

Docket Item # 13
BAR CASE #2006-0013

BAR Meeting
February 1, 2006

ISSUE: Addition and alterations

APPLICANT: Katie & Hack Wiegmann by Robert Bentley Adams

LOCATION: 511 Cameron Street

ZONE: RM/Residential

STAFF RECOMMENDATION:

Staff recommends denial of the proposed addition and alterations.

In the alternative, if the Board determines to approve the addition, Staff recommends the following conditions:

1. Call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds; and,
2. The above statement must appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including sheeting and shoring and grading) so that on-site contractors are aware of the requirement.
3. To maintain required open space on the property the applicant shall install an appropriate border to separate the driveway and parking space from the rear and side garden areas to the satisfaction of Board of Architectural Review.

NOTE: Docket item #12 must be approved before this docket item can be considered.

I. ISSUE:

The applicant is requesting approval of a Certificate of Appropriateness for an addition and alterations to the freestanding residential townhouse at 511 Cameron Street.

Addition

A one story addition for an extension of the kitchen is proposed at the rear (north) end of the two story brick flounder section. The proposed addition is approximately 14.6' in width and 10' in length. On the east side there will be a multi-light wood door and a six light casement window both with multi-light transoms above and flanked by wood pilasters. The stairs to the new door will be brick with metal railings. The rear (north) elevation of the proposed addition will have three six light casement window with multi-light transoms above, flanked by wood pilasters with wood panel below. There is no fenestration proposed on the west side of the addition.

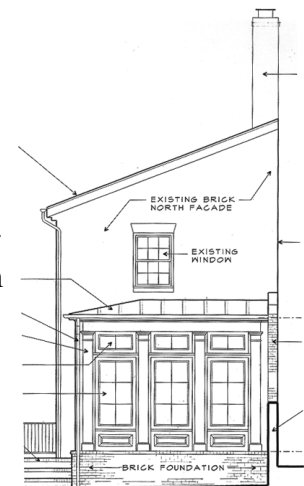


Figure 1 Proposed rear elevation

The addition will have a brick base with a crawl space. The roof of the addition will be standing seam copper.

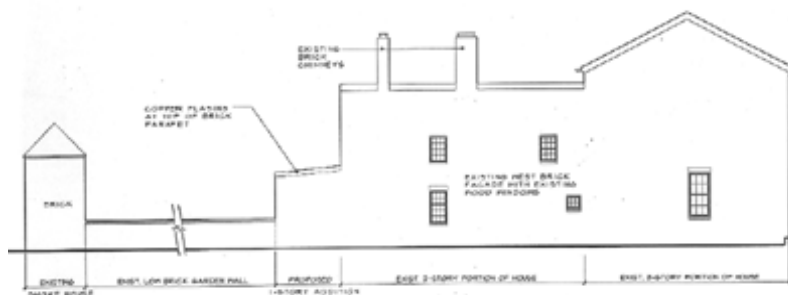


Figure 2 Proposed west elevation



Figure 3 Proposed east elevation

Alterations

The existing door and brick stairway on the east side of the flounder at the rear will be removed and replaced with a new six-over-six double hung wood window to match the other windows on the east elevation.

II. HISTORY:

As noted in the discussion section for docket item #12, the street facade and front section of 511 Cameron Street is a Greek Revival style freestanding two story, three bay brick residential townhouse that was constructed in ca. 1850. The rear of the building is a brick flounder style section likely dating from the early 19th century.

III. ANALYSIS:

The proposed addition and alterations comply with the Zoning Ordinance.

Staff is opposed to the proposed one story rear addition. The addition will seriously compromise the largely intact two story early 19th century flounder section and introduce design elements such as large windows, transoms and wood pilasters that are not found on either the front portion of the house nor the rear flounder section. The whole of the 19th century building elements on the property are clearly visible from the street across the surface parking lot and the new addition will introduce a new exterior design element to a property that has been largely unaltered for over 150 years. Thus, the new addition will compromise the understanding of the evolution of the building history of the house.

Staff notes the comments of Alexandria Archaeology and has included them as a condition, if the Board approves the proposed addition.

IV. STAFF RECOMMENDATION:

Staff recommends denial of the proposed addition and alterations.

In the alternative, if the Board determines to approve the addition, Staff recommends the following conditions:

1. Call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are

discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds; and,

2. The above statement must appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including sheeting and shoring and grading) so that on-site contractors are aware of the requirement.
3. To maintain required open space on the property the applicant shall install an appropriate border to separate the driveway and parking space from the rear and side garden areas to the satisfaction of Board of Architectural Review.

CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F - finding

Code Enforcement:

- C-1 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to Code Enforcement that will outline the steps that will be taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.
- C-2 Roof drainage systems must be installed so as neither to impact upon, nor cause erosion/damage to adjacent property.
- C-3 A soils report must be submitted with the building permit application.
- C-4 New construction must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-5 Alterations to the existing structure must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-6 Construction permits are required for this project. Plans shall accompany the permit application that fully detail the construction as well as layouts and schematics of the mechanical, electrical, and plumbing systems.
- C-7 Permission from adjacent property owners is required if access to the adjacent properties is required to complete the proposed construction. Otherwise, a plan shall be submitted to demonstrate the construction techniques utilized to keep construction solely on the referenced property.
- C-8 A wall location plat prepared by a land surveyor is required to be submitted to this office prior to requesting any framing inspection.
- C-9 All exterior walls within 5 feet from an interior property line shall have a fire resistance rating of 1 hour, from both sides of the wall. As alternative, a 2 hour fire wall may be provided. This condition is also applicable to skylights within setback distance. Openings in exterior wall between 3 and 5 feet shall not exceed 25% of the area of the entire wall surface (This shall include bay windows). Openings shall not be permitted in exterior walls within 3 feet of an interior line.

Historic Alexandria:

Addition seems appropriate, but is door stoop and railing to be removed original to the house or a slightly later date, making them preferable to retain?

Alexandria Archaeology:

- F-1 According to Ethelyn Cox's *Historic Alexandria Street by Street*, the house on this lot was probably constructed about 1850 by James McVeigh. Alexandria Archaeology records indicate that there is a brick shaft in the basement of the house and a smoke house in the rear of the yard.. The property has the potential to yield significant archaeological resources that could provide insight into domestic activities in 19th century Alexandria.
- R-1 Call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
- R-2 The above statement must appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including sheeting and shoring and grading) so that on-site contractors are aware of the requirement.