

Docket Item #11  
BAR CASE# 2004-0112

BAR Meeting  
August 18, 2004

**ISSUE:** Alterations  
**APPLICANT:** Barbara J. Kaye  
**LOCATION:** 420 Gibbon Street  
**ZONE:** RM Residential

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**BOARD ACTION, JULY 21, 2004:** The Board combined the discussion of docket item #'s 12 & 13. On a motion by Ms. Quill, seconded by Mr. Smeallie the Board approved the proposed demolition and deferred the application for restudy the design of the proposed addition. The roll call vote on the motion was 4-0.

**REASON:** The Board expressed concern about the design of the addition. They believed that it was somewhat too high style in relation to the vernacular form of the house. They believed that the addition should be simplified and that traditional materials such as wood windows should be used.

**SPEAKER:** Barbara J. Kaye, homeowner, spoke in support

**UPDATE:**

At the July 21, 2004 public hearing, the Board deferred the application to restudy the design of the rear additions and rooftop deck. In response to the Board’s concerns, the applicant has revised the proposal to include a simpler design using traditional materials.

**STAFF RECOMMENDATION:**

Staff recommends approval of the application with the following conditions:

1. That the new wooden columns on the west elevation be recessed so as not to project beyond the property line;
2. That the trellis not extend over the property line;
3. That the rear trellis match the trellis drawn on the “New Section A” with the second baluster located at the corner of the roof; and,
4. That the column on the southern end of the west elevation be located at the edge of the addition where the new transom and door is drawn on the “New Side Elevation”.

**I. ISSUE:**

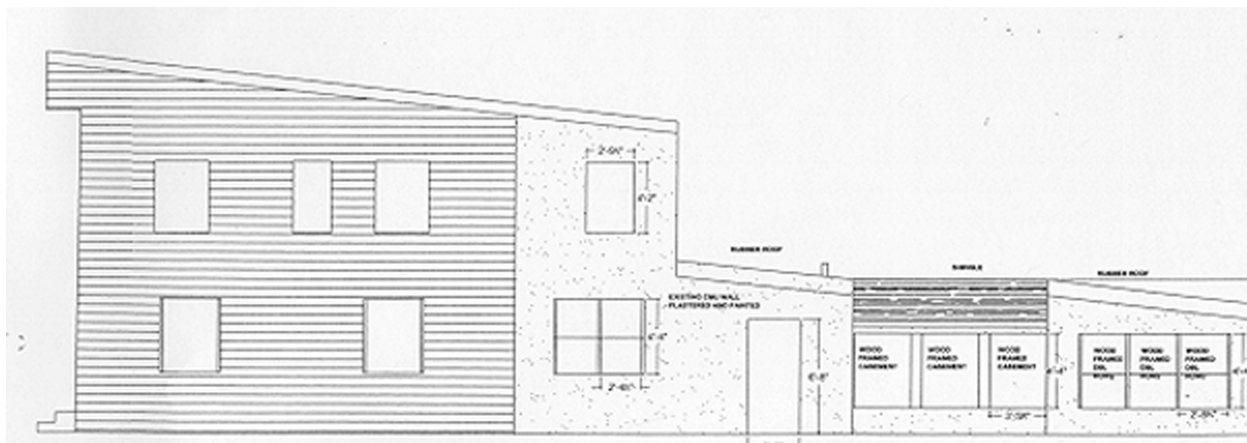
The applicant is requesting approval of a Certificate of Appropriateness for alterations to the residence at 420 Gibbon Street.

**North elevation**

The proposed alterations to the front elevation include relocating the gas meter from the west elevation of the house to the front elevation just below the existing first floor window. The existing electric meter currently on the front of the house will also be relocated. The applicant plans to construct a box to hide the two meters. The new box measures 4’6” by 2’2” by 3’4” and will be located within an existing planter. The box will be covered in wood siding painted to match the house.

**West elevation**

The applicant is proposing to reconfigure the existing rooflines of the rear single story additions. The rear of 420 Gibbon Street is comprised of three separate 20<sup>th</sup> century additions all with different rooflines. The additions will be combined with a single flat roof.

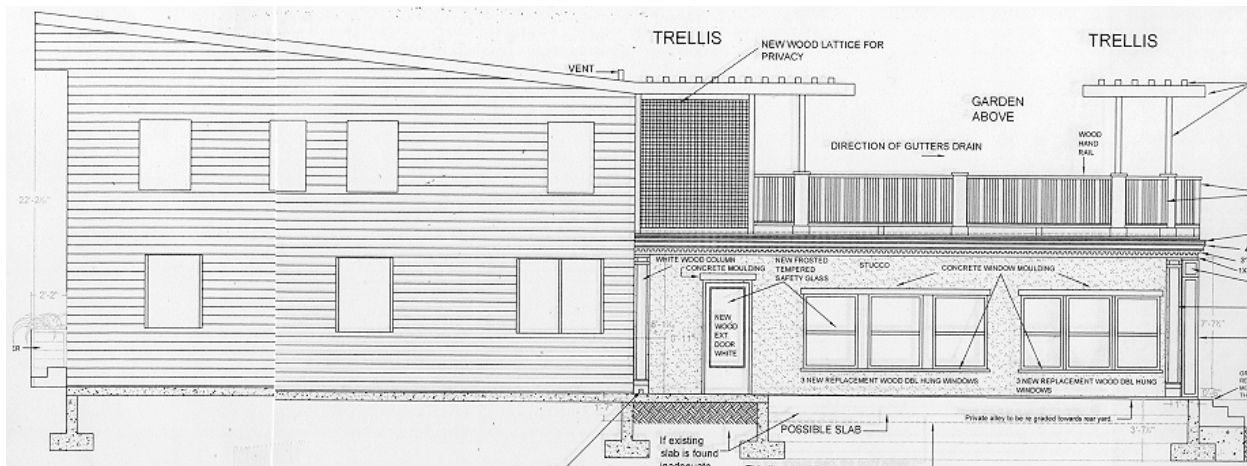


**Figure 1** Existing west elevation

The new flat roof will include a new rooftop deck covered by a wooden trellis. The rooftop deck and trellis will be minimally visible through the gap between 420 Gibbon Street and 422 Gibbon Street. In addition to the wood trellis, the rooftop deck will include a rectangular patterned lattice screening and wood railings.

The addition will be covered in light almond colored stucco. The existing wood windows on the addition are proposed to be replaced with new double hung wood windows. Staff notes that since the existing windows are located on the west property line, no changes to the size of the openings is permitted. The windows and the door will have concrete lintels and trim. A decorative dentil molding and cornice and white wooden columns will also be added to the one story addition.

The existing CMU wall of the two story addition will be covered in wood siding to match the existing siding.



**Figure 2** Proposed west elevation

### **South elevation**

Staff notes that the proposed alterations to the east and south elevations will not be visible from a public right of way and therefore are not under the purview of the Board.

## **II. HISTORY:**

According to Sanborn maps, the residence at 420 Gibbon Street was constructed between 1912 and 1921. The building has undergone a number of alterations and additions. In 1951, the Board approved alterations including 4 new windows and bricktex siding (11/15/51). In 1952, the Board approved a rear addition to replace the existing wood frame kitchen (2/21/52). Later in 1952, the Board approved the addition of an 8' by 12' one story cinder block furnace and utility room on the rear (11/13/52). In 1955, the Board approved a 12' by 12' one story cinder block tool shed..

At the July 21, 2004 public hearing, the Board approved a Permit to Demolish for the reconfiguration of the three rear rooflines (BAR Case #2004-0111).

### **III. ANALYSIS:**

The proposed alterations comply with zoning ordinance requirements.

Staff has no objections to the relocation of the gas and electric meters. The *Design Guidelines* recommend that electrical and gas service be located in the most inconspicuous location of a building (Electric & Gas Service - Page 2). While Staff would prefer not to have either meter located on the primary facade, the meters will be appropriately screened. Staff believes that the relocation and screening of the existing electric meter will be an improvement.

The proposed alterations to the rear additions of the property will be minimally visible through a small gap between 420 Gibbon and its neighbor 422 Gibbon to the west. Staff has no objections to the alteration of the rooflines of the rear additions. The additions were all constructed in the 1950s and appear to have been poorly constructed.

Open decks are primarily a late 20<sup>th</sup> century occurrence that have had wide spread popularity since the 1970's. Generally the Board discourages the installation of open decks which are typically more suburban in character. The Board has on occasion approved open decks in locations of the historic district which are more suburban in character as well as minimally visible areas. In this case the rooftop deck will only be minimally visible through the gap between 420 and 422 Gibbon Street. Therefore, Staff has no objection to the installation of a rooftop deck at this location.

Staff believes that the revised proposal meets the recommendations of the *Design Guidelines*. Staff does however have some minor concerns with the submitted drawings.

### **IV. STAFF RECOMMENDATION:**

Therefore, Staff recommends approval of the application with the following conditions:

1. That the new wooden columns be recessed so as not to project beyond the property line;
2. That the trellis not extend over the property line;
3. That the southern trellis match the trellis drawn on the "New Section A"; and,
4. That the column on the southern end of the west elevation be located at the edge of the addition where the new transom and door is drawn on the proposed elevation.



## CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

### Code Enforcement:

- F-1 The plat layout indicates that proposed addition will be located along the lot line(s). All exterior walls within 3 feet from an interior property line shall have a fire resistance rating of 1 hour, from both sides, with no openings permitted within the wall. As alternative, a 2 hour fire wall may be provided. This condition is also applicable to porches with roofs and skylights within setback distance.
  
- C-1 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to Code Enforcement that will outline the steps that will taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.
  
- C-2 Roof drainage systems must be installed so as neither to impact upon, nor cause erosion/damage to adjacent property.
  
- C-3 A soils report must be submitted with the building permit application.
  
- C-4 New construction must comply with the current edition of the Uniform Statewide Building Code (USBC).
  
- C-5 Alterations to the existing structure must comply with the current edition of the Uniform Statewide Building Code (USBC).
  
- C-6 Construction permits are required for this project. Plans shall accompany the permit application that fully detail the construction as well as layouts and schematics of the mechanical, electrical, and plumbing systems.
  
- C-7 Permission from adjacent property owners is required if access to the adjacent properties is required to complete the proposed construction. Otherwise, a plan shall be submitted to demonstrate the construction techniques utilized to keep construction solely on the referenced property.
  
- C-8 A wall location plat prepared by a land surveyor is required to be submitted to this office prior to requesting any framing inspection.

### Office of Historic Alexandria:

“No comment.”