

Docket Item # 9 & 10
BAR CASE # 2011-0105 &
2011-0106

BAR Meeting
June 15, 2011

ISSUE: Permit to Demolish/Encapsulate and Addition

APPLICANT: 713 Lee St LLC by Edgar Henriquez

LOCATION: 713 South Lee Street

ZONE: RM / Residential

STAFF RECOMMENDATION: Staff recommends approval of the application with the following conditions:

1. The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
 - a. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
 - b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.
2. That the applicant provide complete window specifications for the replacement windows and doors in conformance with Alexandria Replacement Window Policy.
3. That the applicant work with BAR Staff to determine the condition of the historic wood siding and if it is salvageable, that the applicant retain and repair the historic wood siding.

****EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of final approval if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

****BUILDING PERMIT NOTE:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including siding or roofing over 100 square feet, windows and signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.



BAR CASE #2011-0105 & #2011-0106



I. ISSUE

The applicant is requesting a Permit to Demolish/Encapsulate and a Certificate of Appropriateness for an addition and alterations at 713 South Lee Street.

Permit to Demolish/Encapsulate

The applicant is requesting approval of a Permit to Demolish/Encapsulate to demolish the following:

- Demolish the existing one-story rear addition in its entirety.
- Demolish/encapsulate the rear portion of the side (south) elevation.
- Demolish/encapsulate second story portion of the rear (west) elevation.
- Demolish rear portion of the existing roof.
- Remove existing metal canopy at front door.

Additions & Alterations

- The two-story addition will measure approximately 33'-4" by 14'-4" with the rear portion pulled back an additional two feet to 12'-4" at the north property line. A standing seam metal shed roof will cover the addition and a portion of the existing building. The north elevation will have three square awning windows each at the first and second stories. The rear (west) elevation will have a pair of French doors with sidelights at the first story and paired windows with sidelights at the second story. A ground-level deck will be installed off the addition.
- Remove existing aluminum siding and repair and, if necessary, replace, the historic wood siding.
- Remove the existing shutters.
- Retain 2/2 wood windows on front elevation and replace existing windows on side elevation with 2/2 simulated divided light wood windows.

II. HISTORY

713 South Lee Street is a two-story, two-bay vernacular frame freestanding townhouse, portions of which may have been constructed prior to 1877, when it first appears on the G. M. Hopkins' 1877 *City Atlas of Alexandria*. The earliest Sanborn Fire Insurance Map on which this building appears, the 1902 map, shows a single pile two-story dwelling with a one-story rear addition. Between 1941 and 1958, the house was substantially expanded and included a second-story addition over the older one-story portion as well as an additional one-story addition at the rear.

In 1960 the Board approved the installation of aluminum siding.

III. ANALYSIS

Staff has no objection to the proposed demolition and encapsulation and finds the proposed addition and alterations to generally be compatible with the existing building and surrounding area. The proposed project complies with Zoning Ordinance regulations.

Permit to Demolish

In considering a Permit to Demolish, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B):

- (1) Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?

- (2) Is the building or structure of such interest that it could be made into a historic house?
- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
- (4) Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?
- (5) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?
- (6) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?

In the opinion of Staff, none of the criteria for demolition and encapsulation are met and the Permit to Demolish should be granted. The areas proposed for demolition and encapsulation are located on secondary elevations, do not remove any portion of the building containing character defining features of uncommon design or historic merit, and do not compromise the integrity of the building as a whole. Furthermore, historic map research indicates that the areas proposed for demolition date from the mid-twentieth century.

Alterations and Addition

BAR Staff have met with the applicant on multiple occasions to inspect the existing window, siding and trim materials on site and to discuss and revise the design of the addition. An early design scheme featured a much larger addition and added roof form that overwhelmed the existing building. Staff worked with the applicant to reduce the amount of demolition and encapsulation of the original front portion of the building and to scale down the size of the addition. The applicant also stepped back a portion of the addition from the north wall of the original structure so the addition now reads as a true rear ell.

The construction of an addition to any building within a historic district must be evaluated not only for its impact on the building to which it is being attached, but also for its impact on the district as a whole. The *Design Guidelines* encourage “designs that are respectful of the existing structure and which seek to be background statements or which echo the design elements of the existing structure.” As the attached drawings illustrate, the proposed addition will not overwhelm the existing building and will clearly read as a separate and distinct addition due to the change in the roof structure, the use of a vertical trim board and the change in fenestration. Staff finds the new door and window design on the west elevation to be somewhat awkward but this elevation is not visible from a public way and, therefore, not strictly within the Board’s purview. Staff notes that the existing aluminum awning over the front door, still shown in some of the side elevation drawings, is intended to be removed and not replaced. As the existing shutters are considered inappropriate, replacement shutters must be wood and operable, in compliance with the *Design Guidelines*, and the appropriate design must be approved by Staff.

The addition is generally appropriate in respect to massing, scale and form, like many additions found throughout the district, and the use of frame construction and a shed roof result in an appropriately simple addition for this very modest townhouse. While the new roof form proposed still unresolved in the way it joins with the existing roof, Staff notes that it will be

minimally, if ever, visible from the public right-of-way down the narrow horse alleys and roof drainage will be addressed in detail during the building permit phase.

The proposed materials are appropriate for an addition and are compatible with the historic building. Although the applicant proposes to use wood siding on the addition, Staff notes the Board has regularly approved fiber cement siding on new construction and additions and Staff believes its use here would help subtly differentiate between the historic body of the house and the new addition. Should the applicant decide to use fiber cement siding on the addition, Staff supports this change in material and can approve it through the building permit approval process. The choice of a standing seam metal roof is also appropriate.

Staff recommends approval of the Permit to Demolish/Encapsulate and the Certificate of Appropriateness for alterations and an addition with the conditions noted above.

STAFF

Catherine Miliaras, Historic Preservation Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Code Administration:

F-1 The following comments are for preliminary review only. Once the applicant has filed for a building permit, code requirements will be based upon the building permit plans. If there are any questions, the applicant may contact Thomas Sciulli, Plan Review Supervisor at 703-746-4190 or thomas.sciulli@alexandriava.gov.

C-1 Building and trades permits will be required to be issued prior to any demolition/construction at the site

C-2 Five complete sets of sealed drawings will be required to be submitted for review prior to the issuance of any permits.

C-3 The plans submitted with this BAR request are not approved for construction or demolition

C-4 At a minimum the new plans shall show:

- Footing and foundation details
- Size, and use of all spaces
- Framing details of walls and roof
- Wall bracing details
- HVAC calculations and insulation values

- The will be no openings allowed on the new south wall including the one depicted on the sheet A-2
- The new south wall is required to be one hour rated and may be required to be two hour rated. The final decision will be made at review time.

Transportation & Environmental Services

RECOMMENDATIONS

- R1. The building permit plans shall comply with requirements of City Code Section 5-6-224 regarding the location of downspouts, foundation drains and sump pumps. Refer to Memorandum to Industry dated June 18, 2004. [Memorandum is available online at the City web site under Transportation\Engineering and Design\Memos to Industry.]. (T&ES)
- R2. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R3. All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (T&ES)
- R4. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- R5. An erosion and sediment control plan must be approved by T&ES prior to any land disturbing activity greater than 2,500 square feet. (T&ES)
- R6. Compliance with the provisions of Article XIII of the City's zoning ordinance for stormwater quality control is required for any land disturbing activity greater than 2,500 square feet. (T&ES)
- R7. The building permit must be approved and issued prior to the issuance of any permit for demolition. (T&ES)

CITY CODE REQUIREMENTS:

- C1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)

C6 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-3-61)
(T&ES)

Alexandria Archaeology

Archaeology Findings

F-1 The G.M. Hopkins Insurance Atlas indicates that a house was present on this lot by 1877. There is the potential for archaeological resources to be present that could provide insight into residential life in 19th-century Alexandria.

Archaeology Recommendations

1. The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
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 - b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

Zoning:

C-1 Proposed addition and deck comply with zoning.

V. IMAGES



Figure 1. Front (west) elevation.



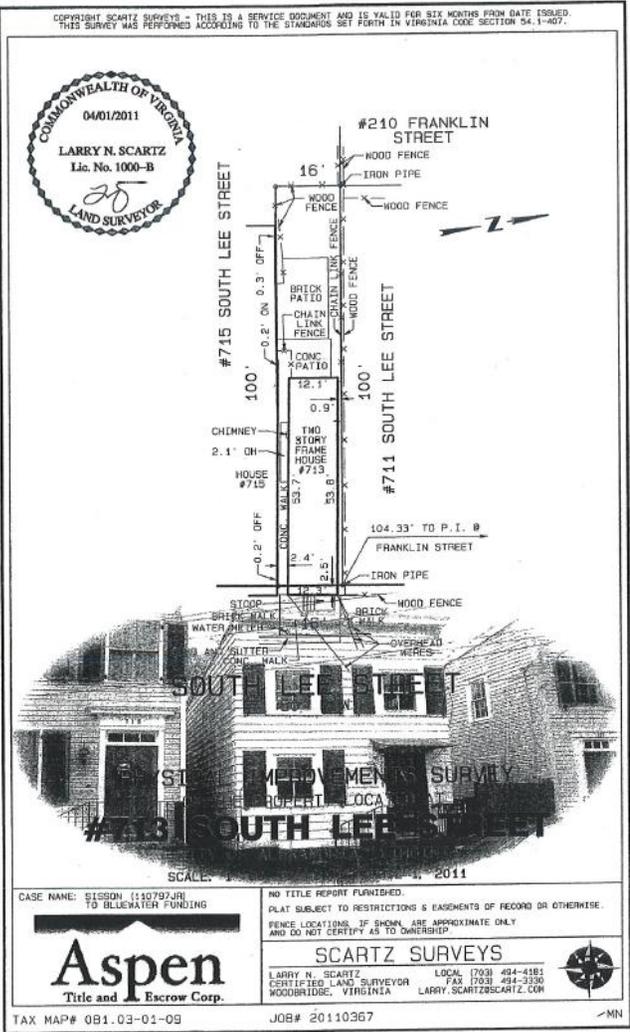
Figure 2. Side (south) elevation.



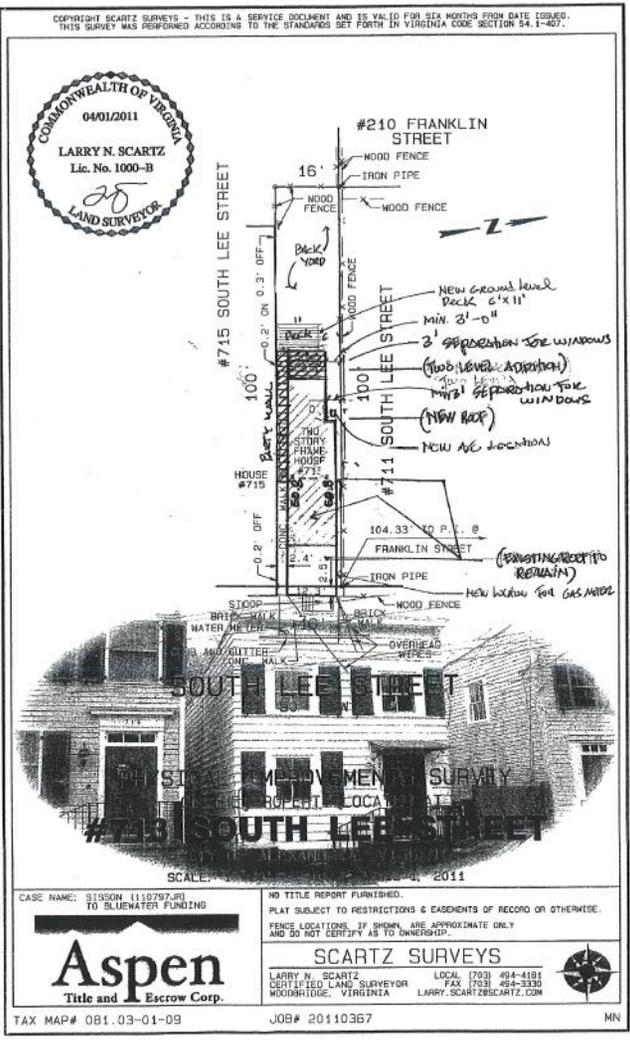
Figure 3 Side (north) elevation.



Figure 4. Existing rear (west) elevation with areas to be demolished.



EXISTING SURVEY PLAT 1" = 20'



NEW SURVEY PLAT 1" = 20'

Figure 5. Existing and proposed plat.

June 15, 2011

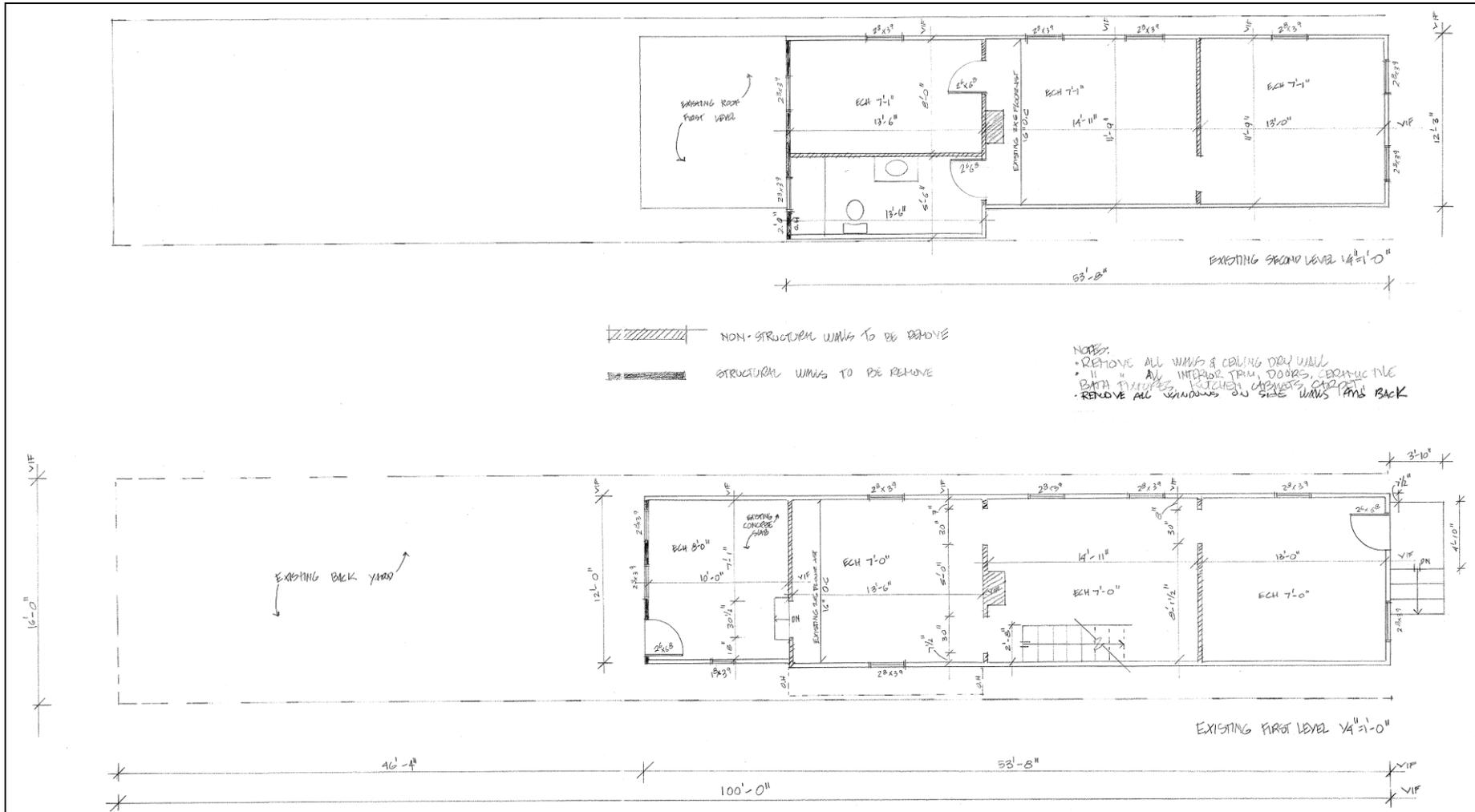


Figure 6. Existing first and second floor plans.

June 15, 2011

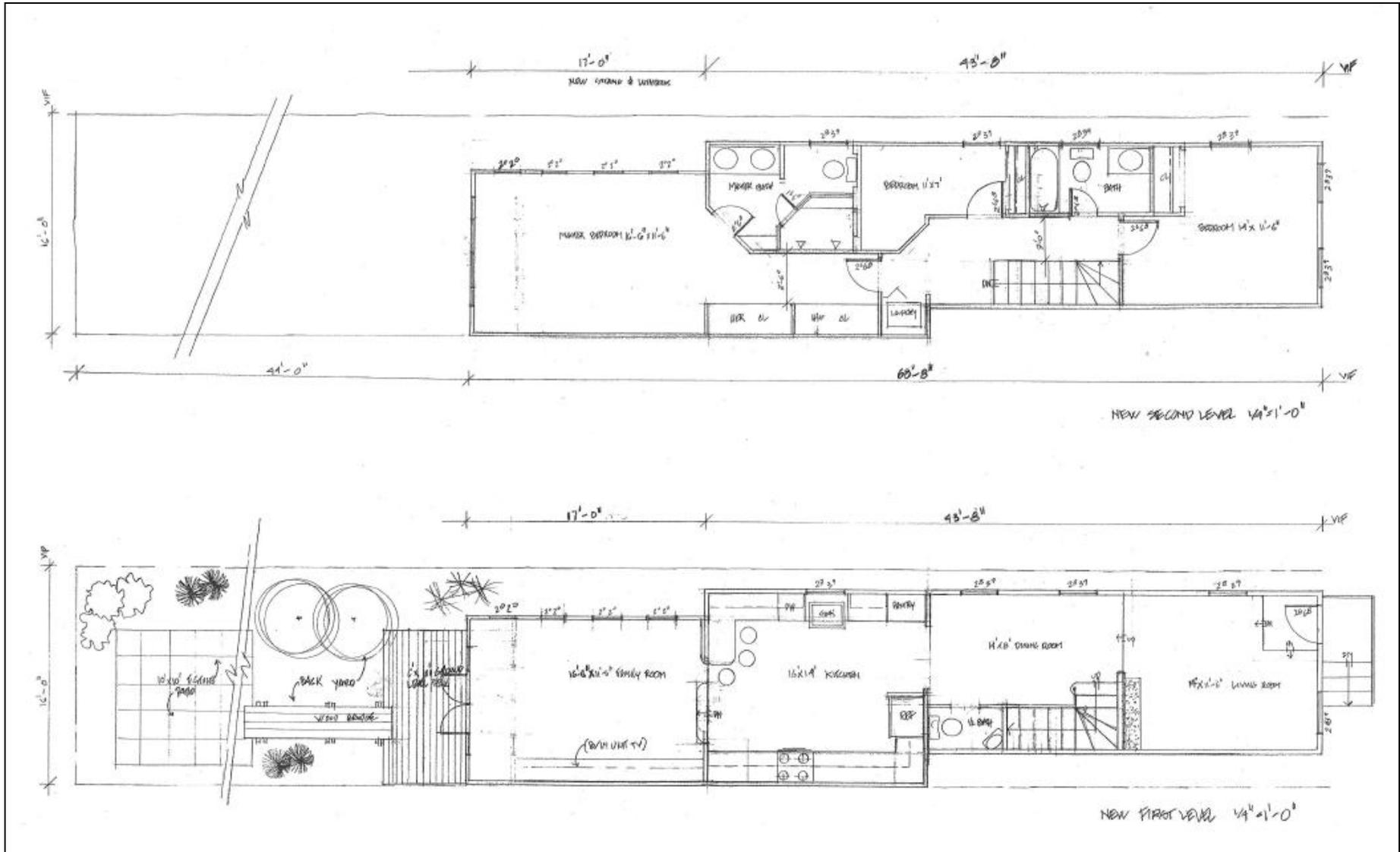


Figure 7. Proposed first and second story plans.

June 15, 2011

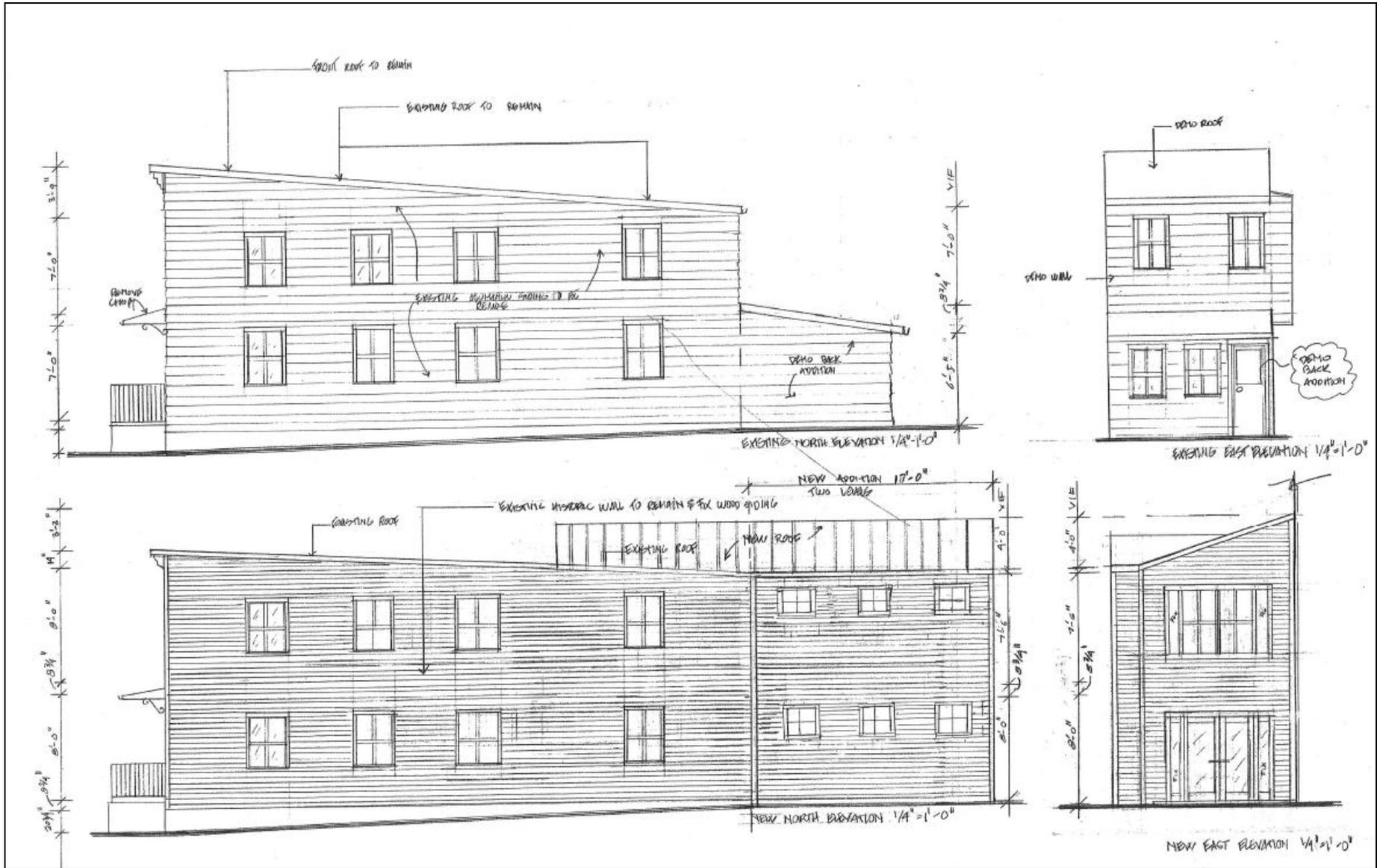


Figure 9. Existing and proposed side (north) and rear (east) elevations.