

Docket Item # 3
BAR CASE # 2011-0136

BAR Meeting
June 22, 2011

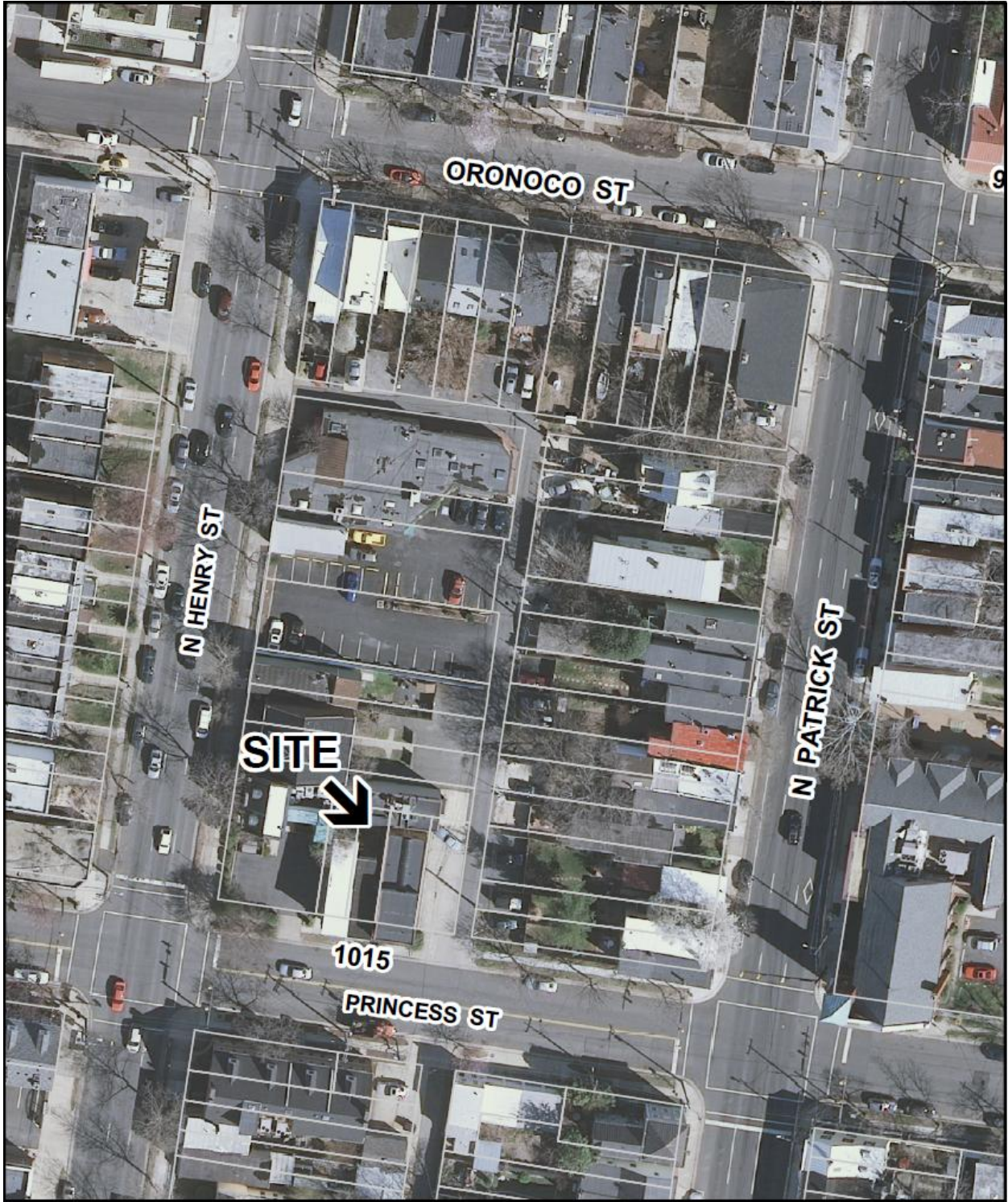
ISSUE: Permit to Demolish/Encapsulate
APPLICANT: Brian C. Thomas by Stephen Kulinski, AIA (architect)
LOCATION: 1015 Princess Street
ZONE: CL/Commercial

STAFF RECOMMENDATION: Staff recommends approval of the Permit to Demolish/Encapsulate with the following condition:

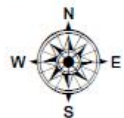
1. That the statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
 - a. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
 - b. The applicant/developer shall not allow any metal detection or other artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology.

****EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

****BUILDING PERMIT NOTE:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by the Code Enforcement Bureau (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Enforcement, Room 4200, City Hall, 703-746-4200 for further information.



BAR CASE #2011-0136



I. ISSUE:

The applicant is requesting approval of a Permit to Demolish/Encapsulate to encapsulate the first floor rear (north) wall of the existing two-story townhouse at 1015 Princess Street. The encapsulation is necessary in order to construct a small addition (50 square feet) below the existing second floor overhang. The approximate area of demolition and encapsulation is 80 square feet. The rear of the property is not accessible from the public right-of-way and the enclosure at the first floor will not be visible. Therefore, the addition itself does not require BAR review.

II. HISTORY:

Although the City's real estate records indicate that the two-story, two-bay frame townhouse at 1015 Princess Street was constructed in 1920, it most likely dates from the **late 19th century**, when a two-story duplex is shown in this location on the 1891 Sanborn Fire Insurance Company.

Staff did not locate any previous BAR approvals for the subject property.

III. ANALYSIS:

Staff has no objection to the proposed encapsulation of the first story of the north wall of the existing townhouse.

Permit to Demolish

In considering a Permit to Demolish, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B):

- (1) Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?
- (2) Is the building or structure of such interest that it could be made into a historic house?
- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
- (4) Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?
- (5) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?
- (6) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?

In the opinion of Staff, none of the criteria are met and the Permit to Demolish/Encapsulate should be granted. The second floor overhang, as well as the rear wall which is subject to the encapsulation, are clearly a later addition/alteration to the property. The demolition/encapsulation does not compromise the integrity of this townhouse as the area of impact is modest and is located on a secondary elevation which is not visible from a public right-of-way.

STAFF

Stephanie Sample, Historic Preservation Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Zoning:

F-2 There is no increase in to the FAR or reduction in open space.

C-1 The proposed addition complies with zoning. Non-residential uses have no yard or open space requirements.

Code Administration:

F-1 A building permit application was submitted for this project on 5-2-2011. As part of that application a preliminary plan review was completed on 5-16-11. Listed below are comments transmitted to the applicant. These shall serve as the departments' comments for BAR review.

C-1 A Certificate of Occupancy is required, for a change of occupancy, prior to permit's final inspection. Recommend submitting Certificate of Occupancy application at permit issuance (2006 VCC §116.1)

C-2 A geotechnical engineer, or his/her agent, shall inspect the footing/foundation sub-grade prior to Code Administration's footing inspection. A field report shall be provided to the Code Administration building inspector at the time of the footing inspection. This inspection shall verify: 1) the sub-grade soil's bearing capacity is adequate and meets the project's design specifications, 2) the footing/foundation will bear on natural soils or properly controlled & certified structural fill and 3) any potential backfill material is suitable against the foundation at the time of placement. At the time of Final Inspection, the applicant shall provide the Code Administration inspector with a final geotechnical report certifying the field reports findings. The report shall be signed and sealed by a licensed structural or geotechnical engineer in the Commonwealth of Virginia, (2006 VRC §113.3 and City of Alexandria Code Administration's Soils Manual, 2000 Edition)

C-3 Sheet A1: Provide a one-hour fire-resistance-rated exterior wall assembly (exposure from both sides) for all exterior walls within 5ft from the property-line. Appears noted UL U418 wall assembly does not provide protection as stated above. Provide (sections & notes) one of the following one-hour fire-resistance-rated exterior wall assembly to adequately protect fire exposure from both sides of the wall structure: 1) a performance system tested and approved by a nationally recognized testing agency, i.e. UL assembly (provide UL assembly number and detail) or ICC Evaluation Report (include test report); or 2) provide a assembly description based on the 2006 VCC §720 "Prescriptive Fire Resistance" (2006 VRC §R302.1)

C-4 Provide emergency escape and rescue opening(s) for all proposed sleeping-rooms (2006 VRC §R310)

C-5 Sheet A1: Provide under stair protection (2006 VRC §R311.2.2)

C-6 Mechanical, plumbing, and electrical permits will also be required prior to the start of this work.

Transportation & Environmental Services:

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition. (T&ES)

C-1 Any work within or from the right-of-way requires a separate permit from T&ES. (Sec. 5-3-61) (T&ES)

Alexandria Archaeology:

F-1 Historical maps (including Sanborn Insurance Atlas, 1891) indicate the presence of 19th-century houses in the vicinity of this property. There is the potential for archaeological resources to be present that could provide insight into residential life on the outskirts of town in early Alexandria.

R-1 The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:

- a. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
- b. The applicant/developer shall not allow any metal detection or other artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology.

V. IMAGES

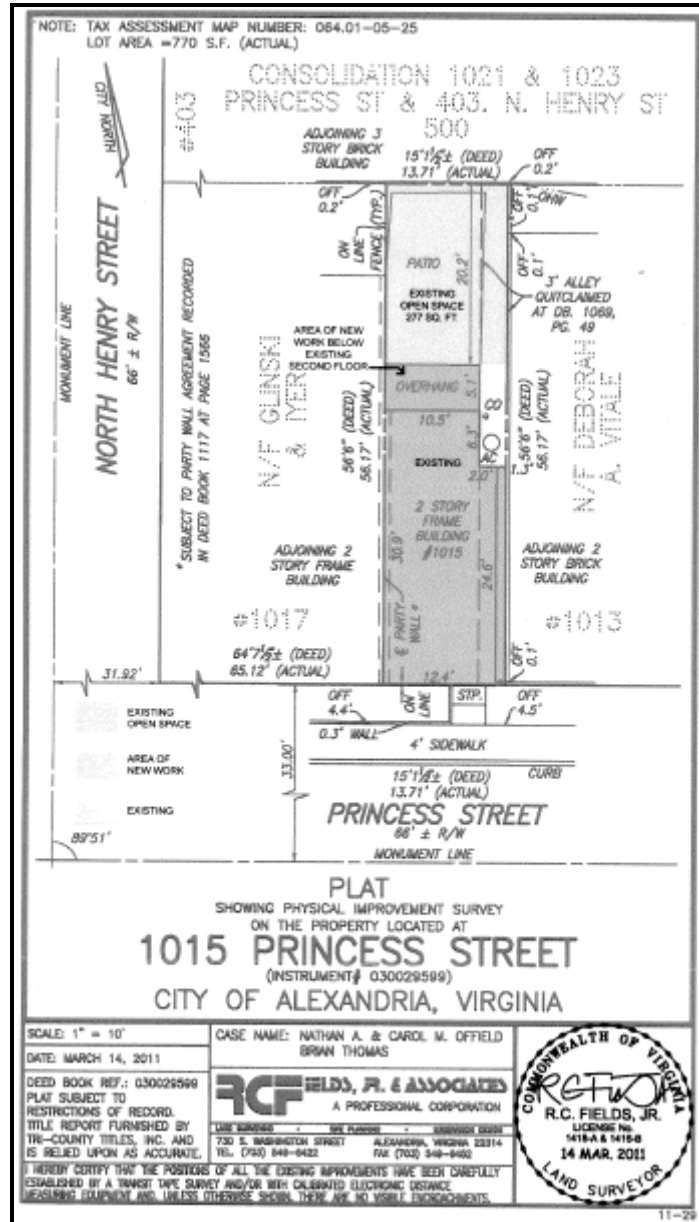


Figure 1: Plat.



1 REAR ELEVATION
A3 SCALE: N.T.S.



2 REAR ELEVATION
A3 SCALE: N.T.S.

Figure 2: Existing conditions.

CITY OF ALEXANDRIA
 BOARD OF ARCHITECTURAL REVIEW PARKER-GRAY DISTRICT
 PLAN SUBMITTAL

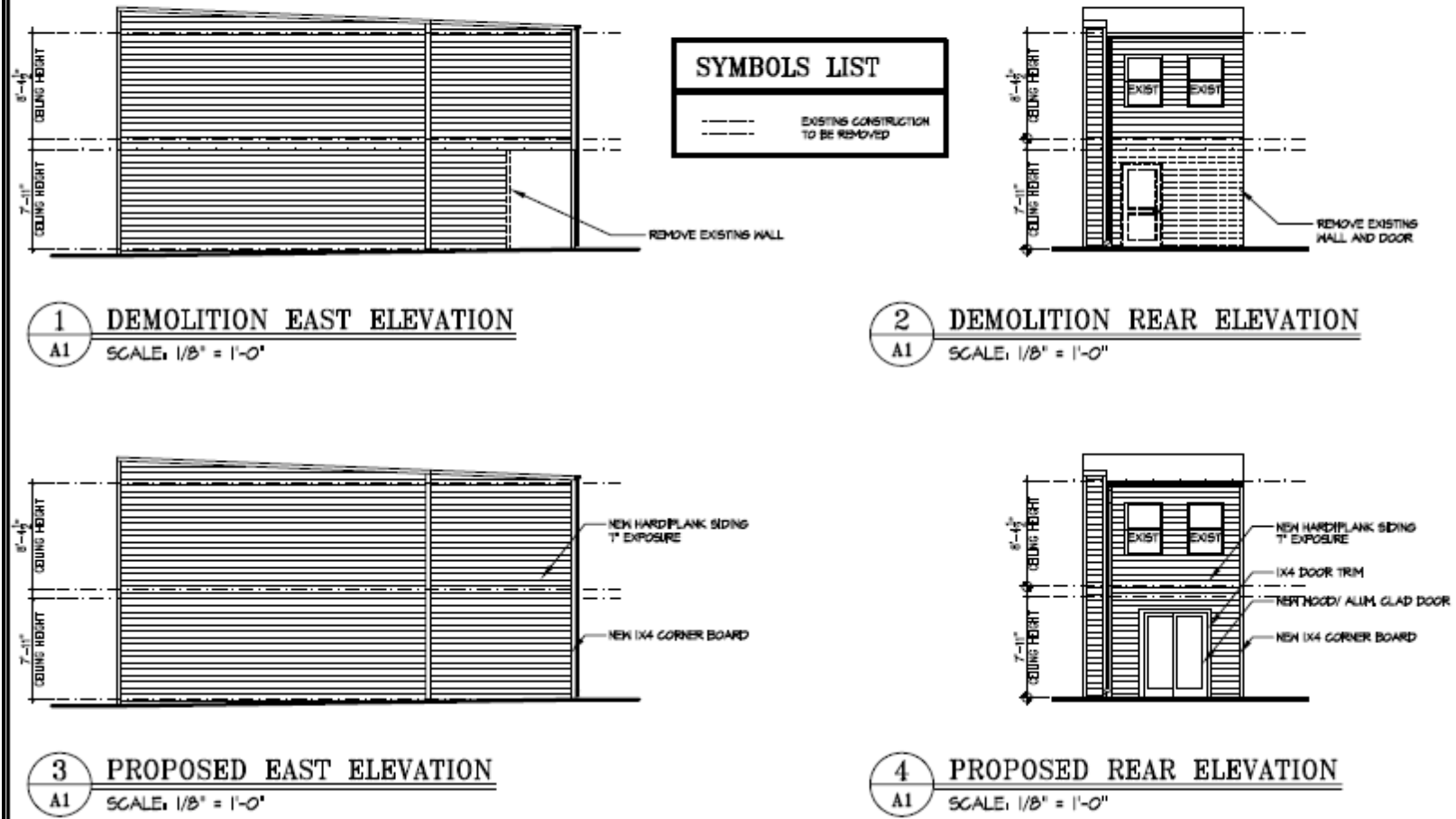


Figure 3: Existing and proposed elevations.