residential structures in the historic districts.
- Porches should not hide, obscure or cause the removal of important historic architectural details.
- Porches should generally be painted the predominant color of the building or the color of the trimwork.



A new wrap-around porch uses the same architectural style as the existing porch.
SOURCE: 311 S. St. Asaph Street, BAR Case #91-244, rust, orling & neale, architects

- Porches constructed of unpainted pressure treated wood are strongly discouraged.

- Porches should be made of materials which are sympathetic to the building materials generally found in the historic districts. For example, throughout the historic districts painted wood is an appropriate material for porch construction. 20th century mass produced wrought iron railings and columns are only appropriate for buildings dating after 1945.

APPLICATION REQUIREMENTS

In order to properly evaluate the appropriateness of the design of a proposed porch, the Boards of Architectural Review require that an accurate depiction of the design be presented. Sketches that are not to scale are not acceptable. Most designs for porches presented to the Boards of Architectural Review are prepared by a professional designer; however, such a professionally prepared submission is not mandatory.

All applications for approval of porches must contain the following information:

Alexandria Business License

Proof of a valid Alexandria Business License is required at the time of application for contractors, subcontractors, architects, and designers.

Photograph of Existing Building and Yard

Clear photographs of the existing building and yard/garden are required for reference.

Plot/Site Plan

A plot or site plan accurately showing the location of the proposed porch is required.

Floor Area Ratio and Open Space Calculations

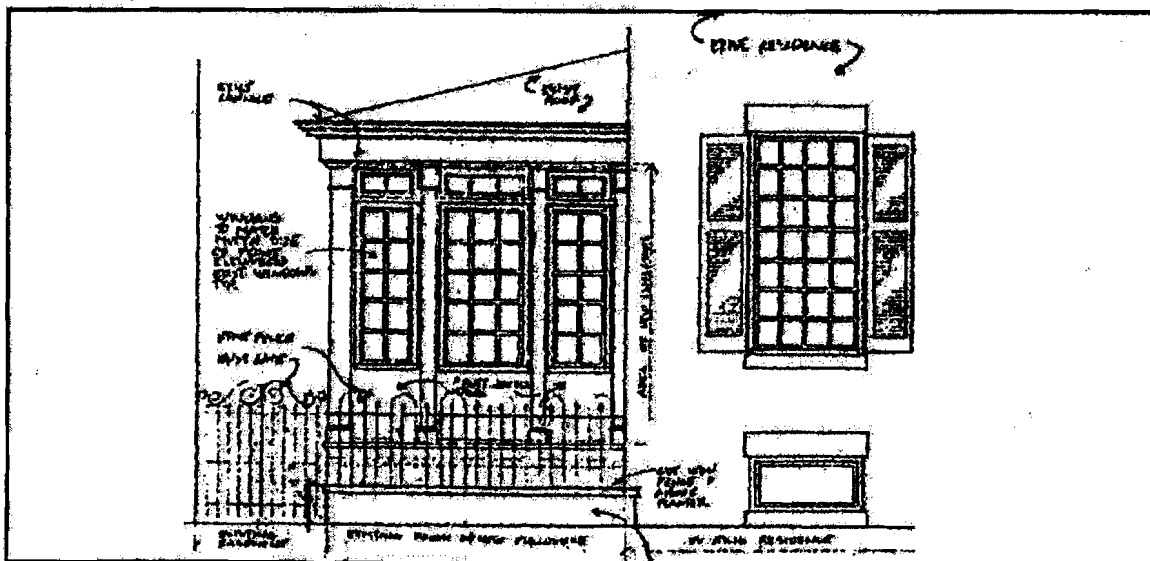
Applicants must provide accurate F.A.R. and open space calculations for the new addition. Forms for these calculations are available at the time of application.

Size

The drawing must accurately indicate the dimensions of the proposed porch.

Materials

The materials to be used for the porch must be specified.



Proposal for a one story enclosed porch.

SOURCE: 521 S. Fairfax Street, BAR Case #89-105, Robert Bentley Adams, Architect

Color

The proposed color of the porch must be indicated and an actual color sample provided.

RELATED SECTIONS

Decks

Stoops, Steps and Railings

NOTE: Illustrations are provided for information only. Applications for certificates of appropriateness are reviewed and approved on a case-by-case basis.

ADOPTED BY THE BOARDS OF
ARCHITECTURAL REVIEW, 5/25/93

ARCHAEOLOGICAL CONSIDERATIONS

The construction of porches that create below grade footings, foundations, or that create other types of ground disturbing activities may affect archaeological resources. With its rich history, the City of Alexandria is particularly concerned about its archaeological heritage. Archaeological resources in the historic districts are great in number and highly diverse in materials. They often consist of ceramic and glass fragments in the backyards of historic properties; however, archaeological resources are also brick-lined shafts in yards and basements; brick kilns; foundations, footings, postholes and builders trenches of non-extant buildings; landscape features such as walkways and gardens; and even American Indian artifacts which pre-date colonial Alexandria. Often these clues to the City's past appear to be unimportant debris, yet when the artifacts and building remains are excavated and recorded systematically, they provide the only knowledge of lost Alexandria.

Every application to the B.A.R. which potentially involves ground disturbance is reviewed by City archaeologists to determine whether significant archaeological resources may still survive on the property. Therefore, the potential for additional requirements to protect archaeological resources exists with any project that involves ground disturbing activities.

The applicant can speed along the archaeological review process by requesting a Preliminary Archaeolog-

ical Assessment from Alexandria Archaeology at the earliest date. Call (703) 838-4399, Tuesday through Saturday. Alexandria Archaeology is located on the third floor of the Torpedo Factory Art Center.

• RESIDENTIAL ZONES

In residential zones, the application for construction of porches that involve ground disturbing activities is reviewed by City archaeologists. In most cases, the applicant is required to notify Alexandria Archaeology before ground disturbance, so that a City archaeologist may monitor this work and record significant finds. However, when a property has a high potential for containing significant archaeological resources, a City archaeologist may request permission to excavate test samples in the affected area before the project begins.

• COMMERCIAL ZONES

In commercial zones the ground disturbing activities associated with the construction of porches may necessitate compliance with the Alexandria Archaeological Protection Procedure designated pursuant to the Code of Alexandria, § 5-5-9, sub-§ (7.1), § 5-5-4 and § 5-5-9, sub-§ 1 as enacted on November 18, 1989. The specific requirements may be obtained from the City Archaeologist. Occasionally, compliance in commercial projects may require the property owner to contract with an independent archaeologist to document conditions before and during construction. Property owners should contact the City Archaeologist as early as possible so that this does not delay the project.

DOORS

INTRODUCTION

The installation of new exterior doors, whether pedestrian or vehicular, as well as storm doors visible from a public way require the approval of a certificate of appropriateness by the Boards of Architectural Review.

PEDESTRIAN DOORWAYS

Exterior doors and storm doors constitute prominent visual details of the main facade of a building. In addition to the door itself, details surrounding the doorway are also important visual elements of a building. Such detailing includes door frames, glass, moldings, pediments, hoods and hardware. Exterior doors and surrounding details should complement the architecture of the structure and not detract from it.

A large number of architectural styles are represented in the buildings in the historic districts and each style incorporates distinctive doorways and surrounding architectural

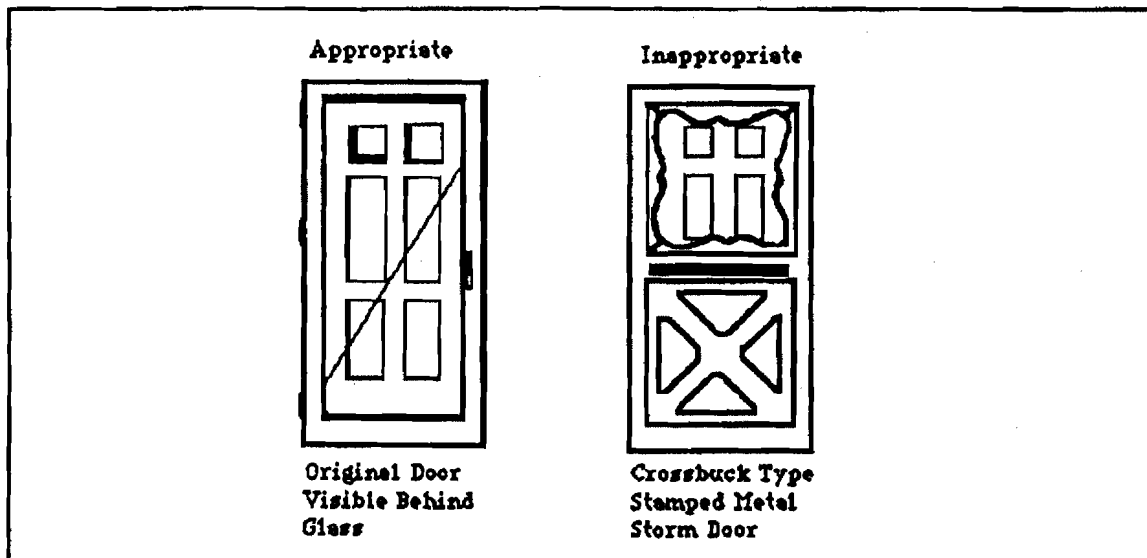
elements. Care should be taken that the character defining features of these doorways are maintained. For example, a decorative door surround should not be removed to install a new door.

Doors and their surrounds are as much a character defining feature of architectural styles as are windows. For example, Federal and Georgian style residential structures from the late-18th and early-19th century usually have solid wood panel entrance doors. Late 19th century Victorian structures often have wood doors that incorporate glass panels. Main entrance doorways are generally more elaborate than doorways on secondary or rear entrances to a building.

Modern exterior and storm doors often contain inappropriate decorative elements that detract from the architectural integrity of the structure. For example, storm doors with foliated panels are inappropriate on structures within the historic districts.

VEHICULAR DOORWAYS

During the 18th and 19th centuries, separate accessory structures to store horses, wagons and carriages were common. With the advent of the automobile in the late-19th cen-



Storm doors should be plain and not obscure historic doors.

tury, garages for automobiles became commonplace on both residential and commercial buildings. Each required doorways. Separate residential automobile garage structures often reflect the architectural character of the principal building. In such instances, the garage door is part of the overall design of the structure. Care should be taken in the replacement of garage doors to ensure that the door is appropriate to the architectural character of the garage. For example, if the garage door has windows, the replacement door should not be solid. In many instances, however, garages were simply utilitarian structures that had little in common with the architectural characteristics of the main building. In such instances, replacement garage doors should make use of materials that are compatible with the existing structure.

RETENTION OF HISTORIC MATERIALS

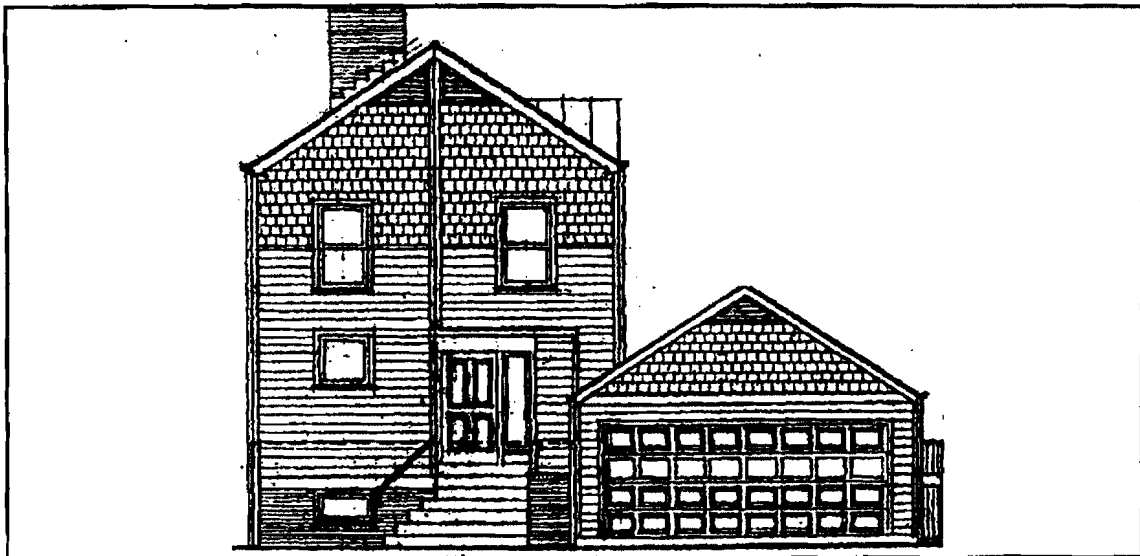
A central tenet of the philosophy of historic preservation is that original historic materials should be retained and repaired rather than replaced. An informed and careful analysis of the existing condition should be made before any decision to replace historic materials is made. It is often cheaper to

keep historic materials and repair them rather than replace an item with new material.

GUIDELINES

PEDESTRIAN DOORWAYS

- Exterior doors and surrounding details should be appropriate to the period of the structure. For example, Victorian style doorways often include side lights. Such original detailing should be retained.
- Vestibule additions surrounding original doors and details should not be constructed on the primary elevation of a structure.
- Decorative door surrounds that are a character defining feature of a building should not be removed to install a new door.
- Exterior flush or paneled metal doors are generally not appropriate on residential structures. In certain instances, flush metal doors may be appropriate for basement level entrances in side or rear yards.
- Exterior flush or paneled metal doors may be appropriate in certain limited circum-



Proposal for a new residential structure and garage with paneled wood door.
SOURCE: 808 Oronoco Street, BAR Case #92-116, John Savage, Architect, P.C.

stances for 20th century retail, commercial and industrial buildings.

- Storm doors should be very simple and open. Extraneous and distracting decoration such as cast aluminum or plastic foliage on storm doors is strongly discouraged.
- Wood storm doors are strongly preferred to metal storm doors.
- The frames of exterior storm doors should be anodized to match the trim color of the building. Unpainted aluminum doors are not appropriate and should be avoided.

VEHICULAR DOORWAYS

- Garage doors should be appropriate to the architectural character and materials of the garage.
- Hinged garage doors are preferred to late-20th century roll-up type garage doors.
- Wood garage doors are preferred.
- Flush or paneled metal or open metal grate garage doors are inappropriate for residential structures in the historic districts.
- Flush or paneled metal or open metal grate garage doors may be appropriate for 20th century retail, commercial and industrial buildings.
- Garage doors should be painted. The color should match the predominate body color of the primary structure or the color of the trimwork.

APPLICATION REQUIREMENTS

All applications for approval of exterior doors and storm doors must contain the following information:

Alexandria Business License

Proof of a valid Alexandria Business License is required at the time of application for contractors, subcontractors, architects, and designers.

Photograph of Existing Structure

Clear photographs of the existing structure and a close-up of the doorway opening are required for reference.

Color

The color that the door is proposed to be painted or anodized must be indicated and an actual color sample provided.

Specifications

A catalog cut sheet or manufacturer's specifications listing for the new door must be included in the application.

RELATED SECTIONS

Exterior Lighting
Shutters

NOTE: Illustrations are provided for information only. Applications for certificates of appropriateness are reviewed and approved on a case-by-case basis.

ADOPTED BY THE BOARDS OF
ARCHITECTURAL REVIEW, 5/25/93

July 16, 2011

Dear Neighbor,

We were sorry to see from the Board of Architectural Review files that you are opposing our planned renovations (at 329 N Saint Asaph). We wanted to tell you more about our plans.

We moved here last year because we love the neighborhood, in part, because it is historic and so charming. We worked carefully with designers to make sure that our exterior changes were minimal and totally in keeping with the character of the neighborhood. Most of the changes will occur in the back of the property, and most of those will not be visible from any public venue.

The changes to the front will certainly be visible, but as you can see from the enclosed artist's rendering, they will be totally in keeping with the neighborhood both as it was in 1890's (we're returning the door to its original position) and as the neighborhood is now (almost all of the 1890's vintage houses in a three block radius that have 2 windows and a door, have the door on the side, rather than being flanked by the windows).

For those of you who have backyards that are contiguous with ours, from your backyard, you will see only the top portion of the porch which will be glassed in instead of open – not much different from what you see now.

The part of the plan that drew the most concern from those that we've spoken to was the deck that replaced our current stairs and curved around across a part of the back of the house. Because of those concerns, we cut the size of the deck by more than half so that it will extend just 2'6" past the stairs it is replacing.

We hope that you will take a look at the enclosed plans and let us know if you still have any concerns.

Thanks,

Jan Cuny & Steve Robinson

July 20, 2011

Dear BAR Member,

Re: Proposed renovations to 329 N Saint Asaph.

We moved to Old Town last year because of its historic character and charm. We were aware that some of our neighbors were quite concerned about any possible renovations we might do and we talked to them about their concerns even before we hired our architects, Hope and Tom Canning. As a result, we plan only *very minor* changes to the exterior that we believe are totally consistent with the character of our neighborhood.

We had heard that our neighbors to the south, the Schaeffers, might be particularly concerned, and so we showed them preliminary plans months before our BAR submission. At the time they expressed no objections. Shortly after though, we received a letter from them saying that they were objecting to every single change. The letter ended with a statement that they were unhappy about the disruption that any construction might cause, which I believe is their chief concern.

One of the things the Schaeffers objected to was the addition and shape of a number of windows we wanted to add on the wall along on our shared alley. As a result, we removed most of those windows from the plan, leaving only one, identical to the already existing windows. After our BAR submission, we heard that they were also unhappy about the curved deck and planned placement of our HVAC. We revised our submission to scale back the deck considerably so that it is now not curved and is almost the same size as the current set of stairs it replaces. We moved the HVAC to the opposite side of our property, away from their backyard.

We believe our remaining changes are quite minor and totally in keeping with the neighborhood. The move of the front door will certainly be visible, but it will be in character with the neighborhood both as it was in 1890's (we're returning the door to its original position) and as the neighborhood is now (almost all of the nearby 1890's vintage houses with 2 front windows and a door, have the door placed off center, rather than flanked by the windows).

Our neighbors with backyards that are contiguous with ours will see only the top portion of the glassed-in porch and the top of the railing of the small deck. The trees in our yard will all remain.

We are aware our house was one of many renovated by Polly Hulfish and we think of that as part of its charm and, in fact, the charm of our entire block. Her renovation was decades ago though, and our house now needs some repairs and updating. We are confident that the very minor external changes we are requesting with this BAR submission will not disturb the look, feel, and charm of our block.

Thanks for your consideration,

Jan Cuny & Steve Robinson

Proposed renovation of 329 N Saint Asaph

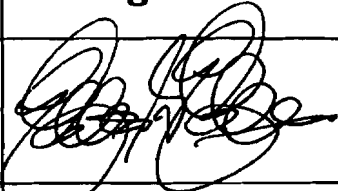

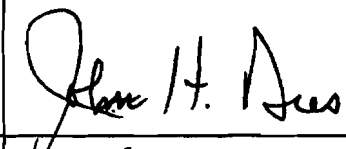

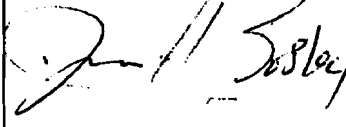
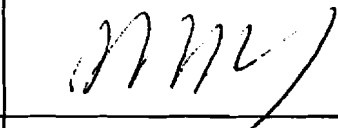

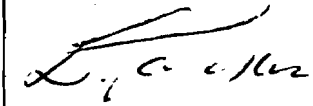
The move of our front door to the side in keeping with our historic neighborhood: The move would restore the door to its original, 1893 position.

The move is in keeping with the current historic houses in our neighborhood: There are 19 nearby historic houses (300 block of St Asaph and 500 & 400 block of Queen) that have two windows and a door on their front sides. Only 3 of the 18 have their doors in the middle. Both of these houses on St Asaph have their door on the side.



329 N. Saint Asaph Renovation

I have seen the renovation plans for the house that my neighbors, Steve Robinson and Jan Cuny, own at 329 N Saint Asaph Street, Alexandria. They are well within the spirit of our neighborhood and I have no objection to their proceeding with construction.

Name (Printed)	Signature	Address	Date
Rob BARBOUR		333 N. ST ASAPH ST	6/27/11
Maura Barbour		333 N ST ASAPH ST	6/27/11
JOHN H. REES John H. Rees		331 N. Saint Asaph St.	6/27/11
CARL GUDENIUS		328 N. ST. ASAPH ST	6/27/11
JANINE H. BOSTLEY Jan A. Bostley		370 North Saint Asaph Street	7/6/11
Dale Bostley		370 North Saint Asaph	7/6/11
Gina Malross		517 PRINCESS SA	7/14/11
D. TACKER		330 N. TICE ST	7/14/11

I have seen the renovation plans for the house that my neighbors, Steve Robinson and Jan Cuny, own at 329 N Saint Asaph Street, Alexandria. They are well within the spirit of our neighborhood and I have no objection to their proceeding with construction.

Name (Printed)	Signature	Address	Date
Ruth McKenry	Ruth A. Kent	331 N. Pitt St. Washington Alexandria, VA 22314	7/6/11
James W. Murphy Beverly Murphy	James W. Murphy Beverly M. Murphy	326 North Pitt St. Alexandria, VA	7/16/11
David Lampa	David Lampa	402 X, Saint Asaph	7/16/11



BEFORE



AFTER

Letter of Support for project at 329 N. Saint Asaph

stephanie mansfield [mansfieldsteph@msn.com]

Sent: Wednesday, August 24, 2011 1:36 PM

To: Julie Fuerth

*Stephanie Mansfield
310 North Saint Asaph Street
Alexandria, Virginia 22314*

mansfieldsteph@msn.com
571-431-6845

Dear City Council Members,

I have been a resident and homeowner in Old Town since 1979. I have also renovated two houses in need of repair.

I have gone over the plans for the alterations to 329 N. Saint Asaph and find the proposed changes:

- Totally in keeping with the architecture of the house and block
- Sensitive changes for a "sleeping porch" , many of which are found on houses of that era and are not clearly visible from the street unless you strain to find it
- 6 by 6 glass appropriate
- Front door returning to its original place is an improvement to the front exterior

Frankly, I fail to understand why any neighbor would find these proposed changes threatening to the character of the street, or of Old Town in general. I think the thought and planning deserve your approval. I walk by this house almost every day, and I'd like to see the front door back to its original place. I agree with the BAR member who called the center front door indicative of a suburban center hall colonial.

Kind regards,

Stephanie Mansfield

81

Catherine Miliaras

From: Michele Oaks on behalf of Preservation
Sent: Thursday, July 21, 2011 9:48 AM
To: Catherine Miliaras
Subject: FW: 329 n st asaph st

Michele Oaks
Historic Preservation Section
703-746-3835 direct
<http://www.alexandriava.gov/preservation>

-----Original Message-----

From: Christine Savala [mailto:csavala@me.com]
Sent: Tuesday, July 19, 2011 6:07 PM
To: Preservation
Subject: 329 n st asaph st

Commissioners and City Staff,
After review of the proposed docket items #4+5 i concur with staff to approve the property owners well designed alternation and encapsulation of the period "Polly" home.
Their are many in the neighborhood that support the improvements of this home as it has been nearly 50 years since many of them have been altered and improved. Lets remember we are a 'living city' not a museum.

Respectfully,

Cathleen Curtin RA AIA

July 9, 2011

To Whom It May Concern: Regarding BAR Case: 2011-00182 & 00183

We the undersigned support the existing external appearance of 329 North Saint Asaph as designed by Marianne (Polly) Hulfish.

We object to the following proposed changes:

- Relocation of the front door
- Enclosure of existing rear porch with new windows
- New Rear porch which exceeds original footprint
- All New windows and shifted window locations

In an article for The Alexandria Chronicle in 1998, Peter Smith, Alexandria Planning and Zoning, credits Polly Hulfish as being personally responsible for the preservation of over fifty residential and commercial structures in the Old and Historic Alexandria District beginning in 1960 and lasting until 1971. Mr. Smith also states that Polly was one of the instrumental forces in securing Alexandria's historic past. He continues to say that without her and many like her, undoubtedly there would be no preservation there today.

Today, starting at the 100 block of North Saint Asaph, and ending on the 900 block, there is a smattering of office buildings, restaurants, retail shops and Town Home developments. Thanks to Polly, the 300 block was preserved, and is definitely the jewel of North Saint Asaph. While others did nothing for preservation, she worked to save an entire block of homes complete with an incredible amount of green space.

We feel that Polly's vision for the 300 block of North Saint Asaph should be preserved. Any changes she made during her preservation are now part of "our" history. She took a block, badly in need or repair, and turned it into one of the most photographed blocks in Old Town. Is it any wonder, that two national corporations selected this block to represent Old Town Alexandria in their advertising campaigns?

July, 2011 Regarding BAR Case: 2011-00182 & 00183

Print Name: Jaime Steve
Signature: Jaime Steve
Address: 325 North Saint Asaph St
Alexandria, VA 22314

Print Name: Whitney A Steve
Signature: W. Steve
Address: 325 N. St. Asaph St.
Alexandria, VA 22314

Print Name: Laura K. Teresinski
Signature: L K Teresinski
Address: 319 N St Asaph St
Alex, VA 22314

Print Name: Jerome J. Teresinski
Signature: J Teresinski
Address: 319 N. St Asaph St
Alexandria, VA 22314

July, 2011 Regarding BAR Case: 2011-00182 & 00183

Print Name: John G. Kester

Signature: 

Address: 313 North Saint Asaph St.
Alexandria, Va. 22314

Print Name: James E. Ballowe Jr.

Signature: James E. Ballowe Jr.

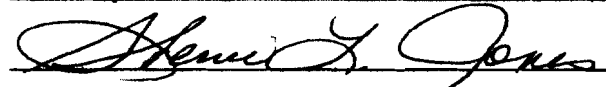
Address: 311 N. Saint Asaph St.
Alexandria, VA 22314

Print Name: MARY Theresa Vasquez

Signature: Mary Theresa Vasquez

Address: 317 N. St. Asaph St.
Alexandria, VA 22314

Print Name: Sherrie L. Jones

Signature: 

Address: 526 Queen Street
Alexandria, VA 22314

July, 2011 Regarding BAR Case: 2011-00182 & 00183

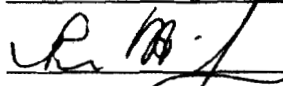
Print Name: RONALD K. RIGBY
Signature: Ronald K. Rigby
Address: 330 N. Pitt St.


Print Name: HAZEL R. RIGBY
Signature: Hazel R. Rigby
Address: 330 N. Pitt St.

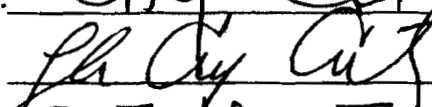
Print Name: Billie Schaeffer
Signature: Billie Schaeffer
Address: 327 N. St. ASAPH
Alexandria, VA 22314


Print Name: John Williams
Signature: John Williams
Address: 327 N. St. Asaph St.
Alexandria, Va. 22314

July, 2011 Regarding BAR Case: 2011-00182 & 00183

Print Name: Per Hugel-Jensen
Signature: 
Address: 526 Queen St.

Print Name: Walt Steimel
Signature: 
Address: 401 North Saint Asaph

Print Name: CAY CRITZ
Signature: 
Address: 307 N. ST ASAPH
ALEX VA 22314

Print Name: Leslie Wood
Signature: 
Address: 321 N. St. Asaph St.
Alexandria, VA 22314

July, 2011

Regarding BAR Case: 2011-00182 & 00183

Print Name: Sherry Hulfish Browne
Signature: Sherry Hulfish Browne
Address: 6211 Florence Lane
Alexandria, VA 22310

Print Name: Barbara Jayne CLANCY
Signature: Barbara Jayne Clancy
Address: 223 N. Saint Asaph
ALEXANDRIA, VA 22314

Print Name: Sharon M. Quinn
Signature: Sharon M
Address: 1335 Argall Place
Alexandria, VA 22314

Print Name: Daniel Nelson
Signature: Daniel Nelson
Address: 403 North St. Asaph
Alexandria, VA. 22314

July 10, 2011

Board of Architectural Review
Department of Planning & Zoning
City of Alexandria
Alexandria, Virginia 22314

Regarding:

BAR Case No. - 2011-00182-00183
Permit to Move, Encapsulate, or Demolish -329 N. St. Asaph

Dear Mr. Chairman and Board Members:

For the last 26 years we have been the owners & residents of 327 North Saint Asaph, a home Polly Hulfish was instrumental in saving. As I'm sure you are aware, Polly was a leader of historic preservation from 1960 until 1971. In the 1998 publication of the Alexandria Chronicle, Peter Smith, Department of Planning and Zoning, wrote at length of Polly Hulfish and her accomplishments. We learn that in 1962, with Polly as their president, Mrs. Hulfish was instrumental in creating Old Alexandria Restoration Inc., a group that functioned as a historic preservation revolving fund...buying houses, fixing them up and selling them. The profits were then re-used to carry out other projects. Polly was definitely ahead of her time, during the 1970s, preservation revolving funds were hailed as one of the most innovative and successful preservation tools used to revitalize a historic district.

In addition to her restoration work, Mrs. Hulfish was a member of the Board for 9 years. She was given awards for outstanding restoration work in 1962 & 1968 by The Alexandria Association, and in July, 1981 was honored by the Alexandria City Council with an award for her contributions to Alexandria preservation. Polly's husband, Thomas A. Hulfish, Jr., was a member of the City Council in the mid-1940's and was a principal sponsor of the ordinance which created the Old and Historic Alexandria District in 1946.

As with anything else in life, there will always be "critics", but Polly's vision for "what might have been" has become a permanent part of Alexandria's history. It is her vision that we see on the 300 block of North Saint Asaph, and it is her vision we should be celebrating, not destroying. We agree with Peter Smith, "These homes remain distinctive for their unique beauty, warmth and charm". Moving doors, adding windows, enclosing porches with glass, and attaching a 5foot 7inch high deck to the back of the house was clearly not Polly's vision. The applicant is proposing not only exterior changes, but is changing the entire interior. Everything Polly did will be gone forever. There is nothing we can do to preserve the interior, but we feel it is our responsibility to try and preserve the exterior, which was the vision of an incredible lady, Polly Hulfish.

As the direct neighbor of 329 North Saint Asaph, we are also extremely concerned about the amount of excavation that will be taking place so close to our property. This would relate to any property damage we might suffer, such as walls and foundations cracking, flooding, and any unexpected issue that may arise. We are also troubled by the proposed glassed in porch. The open design that exists today is far more compatible with the overall look of our homes, which is a simple design, reflective of their history. Also, the 5foot, 7inch high deck, which will exceed the original footprint, is something one would find on a newer home, and is completely out of character with the neighborhood. As for public visibility, the proposed front door, side windows and glassed in porch will be visible from N. St. Asaph; the deck will be visible from Princess St., and the public alley off of Pitt Street.

We are delighted that our homes are referred to as "Hulfish Row" on the bus tours. Additionally, this block of homes was used to represent Old Town in two national add campaigns...all thanks to Polly.

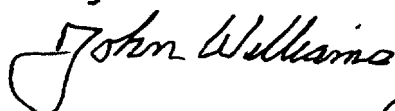
We thank you for your time and ask you to deny this application.

Respectfully,

John Williams

&

Billie Schaeffer



July 13, 2011

Board of Architectural Review
Department of Planning & Zoning
City of Alexandria
Alexandria, Virginia 22314

RE: BAR Case No. - 2011-00182-00183, 329 N. St. Asaph

To the Chairman and Members of the Board:

In 1996, when purchasing a home at 403 North Saint Asaph Street (part of the 1831 building that long housed the city jail), one of the key features of the neighborhood that was compelling was the attention to historic detail and preservation.

Any effort to alter the external footprint or appearance of homes in the area (or throughout Old Town Alexandria) risks permanent damage to precisely the character that draws home buyers and tourists to the city.

The plans for 329 North Saint Asaph – which include both significant external and internal alterations – need to be seen reasonably and appropriately. As a nearby homeowner, I question but do not contest the right of anyone to make internal renovations, often to modernize a property. Yet, the substantial changes to the *external* configuration and appearance of 329 N. Saint Asaph should not be allowed.

Homes with an importance to Alexandria's cultural heritage ought not be substantially altered by adding decks, building enclosed glassed-in porches, or otherwise changing visible characteristics. The BAR should guard such a heritage vigorously, while of course allowing internal modernization and upkeep. Like these homes in the 300 block, it is simply inconceivable that anyone in our block would construct decks, build enclosed porches, add windows, etc.

This request should be rejected both because of the specific kinds of external changes (substantial and permanent) and because of the BAR's role in preserving the heritage of Alexandria.

Sincerely,

Dr. Daniel N. Nelson

July 13, 2011

To Whom It May Concern: BAR Case:2011-00182/00183

As neighbors in the area, we are writing in support of the **EXISTING** external appearance of 329 North St. Asaph St.

We understand that it was designed by Polly Hulfish as part of a block-long restoration. From our second story patio we look directly into the backyard of 329 N. St. Asaph.

We have two concerns:

First, that the historic nature of the neighborhood be preserved without unnecessary exterior alteration.

Second, that the proposed digging and dirt removal from lowering the basement, as well as other debris from interior reconstruction, will require a lengthy positioning of a dumpster in the street in front of the house.

We have lived in our house for 37 years and have had to deal with innumerable construction projects (jail/police station removal, construction on that site, Burgh demolition and construction, houses constructed at the west corner of Princess and North St. Asaph, several remodeling efforts on N. St. Asaph and Queen, etc.) all of which were disruptive, not just to us, but to the entire neighborhood.

Respectfully submitted,

Ron Rigby Hazel Rigby

Ron and Hazel Rigby, 330 North Pitt Street (backing on Princess)

July 10, 2011

**Board of Architectural Review
Department of Planning and Zoning
City of Alexandria
Alexandria, VA 22314**

**Re: Case No. 2011000182-00183
Permit to Move, Encapsulate, or Demolish, 329 N. Saint Asaph St.**

Dear Mr. Chairman and Board Members:

As owner/residents of 325 North Saint Asaph St. – one of a unique set of contiguous, preserved homes – we write to express our opposition to the proposal regarding 329 North Saint Asaph St.

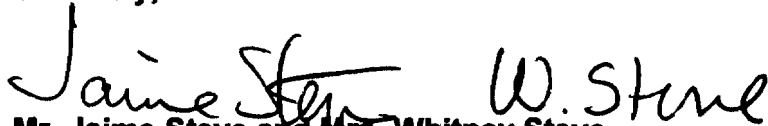
Our main concern is that the proposal would significantly alter the look and character of the 300 block of North Saint Asaph St. – a truly unique block which has been carefully restored and maintained for over forty years. Our block – referred to as “Hulfish Row” thanks to pioneering preservationist Polly Hulfish – is the only preserved block of pre-Civil war homes in all of North Saint Asaph St.

While all homeowners have a right to improve their homes, moving front doors, excavating basements, demolishing and rebuilding fireplaces, adding windows and tacking on suburban-style patio porches to historic houses certainly goes beyond what is reasonable in a preservation area. The bulk of these proposed renovations would be visible from the front, side and rear of all areas surrounding 329 North Saint Asaph St.

Our second concern involves possible damage to older nearby homes and foundations, like ours, located less than thirty feet from the proposed construction site. This is a particular concern because of the proposal to excavate the basement and demolish and remove the existing chimney/fireplace.

We thank you for your time and effort and respectfully ask that the Board disapprove the application regarding 329 North Saint Asaph St.

Sincerely,


**Mr. Jaime Steve and Mrs. Whitney Steve
325 North Saint Asaph St.
Alexandria, VA 22314
703-683-4385**

July 12, 2011

Board of Architectural Review
City Hall
Alexandria, VA 22314

Re: Case No. 2011- 00182 - 00183 - 329 North Saint Asaph

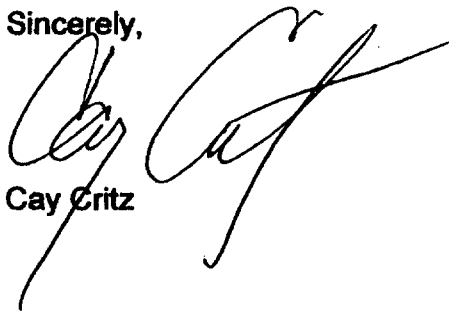
Dear Mr. Chairman & Members of the Board:

My name is Cay Critz and I live at 307 North Saint Asaph, a Polly Hulfish house. I moved from Savannah, Georgia to Alexandria, Virginia in 1990. The first time I saw the house at 307 North Saint Asaph I knew I had found my home. I was eager to learn the history of this lovely house and quite impressed with the remarkable Polly Hulfish. I was even more impressed that a woman in the 1960's was able to do so much for historic preservation.

I have recently learned about the proposed plans for 329 North Saint Asaph and I must tell you, it disturbs me to think of a Polly Hulfish house being destroyed. This block of homes is incredibly special and should be protected. I understand that the interior of a home is not under the jurisdiction of the BAR, however, the exterior of a home has to follow certain guidelines. I believe the proposed plans for 329 North Saint Asaph do not follow these guidelines. Mrs. Hulfish had a complete, and I might add, charming plan for our block. Changing any exterior element of the home alters her view, and erases our history. Any changes that Mrs. Hulfish made during her restoration should remain as they are today.

Please deny this application

Sincerely,

A handwritten signature in black ink, appearing to read 'Cay Critz', written over a printed name.

Cay Critz

July 13, 2011
Board of Architectural Review
Old Town, Alexandria, VA

RE: BAR Case # 2011-00182-00183
Opposition to changes to 329 N. St. Asaph

Dear Board,

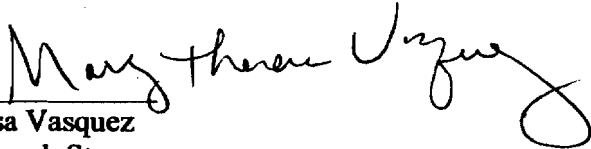
Please **preserve** the Historic character of our North East block (300 N. St. Asaph) of Old Town! I feel very fortunate to live on this block of Historic North End of Old Town for over 16 years. At the same time, I, as an owner, have the obligation to be its' "guardians", specifically during this celebration of Alexandria in history. Appropriately that this time, we continue to preserve history! Historically, these "row" of houses sometimes called "Hulfish Row or Polly's Row" have been in existence since the 1850's. In the 1960's, Ms. Hulfish had the "**vision**" to revitalize and preserve this row of homes into a historical district which is enjoyed to date.

It is well known that there are a very limited amount of historical homes in the North East side compared to the rest of Historical Old Town. Also, there are houses whose owners have made significant changes to which have totally changed their historical character. One just has to walk around and see these obvious changes.

I live about two blocks from the historical areas of Christ Church, the Robert E. Lee "boyhood" home, Lee Fendall home and one/half block from the historical pebble street of Princess Street which is located between N. St. Asaph and the George Washington Parkway. Additionally, I am proud to add that the tour buses travel on our block daily to see and enjoy our beautiful "Polly row" of houses. Additionally, my house is located next to a very "special walkway" which was an alley in the olden days. On a daily basis, this beautiful, brick walkway "invites and showcases" the historical preservation and beauty of the open space of the 1850's of our historical row of homes to the large amount of tourists and neighbor traffic between N. St. Asaph and N. Pitt and beyond. This walkway is situated in the middle of the 300 block of N. St. Asaph between my house at 317 and 313/315 N. St. Asaph. Thanks to the City of Alexandria for investing time, money and landscaping in providing this beautiful brick walkway. This proves that the City of Alexandria cares for our neighborhood and its historical significance.

As proud and responsible citizens of Old Town, it is our **duty** to preserve the historical significance, beauty, open space, "blue-print" and unique character of the 300 block of N. St. Asaph for future generations. Therefore, I **object** to any changes to 329 N. St. Asaph which destroys the historical character of the "Polly Hulfish Row."

Sincerely,


Mary Theresa Vasquez
317 N. St. Asaph St.
Alexandria, VA 22314
703-519-9437

JOHN G. KESTER
313 North Saint Asaph Street
Alexandria, Virginia 222314

July 14, 2011

Board of Architectural Review
City Hall
Alexandria, Virginia 22314

Re: No. 2011-00182
No. 2011-00183

Gentlemen:

I write to urge you that you deny the applications to demolish and for certificate of appropriateness noted above, concerning the historic dwelling at 329 North Saint Asaph Street.

The proposal would substantially alter in many respects the exterior of one of north Alexandria's historic structures that was meticulously restored half a century ago by one of Old Town's most careful and renowned restorationists. The proposed demolition, alteration and new construction would negate the protection this Board up to now has ensured for the unique row of humble Nineteenth-Century houses of which this property is a part.

Number 329 North Saint Asaph Street is part of a line of about eight homes that date from the mid-1800s. Through the efforts mainly of Ms. Polly Hulfish, who saved this property, these have survived the unfortunate widespread demolition that occurred on the north side of Old Town in the 1960s era. The proposal by the property's recent purchasers would tear down parts of the old structure, carve out new windows and exterior doors, totally remove and place elsewhere the front doorway, excavate an entire basement with new steps and egress, and add an enclosed room onto the back -- all to suit the preferences of new owners with roots elsewhere (who, of course, acquired this house with full notice of the restrictions imposed by law in the Old and Historic District).

Only four years ago this Board, and the City Council, focused great attention on this group of houses, when they denied a similar application for demolition and encapsulation that would have altered and extended the back of another of the historic houses in this same group. The members of this Board at that time referred to the fact that this particular group of houses is a rarity -- not just because they have survived, but because unlike many of the grander houses of Alexandria, they were originally occupied by small craftsman and artisans, many of them freed former slaves. Almost all the physical traces of that portion of Alexandria's African-American history have been destroyed.

Several of this Board's members at that time commented that to allow construction or expansion on any of these rare and fragile properties would create a damaging precedent threatening all houses in the group. The same concerns were expressed emphatically by all members of the City Council, when they unanimously affirmed this Board's actions in denying that application. Then Vice Mayor Pepper observed at that time:

"My visit to this little enclave convinced me that we should not allow this addition. It truly is a little oasis in Old Town and represents the types of homes that were occupied by working people in the Nineteenth Century. These five houses are truly important to Alexandria history."

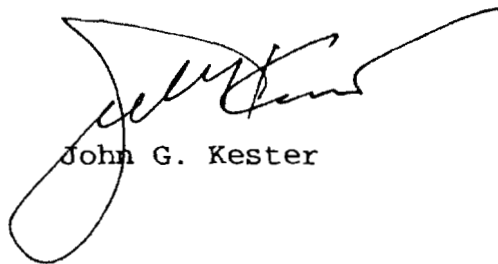
The houses on this block are a fragile treasure that needs steadily to be guarded against irreparable loss at the hands and whim of new and likely temporary owners. This situation highlights the very reasons that Alexandria protects its irreplaceable structures and their neighborhoods.

Board of Architectural Review
July 14 2011
Page 3

The present application does not meet its heavy burden for an exception to the rule that has been applied to all these properties. Consistently with the prior precedents of this Board and the standards and purposes of the ordinance, it should be denied.

Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read "John G. Kester", written over a large, stylized flourish that loops around the text.

John G. Kester

Enclosures: Alexandria Gazette, Oct. 2008
Alexandria Times, Dec. 27, 2007

REAL ESTATE

Are Workers Homes Historic?

Questions still linger following a neighborhood dispute a year ago over what makes a house worth preserving.

By GINA TORO-LUGO
GAZETTE PACKET

On a sunny Sunday afternoon, Billie Schaeffer steps out of her home in the 300 block of North St. Asaph Street and walks down into a meticulously kept narrow alley. The alley is listed by the city as private property but belonging to no one. It leads into a small lot where a row of three century-old homes and their placid gardens can be seen.

Listed on the 1885 Sanborn Maps as occupied by "negro tenants," each of the three row houses was awarded an oval bronze plaque by the Historic Alexandria Foundation. The plaque recognizes buildings that are more than 100 years old and maintain their original structure.

"When you walk into our homes and step into our backyards, it is, as silly as it sounds, a paradise," Schaeffer says.

But not everyone agrees.

One of the townhome's owners submitted a petition to allow partial demolition on one of those homes in the summer of 2007. The Board of Architectural Review denied the petition and the owners appealed the decision to the city council of Alexandria.

Stephen Milone, Division Chief of Zoning and Land Use Services, defended the decision of the

"It is very important that the historic fabric be retained."

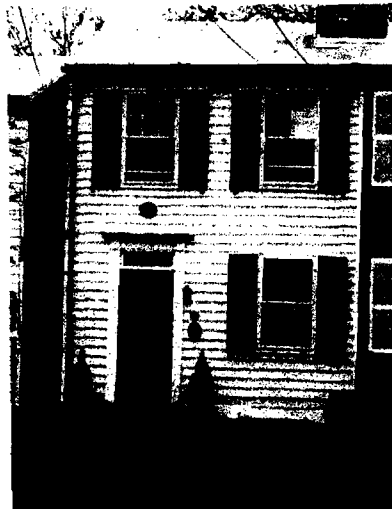
**Stephen Milone,
Division Chief of Zoning
and Land Use Services**

In an attempt to clarify BAR's classification of the home as a possible historical site, councilman Paul C. Smedberg defined it as "welcoming to writers, poets and tourists." But Duncan Blait, the attorney, did not share the same opinion.

"The house went from a simple vernacular house that regrettably, given the period of time, was probably on the wrong side of the tracks," said Blair, referring to the physical location of the home in the lower class section of the city prior to the improvements done to it in 1965.

The opponents and supporters of the appeal presented their arguments before the members of the council. Both sides agreed that the integrity of the structure — the bricks and mortar — was no longer there. The roof and siding had been redone and a bay window, though without authorization, had been installed. They also agreed that previous improvements had not altered the original plans or "footprint" of

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One of three row houses designated as historic. the structure.

SUPPORTERS OF THE petition argued that nobody of importance had lived there but former slaves and small-trades people. They also asserted that the BAR's denial to allow any alteration was a violation of the Fifth Amendment pertaining to rights of property owners.

The opponents, however, defended their stand on the case by reminding the council that there was more to history than bricks and mortars. The original form was still there and the social status of the original tenants did alter its historical value.

"Many big, affluent homes have been preserved, but lower class and middle class homes, there is not a lot of that. People tend to think that is not important," said Laura Teresinski, an opponent of the petition and a concerned neighbor "African American history is deserving of attention."

"African American History is part of Alexandria, is part of our country. Period. If anything can be done to save it, it should be done," says Joe Dickson, an Alexandria resident.

Blair argued before the council that while it is not known why there have been no alterations to the homes in the past 150 years, to allow changes in a historical construction was representative of the passage of time. Schaeffer's rebuttal "For 150 years, every single person who has lived in those homes appreciated them, loved them and respected them."

Gilberto Torres-Gonzalez, a recent resident of the City of Alexandria and former history professor at the University of Puerto Rico, points out that "the unique architecture has a cultural and social value. The value of these homes is in their representation of the cultural and social development of the City of Alexandria. To destroy them, is to destroy a piece of art."

Oscar Fitzgerald, a member of the BAR, explained that the proposal not only alters the footprint of the house, it also affects the historical essence of the community.

The city council voted unanimously to uphold BAR's decision.

"If we cannot save this very significant block, very significant site, what does that say for the rest of the historical homes?" Vice Mayor Redella Pepper asked.



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ALEXANDRIA GAZETTE

Council backs board on house addition denial

■ New addition on back of home inappropriate

By CARLA SPANER
Carla.Spaner@times.com

The house at 323 N. St. Asaph Street in Old Town will not have a 900-square-foot addition. The Alexandria City Council voted unanimously to uphold the decision of the Board of Architectural Review for the Old and Historic District not to allow the owners to demolish and encapsulate historic material on the house.

More than 20 people came to speak about this issue, most of them in support of the BAR's decision. The house is in the center of a row of five frame for vernacular row

houses that were built some time between 1858 and 1887.

"These are the last five homes of this type left in the City," said Steve Malone, speaking on behalf of the City staff. "Allowing this demolition and encapsulation would destroy the footprint and negatively impact the remaining four homes."

Duncan Blair represented the owners of the home in question. "The back of the home has already been altered and there is no historic fabric left. A bay window was even added at some point. The addition is in the back of the home and thus would not change what the public sees from the front of these houses."

"Old Town is a place where people live. These are homes, not museums and if my clients

had been told that there was no way they were going to be permitted to accomplish their goals here, they would not have spent thousands of dollars designing an acceptable addition," Blair said.

This is not the first time that Council has wrestled with one of these cases. "We need to deal with these issues separately," said Councilman Paul Smedberg. "If we are not going to allow people to demolish and/or encapsulate historic fabric, there is no point in their proceeding to design something that would be acceptable if we do."

The last case of this type that came to Council resulted in the owner of Old Town's Trophy Room closing his business and moving on. He, too, had worked with an architect

designing an addition that, in the end, could not be built because demolition and encapsulation were denied.

Neighbors objected to this addition because of the nature of the connection to the other four homes. "If we had contemplated an addition of this type being permitted, we would never have bought our beautiful home," said the owners of 319 N. St. Asaph Street, Gerome and Lori Terrazinsky. "This addition doesn't just affect the owners of one of these houses but all five owners."

Council agreed. "My visit to this little enclave convinced me that we should not allow this addition," said Vice Mayor Redella S. "Dee" Pepper. "It truly is a little oasis in Old Town and represents the types

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This addition doesn't just affect the owners of one of these homes but all five owners.

Gerome and Lori Terrazinsky

of homes that were occupied by working people in the 19th century. These five houses are truly important to Alexandria's history."

Planning Director Farroll Hamer agreed that the staff would discuss separating the processes that BAR reviews. "We have already had some of these discussions internally but we will widen the scope of those and come back with

some sort of a recommendation about separating the request to demolish and encapsulate from the design," she said.

■ Daycare home approved

Council approved another
See Durrant/A5

La-Z-Boy Furniture Galleries

Comfortable Truth '19

1001
Nobody really wants to watch that ball drop seated on a cold park bench.

NO
Interest

