

**ISSUE:** Concept of four condominium buildings

**APPLICANT:** Robert S. Brandt, Inc.

**LOCATION:** 900 N. Washington St

**ZONE:** OCM

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**STAFF RECOMMENDATION:** The proposal proceed to the Planning Commission subject to the qualifications listed below. The applicant shall continue to work with staff and the community on the following revisions prior to the Planning Commission hearing and the Certificate of Appropriateness..

Washington Street Building:

1. A functional entrance be provided for the building and a higher level of detailing be provided as generally depicted in *Figure 5*.

Washington - Powhatan Street Facade:

2. The elements such as variations in color, two to three level bay windows (rather than four) and variations in parapet height, porches and entrances of the Columbus Street facade be repeated for this facade.
3. The fourth floor be made substantially less visible and prominent by providing increased setbacks, or through the use of colors and/or roof forms.

Columbus Street:

4. The fourth floor be substantially less visible and prominent by providing increased setbacks, or through the use of colors and/or roof forms.
5. Operable ground floor doors be provided for each unit fronting Columbus Street.

**BOARD ACTION, MAY 3, 2006:** On a motion by Dr. Fitzgerald, seconded by Ms. Neihardt, the Board voted to defer the application for restudy. The vote was 6-0.

**REASON:** The Board was concerned about the massing and height of the project, particularly the buildings fronting North Columbus Street and the building fronting North Washington Street. The Board also was concerned about the revised architectural styles of the buildings, which needed more variety within the particular architectural styles shown, without repeating the “collage of styles” shown in the first proposal. The Board appreciated the applicant separating the buildings, found the revised site plan appropriate, and supported the relocation of the entrance of the underground parking garage from Montgomery Street to Powhatan Street.

**SPEAKERS:** Howard Middleton, representing the applicants, spoke in support  
Steve Banigan, project architect, spoke in support  
Dave Murphy, National Park Service, spoke in opposition  
Ed Braswell, spoke in opposition  
Mariella Posey, representing the Northeast Citizens’ Association, spoke in opposition  
Sylvia Sibrover, representing the Land Use Committee of the Northeast Citizens’ Association, spoke in opposition  
Michael Hobbs, representing Old Town Civic Association, spoke in opposition  
Mary Jane Cramer, Powhatan Street, spoke in opposition  
Poul Hertel, 1217 Michigan Court, spoke in opposition  
Richard Cooper, Powhatan Street, spoke in opposition  
Sally Ann Greer, North Pitt Street, spoke in opposition  
Lawrence O’Connor, representing Historic Alexandria Foundation, spoke in opposition

**BOARD ACTION, MARCH 1, 2006:** On a motion by Mr. Smeallie, seconded by Ms. Neihardt, the Board voted to defer the application for restudy. The vote was 6-0.

**REASON:** The Board felt the proposed scale, mass, and architectural styles were not appropriate for Washington Street and needed to be restudied. The Board was particularly concerned about the segment of the project located at the corner intersection of North Washington Street, Montgomery Street, and Powhatan Street. There was also great concern expressed that the center four-story element on Montgomery Street was too massive. The Board also objected to the design approach, which was referred to as a “collage of styles,” and to the location of the garage entrance on Montgomery, visible from North Washington Street.

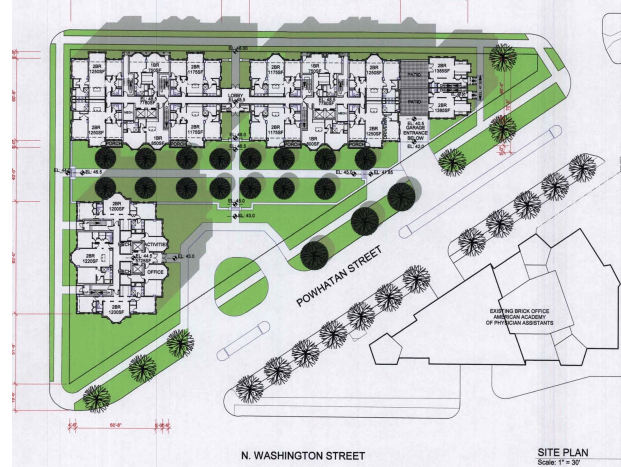
**SPEAKERS:** Howard Middleton, representing the applicant, spoke in support  
Ellen Pickering, Roberts Lane, spoke in opposition  
Steve Banigan, project architect, spoke in support  
Lawrence O'Connor, representing Historic Alexandria Foundation, spoke in  
opposition  
Mariella Posey, representing the North East Citizens' Association, spoke in  
support  
Poul Hertel, Alexandria resident, expressed concerns with the project



**I. SUMMARY:**

The proposal has been revised considerably since the initial proposal reviewed by the Board at the March 1, 2006 hearing. Based on the initial comments, the proposal was revised for the May 3, 2006 BAR hearing, where again the proposal was deferred to address concerns regarding mass, scale and design of the buildings on Columbus and the building on Washington Street.

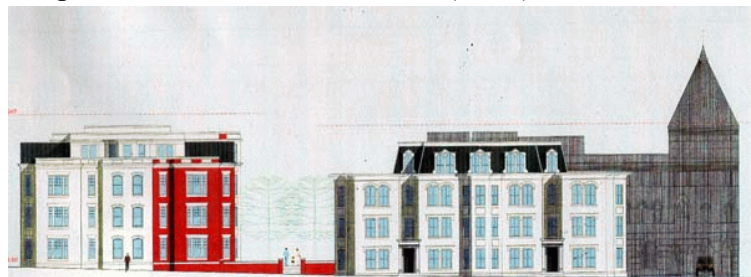
The proposal has continued to be modified and many of the revisions such as the building breaks and relocating the garage entrance are positive changes. The proposed mass of the building on Washington Street has been reduced to shift the fourth floor approximately 12 ft farther from Washington Street and redesigning the fourth floor as a roof element. The building on Washington Street has also become more detailed and refined. In addition, the current design of many of the elements on Columbus Street are more compatible in appearance to other buildings on Columbus Street, rather than the previous single large red brick monolithic buildings, which were incompatible with the character of Washington Street, Columbus Street and the character of the neighborhood.



**Figure 1** Current proposed site plan



**Figure 2** - Proposed North Columbus Street (West) elevation



**Figure 3** - Proposed Montgomery Street (South) elevation

While there have been several positive changes to the proposal, the numerous revisions have also resulted in areas which require additional refinement. The variations in the roof heights and the depth of the building setbacks in the original proposal were reduced in the redesigned project. As a result, staff is recommending the following revisions to comply with the Washington Street Standards:

- the fourth floor be made substantially less visible and prominent by providing increased setbacks, or through the use of colors and/or roof forms;
- provision of a functional entrance on the Washington Street building; and
- additional variety of materials, windows and colors to comply with the Washington Street Standards.

Correspondence have been received from the Old Town Civic Association that the proposal does not comply with the Washington Street Standards. The Northeast Civic Association has not taken a formal position in support or opposition of the proposal.

The National Park Service also commented that site elements such as landscaping and elimination of the vehicle turn-around on Powhatan Street need to be addressed. These site elements will be reviewed by the Planning Commission.

Staff is recommending that this conceptual proposal proceed to the Planning Commission..Prior to the approval of the Certificate of Appropriateness, the BAR will continue to review this proposal. The applicant will work with the community and staff to address the recommendations discussed below prior to the Planning Commission hearing.

#### **WASHINGTON STREET BUILDING:**

The proposed redevelopment has been revised to provide an approximately 12 ft. setback on the fourth level from Washington Street, which enables expression of a three story building element adjacent to Washington Street. In addition, the fourth level has been incorporated into a roof form, further reducing the perceived height of the building. In many ways, the revision to the height has addressed many of the comments regarding height adjacent to Washington Street.

Based on the Standards, a fundamental concern with this building is that its front entrance is not oriented toward Washington Street. The George Washington Memorial parkway is one of the most important corridors and gateways in the city. Historically, apartment buildings and almost all buildings on Washington Street and the District are oriented toward the public streets. The applicant has cited the limited number of “garden-style” apartments, which do not have their entrances on Washington Street, as an example of historical precedence for the building’s exceptional orientation. This approach is rare and does not constitute a historical precedent.

Moreover, this proposal in its current configuration is not a garden-style apartment, but rather a Second Empire style apartment building. The standards state that “*new or untried approaches to design which result in new buildings or additions that have no historical basis in Alexandria or that are not consistent with an historic style in scale, massing and detailing, are not appropriate.*” As such, the Standards require that the proposal be oriented with a functional building entrance (not a private entrance to a single unit), toward Washington Street and should be designed with “a level of variety, quality and richness at least equal to that found abundantly in the historic setting.”



**Figure 4 - Proposed Washington Street**  
entrance to a single unit), toward Washington Street and should be designed with “a level of variety, quality and richness at least equal to that found abundantly in the historic setting.”

**STAFF RECOMMENDATIONS FOR WASHINGTON STREET:**

Staff is recommending the provision of a functional door and entrance for the building oriented toward Washington Street as part of the continued refinement of the building as generally depicted in *Figure 5*. Without the provision of the a door and the ornamentation as referenced above, the proposal does not comply with the intent of the Washington Street Standards.



**Figure 5 - Suggested Washington Street entrance**

**B. WASHINGTON STREET - POWHATAN STREET COURTYARD:**

When the original project , which had several 3-story elements and widely varying planes and roof heights, was redesigned, the new design resulted in less variation in roof heights and provided less building foot print setbacks. As a result, each facade continues to have elements that need to be revised. In respect to the Washington Street Standards which require variations and smaller bay widths, the facade on Washington and Powhatan streets is of concern. Much like the previous design for Columbus Street, this facade of continual red brick, repeating windows and symmetrical appearance results in the building looking large and monolithic, of particular concern in a small-scale neighborhood. Elements such as the four-story bays also reinforce the height of the building.

To minimize its appearance, the applicant has set the building back approximately 20 to 80 ft. from Powhatan Street and approximately 100 feet from Washington Street. While this setback normally would be sufficient to mitigate height, in this proposal the building's design elements actually undermine that benefit, by reenforcing a long uninterrupted facade.



**Figure 6** - Powhatan Street perspective

Unlike most projects in the city, this project's buildings have two fronts – one on Washington-Powhatan streets and one on North Columbus Street. This makes the proposed building's different front and back design especially problematic. It increases the building's perceived scale as well as creates a discontinuity in the building's overall design.

#### **STAFF RECOMMENDATIONS FOR WASHINGTON STREET:**

To reduce the perceived scale and allow the bay widths required by the Standards, staff recommends that the variations in color, bay heights, windows and elements such as porches as found on the Columbus Street facade be repeated on the Washington-Powhatan streets facade.

The Standards require that buildings larger than historic buildings “ be designed to look separate and shall not give the impression of collectively being more massive than such historic buildings. This design objective shall be accomplished through differing historic architectural designs, facades, setbacks, roof lines and styles.”

While these recommendations will significantly reduce the perceived scale of this facade, one of the remaining concerns is the appearance, treatment and lack of integration of the fourth floor. Similar to the recommendation on Columbus Street, staff is recommending that the fourth floor be made substantially less visible by providing increased setbacks, use of colors and/or roof forms, or otherwise integrated into the design of the buildings.



**C. COLUMBUS STREET:**

Columbus Street is characterized by smaller scale, generally two- to three-story townhouses. The challenge is that the proposed buildings are essentially four-level buildings. Staff, the community and applicant have worked together and achieved a considerable amount of progress in improving the design. Fundamental design changes include making the buildings less symmetrical through the use of different bay types, introduction of porches, differing bay heights, differing colors, use of materials and varying the parapet – all of which have been successful at helping to reduce the apparent scale of the buildings.



**Figure 7** - Previously proposed North Columbus Street elevation



**Figure 8** - Current proposed North Columbus Street elevation

The fourth floor, however, continues to be problematic, as expressed in the previous staff report. The upper floor is set back 5 to 15 ft from the street - somewhat reducing the perceived height and appearance of the fourth floor. Based on the height of the floors and parapet and width of the right-of-way, the fourth floor would need to be set back more, or given a different architectural treatment, so that it is not substantially visible. The fourth floor also is uniform in shape which reinforces its length.

**STAFF RECOMMENDATION FOR COLUMBUS STREET:**

Staff is recommending that the fourth floor be made substantially less visible by providing increased setbacks, different use of colors and materials, and/or roof forms.

**D. CORNER OF COLUMBUS AND POWHATAN STREET:**

This is an element which has been positive and has continued to improve with the revisions to the plan. The height of the stoops have been lowered, a building break has been provided, and roofs have been added. All of these elements combine to create a very successful form, mass and scale for these buildings. The units have also been refined to include window and bay elements compatible with the adjoining townhomes, (the Old Town Gateway project.)



**Figure 9 - Previously proposed Powhatan Street view**



**Figure 10 - Current proposed Powhatan Street view**

**STAFF RECOMMENDATION FOR COLUMBUS STREET TOWNHOMES:**

Staff is recommending that the applicant continue to refine elements such as the roof material to be a shingle material rather than a metal roof to be more compatible with the adjoining neighborhood and more residential in scale.

## II. BACKGROUND - CHRONOLOGY

### A. August 2005 through February 2006

The applicant worked with staff and the community to develop a site and building concept. This concept consisted of visually distinct buildings of varying architectural styles. The site plan involved deeply indented green spaces along the street, and a mixture of 3 and 4 story elements. The garage entrance was on Montgomery Street near Washington, and there was a small vehicular cut-through at the north end of the site with a public park.

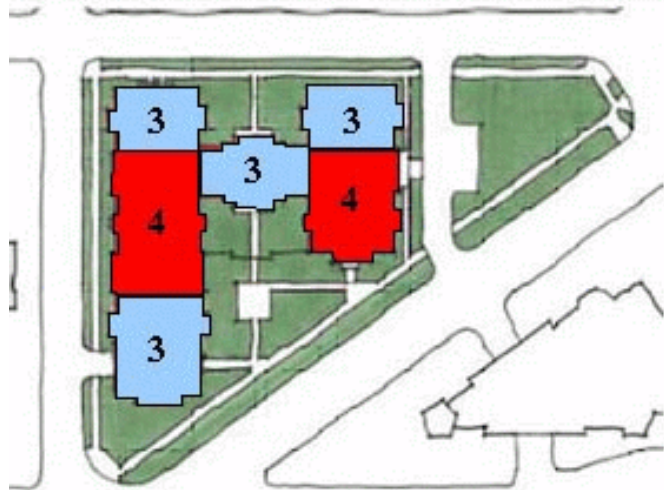


Figure 11 - Building height study  
March 1<sup>st</sup> BAR hearing

### B. March 1<sup>st</sup>, 2006

This concept was presented to the BAR, and deferred, with comments that it displayed:

- inappropriate scale and mass on Washington and Montgomery Streets
- a “collage of styles” inappropriate for Old Town
- three buildings all competing for attention: applicant was told to revise the buildings to be more background-type buildings, that do not compete with the buildings on Washington Street.

### C. March 16<sup>th</sup>, 2006

Staff discussed the possibility of retaining the original site plan while also addressing the comments from the Board. However, based on the BAR deferral and comments, the applicant redesigned the site plan. The proposal was revised to consist of three simple flat-roofed apartment blocks, the two along Columbus Street four stories in height, and the building on Washington Street three stories, with building breaks mid-block on both Montgomery and Columbus Streets. A one-story shared lobby/entrance was shown between the two

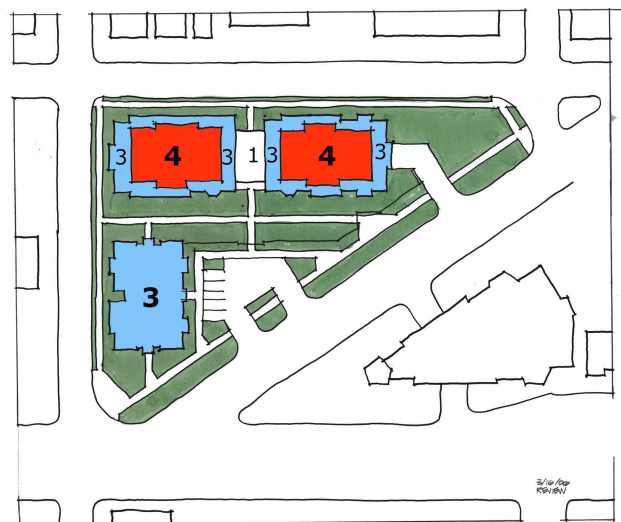


Figure 12 - Building height study

Columbus Street buildings, and the garage entrance was moved to the north end of the site. Some of the BAR members expressed general support for this new approach.

**D. March 30<sup>th</sup>, 2006**

Staff met with the applicant to discuss comments on the new scheme presented on March 16<sup>th</sup> which attempted to respond to BAR comments. Staff had studied changes to the site plan to recapture elements of the original scheme, which were lost when the site plan was redesigned. This included turning the end of the north Columbus Street building 90 degrees to face Washington Street, thus forming a more contained courtyard, and also the suggestion of a semicircular public/private park space between the three buildings. The concept also looked at moving more of the project height to the north section of the site, as had been the case with applicant's original scheme. The applicant did not feel this was an appropriate solution to addressing the comments.



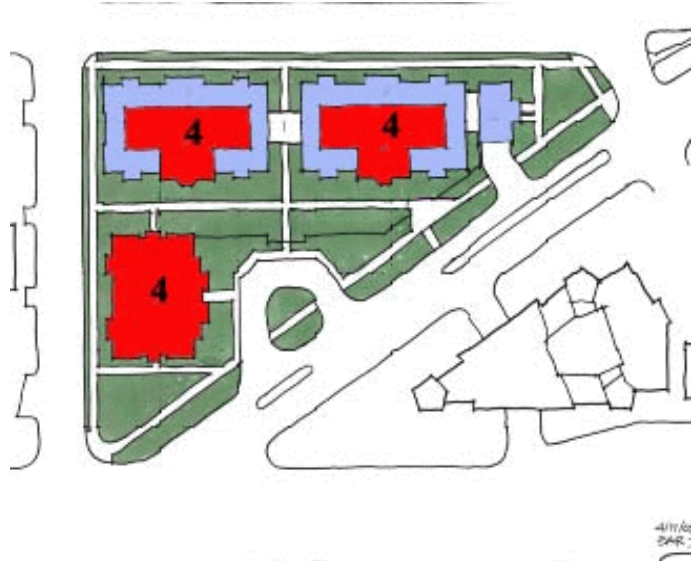
**Figure 13 - Staff building height study**

**E. March 31<sup>st</sup>-May 1<sup>st</sup>, 2006**

The applicant continued to develop the redesigned March 16<sup>th</sup> scheme, with the addition of two attached townhouse units at the north end, and relocation of the garage entry to the northern portion of Powhatan Street. Elevations were developed accordingly, and the scheme was submitted for BAR review.

**F. May 3<sup>rd</sup>, 2006**

Staff continued to encourage incorporation of elements from the original proposal; however, staff did not oppose the general direction of the revised proposal but staff recommended additional design and refinement to deal with issues of mass and scale on Washington Street and the problems raised by the fourth floor on Columbus Street, to bring the project into compliance with the Washington Street Standards. There was public opposition expressed, and the Board voted to defer to address issues of mass, scale and architectural compatibility.



**Figure 14 - Building height study**  
May 3<sup>rd</sup> BAR hearing

**G. June 13<sup>th</sup>, 2006**

Stephen Banigan (the Applicant's architect) met with Tom Canfield (City Architect) to develop strategies to address the ongoing criticisms of the current design, particularly the length, apparent bulk and "boxiness" of the two Columbus Street buildings, and the treatment of the Washington Street building. Staff anticipated that design revisions would successfully address the concerns. Given the Applicant's decision not to change the basic massing, again, these discussions were limited to changes in color, material, fenestration, and detail.



**Figure 15 - Building height study - current proposal**

**H. June 26<sup>th</sup> - July 13<sup>th</sup>**

The applicant continued to refine elevations. Following a July 12<sup>th</sup> public meeting, staff met with applicant and stated that the perceived height, in terms of the visible fourth floor, still was not compatible with the adjoining two-story buildings. Staff suggested further revisions to the site plan (very similar to the staff proposal of March 30<sup>th</sup>, 2006, Figure 13) which would reduce most of the buildings to 3 stories, concentrating a single 4-story mass to the north of the site, where it would have less impact. At this point in time, the applicant decided to proceed with the current site plan and appear at the BAR hearing scheduled for July 19<sup>th</sup>.

***Summary of fourth floor setbacks:***

The first proposal consisted of two 4-story portions which were set back between 40 and 65 feet from the 3<sup>rd</sup> floor parapet, rendering these higher portions virtually invisible from the adjacent streets. The current proposal provides much smaller setbacks for the fourth levels (12 to 20 feet). While the setbacks have addressed some of the scale issues of the buildings, this is the primary element that still needs to be resolved. There are two approach to minimize the perceived height of the buildings.

- One approach, (chronology items D and H, above) would allow the majority of the buildings to be reduced to an actual 3 stories, putting the 4 story mass to the north along Powhatan Street where it has the least impact on Columbus or Washington Streets.
- The second approach is providing increased setbacks and/or incorporation of these elements as part of a roof to reduce the perceived scale. color, or other methods to be identified by the applicant. It is the intent of staff, that the applicant will work with the staff and community to address this remaining issue as this proposal proceeds to the Planning Commission.

**III. COMPLIANCE WITH THE WASHINGTON STREET STANDARDS:**

The Washington Street Standards require new buildings to be compatible in terms of mass and scale with buildings of historical architectural merit on Washington Street and within the district. The proposal has incorporated most of the provisions of the Standards. However, the elements of fourth floor visibility, the long and massive-appearing Washington Street - Powhatan Street facade, and the issue of no direct entrance on Washington Street need to be revised.

**A. Treatment - Integration of the Fourth Level:**

*Sec. 10-105 A (3) (a)(1)(i)*

*Elements of design consistent with historic buildings which are found on the street shall be emphasized.*

*Sec. 10-105 A (3) (a)(1)(iv)*

*The massing of new buildings or additions to existing buildings adjacent to historic buildings which are found on the street shall closely reflect and be proportional to the massing of the adjacent historic buildings.*

The current design treatment of the proposed fourth level on Columbus Street which is also visible from the Washington - Powhatan Street courtyard appears as an additive element of the building which is not consistent with historic buildings found on the street or within the District. To address this, staff is recommending that the applicant revise the design of the fourth level through the use of setbacks, color and/or integration of roof forms more typical of the style for each building.

**B. Powhatan Street Facade:**

*Sec. 10-105 A (3) (a)(1)(v)*

*New buildings and additions to existing buildings which are larger than historic buildings which are found on the street shall be designed to look separate and shall not give the impression of collectively being more massive than such historic buildings. This design objective shall be accomplished through differing historic architectural designs, facades, setbacks, roof lines and styles. Buildings should appear from the public right-of-way to have a footprint no larger than 100 feet by 80 feet. For larger projects, it is desirable that the historic pattern of mid-block alleys be preserved or replicated.*

*Sec. 10-105 A (3) (a)(1)(vii)*

*The massing and proportions of new buildings or additions to existing buildings designed in an historic style found elsewhere along Washington Street shall be consistent with the massing and proportions of that style.*

*Sec. 10-105 A(3) (a)(2)*

*Facades of a building generally shall express the 20– to 40– foot bay width typically found on early 19<sup>th</sup>-century commercial buildings characteristic of the Old and Historic Alexandria District, or the 15- to 20-foot bay width typically found on the townhouses characteristic of the Old and Historic Alexandria District. Techniques to express such typical bay width shall include changes in material, articulation of the wall surfaces, changes in fenestration patterns, varying roof heights, and physical breaks, vertical as well as horizontal, within the massing.*

As stated in the May 3, 2006 staff report, the standards are very clear that larger buildings should be “designed to look separate and shall not give the impression of collectively being more massive than such historic buildings .. through differing historic architectural designs, facades, setbacks, roof lines and styles.” This facade does not yet comply with this provision and continues to appear more massive than similar buildings on Washington Street or the District. To address this Standard, staff is recommending the variation similar to the Columbus Street elevation consistent with the standard which requires “ changes in material, articulation of the wall surfaces, changes in fenestration patterns, varying roof heights, and physical breaks” to reduce the perceived mass of the building. Without these changes, the buildings continue to appear more massive than permitted by the Standards. Similar to the Columbus Street facade, staff is recommending, that the applicant revise the fourth level through the use of setbacks, color and/or integration of roof forms more typical of the style for each building.

**C. Washington Street Entrance and Level of Detail:**

*Sec. 10-105 A (3) (a)(1)(viii)*

*New or untried approaches to design which result in new buildings or additions that have no historical basis in Alexandria or that are not consistent with an historic style in scale, massing and detailing, are not appropriate*

*Sec. 10-105 A (3) (a)(3)*

*Building materials characteristic of buildings having historic architectural merit within the district shall be utilized. The texture tone and color of such materials shall display a level of variety, quality and richness at least equal to that found abundantly in the historic setting.*

Multi-family buildings of this size typically have entrances on the street. This building is on the corner of Washington and Montgomery Streets. For corner lots , the entrance is always on one of the adjoining streets, which in this case would mean the provision of an entrance on Montgomery or Washington Street. This building has an entrance on neither street, rather an entrance on an internal courtyard. There are some limited examples of garden style apartment buildings not



having doors on the street; however, the style and configuration of this building does not suggest a garden style apartment. Reference to patterns found in garden style apartment complexes is not appropriate in this case. Construction of an apartment building of this size and type with no street entrance has no historical basis in Alexandria, and is inconsistent with the Standards. To comply with the Standards and as discussed in the May 3, 2006 staff report, staff is recommending the provision of a functional and highly detailed entry element and door on Washington Street.

#### **IV. COMMUNITY:**

There have been several community meetings with the Northeast Land-Use Board since the last deferral by the Board. At these meetings there has been general agreement that the building on Washington Street and the Columbus Street elevations have continued to improve. There has also been continued discussion about incorporating desirable aspects of the original proposal into the current proposal. At this point the community has not taken a formal position in support or opposition to the proposal. Correspondence has also been received from the Old Town Civic Association stating that the proposal does not comply with the Washington Street Standards.

#### **V. CONCLUSION:**

Due to its size, geometry, location, and visibility (three frontages) this a very difficult and complex site and a considerable architectural challenge. The proposal has evolved and changed over time and with each revision the applicant has attempted to address the various comments. There still remain refinements that continue to be necessary to comply with the Standards and achieve architectural expression compatible with the neighborhood and the District. While not all of the elements have been entirely resolved, the applicant has committed to working with staff and the community and the BAR with respect to the Certificate of Appropriateness to address the issues outlined above. The most significant issue is the integration, treatment and massing of the fourth floor as seen from Washington - Powhatan Streets and Columbus Street. While this issue is not insurmountable, it will require additional revisions by the applicant. The applicant has worked in good faith and the process will continue to address the remaining issues. In addition, there are site plan and landscaping issues which will need to be reviewed by the Planning Commission.

Staff is recommending that the proposal proceed to the Planning Commission based on the following revisions:

Washington Street Building:

1. A functional entrance be provided for the building and a higher level of detailing be provided as generally depicted in *Figure 5*.

Washington - Powhatan Street Facade:

2. The elements such as variations in color, two to three level bay windows (rather than four) and variations in parapet height, porches and entrances of the Columbus Street facade be repeated for this facade.
3. The fourth floor be made substantially less visible and prominent by providing increased setbacks, or through the use of colors and/or roof forms.

Columbus Street:

4. The fourth floor be substantially less visible and prominent by providing increased setbacks, or through the use of colors and/or roof forms.
5. Operable ground floor doors be provided for each unit fronting Columbus Street.

CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Code Enforcement:

- F-1 Buildings are proposed to be under 50 feet in height. Should buildings exceed the 50 foot height limit, ladder truck access will be required.
- F-2 The structure will be required to be equipped with an automatic fire suppression system.
- F-3 Two fire department connections will be required.
- F-4 At least one stairwell shall discharge directly to the exterior of the building. The current design does not facilitate this requirement.
- R-1 Handicap parking spaces for apartment and condominium developments shall remain in the same location(s) as on the approved site plan. Handicap parking spaces shall be properly signed and identified as to their purpose in accordance with the USBC and the Code of Virginia. Ownership and / or control of any handicap parking spaces shall remain under common ownership of the apartment management or condominium association and shall not be sold or leased to any single individual. Parking within any space identified as a handicap parking space shall be limited to only those vehicles which are properly registered to a handicap individual and the vehicle displays the appropriate license plates or window tag as defined by the Code of Virginia for handicap vehicles. The relocation, reduction or increase of any handicap parking space shall only be approved through an amendment to the approved site plan.
- R-2 The applicant of any building or structure constructed in excess of 10,000 square feet; or any building or structure which constructs an addition in excess of 10,000 square feet shall contact the City of Alexandria Radio Communications Manager prior to submission of final site plan. The proposed project shall be reviewed for compliance with radio requirements of the City of Alexandria to the satisfaction of the City of Alexandria Radio Communications Manager prior to site plan approval. Such buildings and structures shall meet the following conditions:
- a) The building or structure shall be designed to support a frequency range between 806 to 824 MHz and 850 to 869 MHz.
  - b) The building or structure design shall support a minimal signal transmission strength of -95 dBm within 90 percent of each floor area.

- c) The building or structure design shall support a minimal signal reception strength of -95 dBm received from the radio system when transmitted from within 90 percent of each floor area.
- d) The building or structure shall be tested annually for compliance with City radio communication requirements to the satisfaction of the Radio Communications Manager. A report shall be filed annually with the Radio Communications Manager which reports the test findings.

If the building or structure fails to meet the above criteria, the applicant shall install to the satisfaction of the Radio Communications Manager such acceptable amplification systems incorporated into the building design which can aid in meeting the above requirements. Examples of such equipment are either a radiating cable system or an FCC approved type bi-directional amplifier. Final testing and acceptance of amplification systems shall be reviewed and approved by the Radio Communications Manager.

- C-1 A separate tap is required for the building fire service connection.
- C-2 Provide an Emergency Vehicle Easement in the proposed circle for access to the building which backs to Montgomery Street. EVE shall meet minimum turning radii requirements. Elevated surfaces utilized for this purpose shall be AAHSTO H-20 load rated.

Historic Alexandria:

Revised proposal reflects improvements to the design and mass issues identified in the previous proposal.

Alexandria Archaeology:

- F-1 During the nineteenth century, the Alexandria Canal Company owned much of this property with the exception of a small strip along the southern edge parallel to Montgomery Street. In 1877, the Hopkins Insurance map shows structures belonging to Richard Burke in this southern strip. Buildings associated with the canal were situated on the property to the west of this lot, and Powhatan Street was the Alexandria and Washington Turnpike with a railroad track running down the west side. In the twentieth century, the property was part of the Smoot Planing Mill, and some of the mill structures were replaced by a service station. This twentieth-century development would probably have destroyed evidence of most of the nineteenth-century activity on the lot, but it may be possible that portions of some deep features, such as a well or privy, could remain intact.
- C-1 Call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, railroad tracks or ties, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.

- C-2 The above statement must appear in the General Notes of the site plan so that on-site contractors are aware of the requirement.