

Docket Item #12
BAR CASE# 2004-0111

BAR Meeting
July 21, 2004

ISSUE: Permit to Demolish

APPLICANT: Barbara J. Kaye

LOCATION: 420 Gibbon Street

ZONE: RM Residential

STAFF RECOMMENDATION:

Staff recommends approval of the application as submitted.

Note: This docket item requires a roll call vote.

I. ISSUE:

The applicant is requesting approval of a Permit to Demolish to reconfigure the roof line of the existing rear additions.



Figure 1 - 3 Existing Rooflines of the Rear Additions

The rear additions are minimally visible through a gap between 420 and 422 Gibbon Street.

The applicant is also requesting approval to demolish/capsulate portions of the rear elevation of 420 Gibbon Street. The entire second story rear wall of the main block of the house will be encapsulated. In addition, approximately 53 square feet of the rear elevation of the one story addition will be demolished to accommodate a new casement window and door.

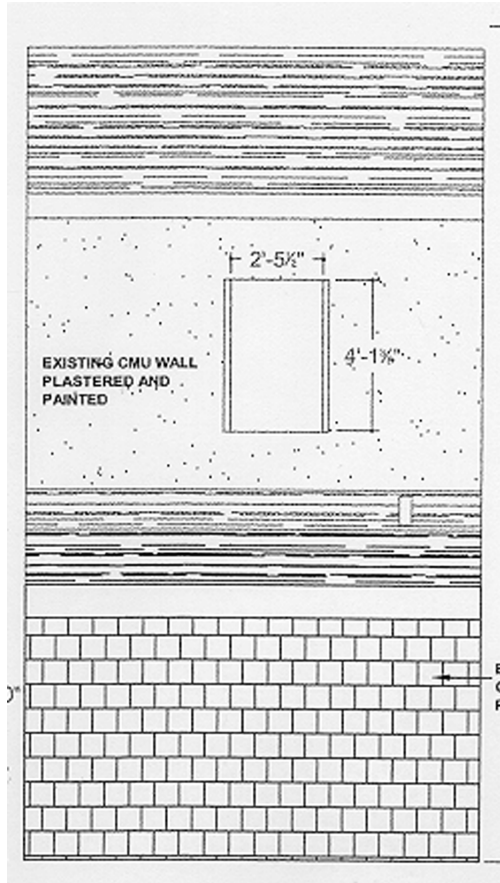


Figure 4 Existing Rear Elevation

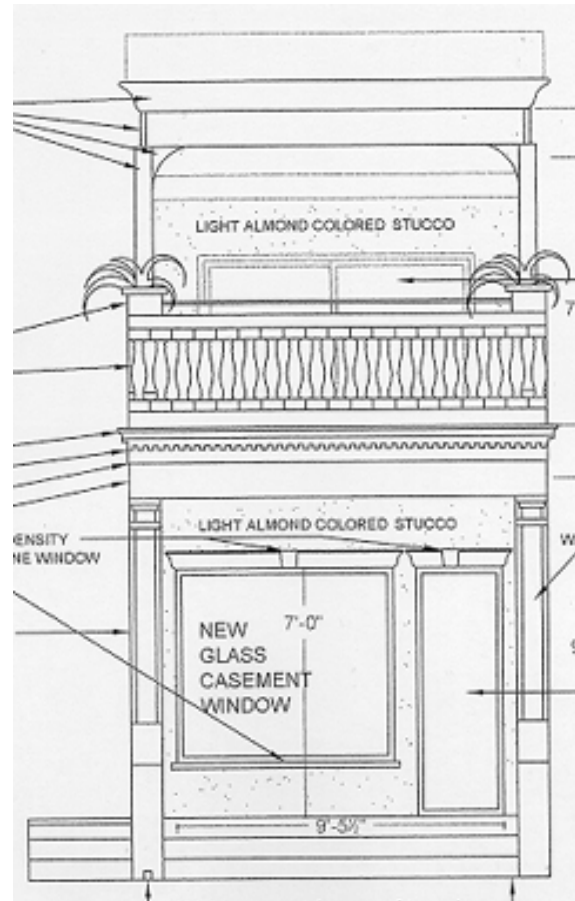


Figure 5 Proposed Rear Elevation

II. HISTORY:

According to Sanborn maps, the residence at 420 Gibbon Street was constructed between 1912 and 1921. The building has undergone a number of alterations and additions. In 1951, the Board approved alterations including 4 new windows and bricktex siding (11/15/51). In 1952, the Board approved a rear addition to replace the existing wood frame kitchen (2/21/52). Later in 1952, the Board approved the addition of an 8' by 12' one story cinder block furnace and utility room on the rear (11/13/52). In 1955, the Board approved a 12' by 12' one story cinder block tool shed.

III. ANALYSIS:

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B):

- (1) Is the building or structure of such architectural or historical interest that its moving,

- removing, capsulating or razing would be to the detriment of the public interest?
- (2) Is the building or structure of such interest that it could be made into a historic house?
 - (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
 - (4) Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?
 - (5) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?
 - (6) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?

Staff believes that none of the criteria are met in this case. The proposed area of demolition is limited to the rear additions dating from the mid 20th century. In addition, the rear of the property is only minimally visible from the public right of way.

IV. STAFF RECOMMENDATION:

Therefore, Staff recommends approval of the application as submitted.

CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Code Enforcement:

- F-1 The plat layout indicates that proposed addition will be located along the lot line(s). All exterior walls within 3 feet from an interior property line shall have a fire resistance rating of 1 hour, from both sides, with no openings permitted within the wall. As alternative, a 2 hour fire wall may be provided. This condition is also applicable to porches with roofs and skylights within setback distance.
- C-1 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to Code Enforcement that will outline the steps that will taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.
- C-2 Roof drainage systems must be installed so as neither to impact upon, nor cause erosion/damage to adjacent property.
- C-3 A soils report must be submitted with the building permit application.
- C-4 New construction must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-5 Alterations to the existing structure must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-6 Construction permits are required for this project. Plans shall accompany the permit application that fully detail the construction as well as layouts and schematics of the mechanical, electrical, and plumbing systems.
- C-7 Permission from adjacent property owners is required if access to the adjacent properties is required to complete the proposed construction. Otherwise, a plan shall be submitted to demonstrate the construction techniques utilized to keep construction solely on the referenced property.
- C-8 A wall location plat prepared by a land surveyor is required to be submitted to this office prior to requesting any framing inspection.

Office of Historic Alexandria:

“No comment.”