

Docket Item #9
BAR CASE #2006-00170

BAR Meeting
September 20, 2006

ISSUE: Addition and alterations

APPLICANT: Roberts Memorial United Methodist Church by Moore Architects

LOCATION: 614 South Washington Street

ZONE: CL/Commercial

STAFF RECOMMENDATION: Staff recommends approval of the addition and alterations with the following conditions:

1. That the existing vinyl siding on the historic structure be removed to determine if the existing wood siding can be rehabilitated. In the case that it is so deteriorated that it cannot be re-used then staff recommends the use of new wood siding to match in profile and exposure the existing wood siding;
2. Contact Alexandria Archaeology (703-838-4399) two weeks prior to any ground disturbing activity (such as coring, grading, filling, vegetation removal, undergrounding utilities, pile driving, landscaping and other excavations as defined in Section 2-151 of The Zoning Ordinance) on this property. City archaeologists will provide on-site inspections to record significant finds;
3. Call Alexandria Archaeology (703/838-4399) immediately if any buried historic structural remains (wall foundations, cisterns, wells, privies, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site to record the finds;
4. The applicant must not allow metal detection to be conducted on the property, unless authorized by Alexandria Archaeology; and,
5. The requirements stated above, must be included in the General Notes of all site plans, as well as on all site plan sheets that include plan sheets that include ground disturbing activities.

(Insert sketch here)

NOTE: Docket item #8 must be approved before this docket item can be considered.

I. ISSUE:

The applicant is requesting approval of a Certificate of Appropriateness for a new addition and alterations to the parish house for the Roberts Memorial Church at 614 South Washington Street.

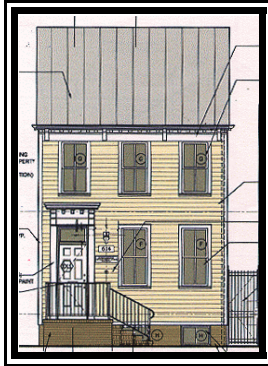


Figure 1 - Proposed west elevation

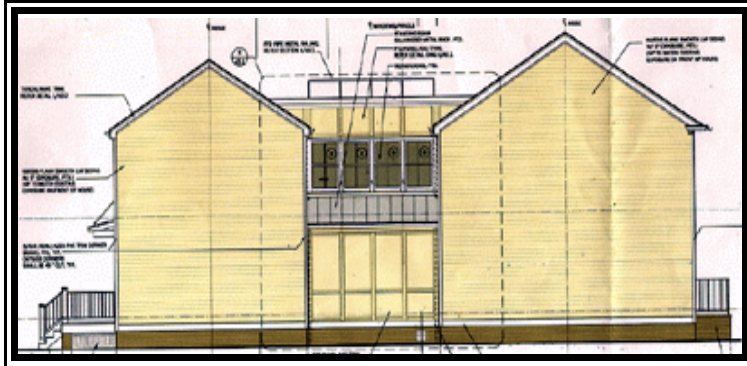


Figure 2 - Proposed south elevation

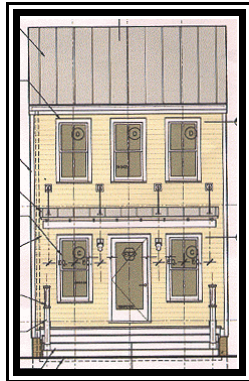


Figure 3 - Proposed east elevation

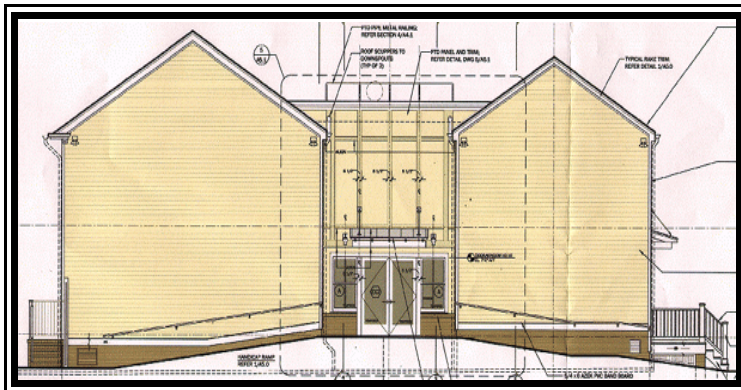


Figure 4 - Proposed north elevation

Addition

The addition will remove the existing rear ell and be somewhat longer than that existing. The footprint of the new addition will have a hyphen attached from the rear of the existing house to the new rear addition. A rear deck will extend toward the east from the end of the addition. The hyphen will provide access stairs to each of the three levels of the new addition.

While there is an entrance to the building up a set of stairs on the north side, the main entrance to the building will be down the alley way to the south of the building to create an accessible path.

The hyphen is approximately 14'9" in length and new addition is approximately 21'2" in length and both will be two stories in height. On the north elevation the hyphen will have four Azek PVC panels on the first level and a set of four two-over-two windows on the second level surmounted by a second set of Azek PVC panels. The second level is set back and the roof over the first and will be standing seam metal. Roof top HVAC equipment will be mounted on the roof of the hyphen and surrounded by a metal railing.

The south elevation of the connector has two single light doors flanked by two-over-two windows with a standing seam metal canopy on the first level. The second level of the south elevation of the connector has no fenestration and has four Azek panel to match the north elevation.

No fenestration is proposed for either the north or south elevations of the new rear addition. These elevations are proposed to be clad in painted smooth HardiPlank siding. The rear of the new addition has a single light wood door flanked by two two-over-two wood windows on the first level and three two-over-two double hung windows at the second level. A canopy with a standing seam metal roof suspended from the second floor by metal braces is proposed at the rear. This deck will project approximately 6' from the new addition. It will have a set of three stairs and a wood railing and pickets.

Alterations

The main section of the historic structure is proposed to renovated. This will include replacing the vinyl siding which is currently installed on the historic structure with HardiPlank.

The existing windows on the front of the historic structure will be removed and replaced with new double hung two-over-two simulated divided light wood windows by Kolbe and Kolbe.

In addition, a new roof on the historic structure will be installed. The new roof is proposed to be a standing seam galvanized metal roof. The wood trimwork will be restored.

A new brick stoop with iron railing and pickets will be installed on the front.

An accessibility ramp will be installed along the south side of the building to provide entry to the new addition and from there into the historic structure.

II. HISTORY:

As noted in the discussion section for docket item #8, 614 South Washington Street is a vernacular Italianate style building that was constructed prior to 1877 with a later rear addition. The building was acquired by the church for use as a manse in the early part of the 20th century.

The original church building was constructed in 1832.

The Board approved in concept a similar rear addition to this building in 2003 (BAR Case #2003-0045, 3/19/03).

The proposed addition requires approval of a Special Use Permit for parking reduction requirements. On September 7, 2006, the Planning Commission recommended approval of the SUP and it is scheduled to be heard by City Council on September 16, 2006.

III. ANALYSIS:

The proposed addition and alterations comply with the zoning ordinances requirements.

Views of the new addition will be obscured and will only be visible at oblique angles down pedestrian alleys on either side of the building.

Since this addition is on a lot fronting on Washington Street, the design must meet the additional Washington Street standards for a Certificate of Appropriateness set forth in the Zoning Ordinance. These standards set forth in §10-105(A)(2) of the Zoning Ordinance along with the Staff response are:

1. Construction shall be compatible with and similar to the traditional building character, particularly mass, scale, design and style, found on Washington Street on commercial or residential buildings of historic architectural merit.

The proposed design of the addition replicates traditional design concepts found on Washington Street.

2. Elements of design consistent with historic buildings which are found on the street shall be emphasized.

The proposed design employs traditional design concepts.

3. New buildings and additions to existing buildings shall not by their style, size, location or other characteristics, detract from, overwhelm, or otherwise intrude upon historic buildings which are found on the street.

The new addition does not detract from or overwhelm the adjacent historic buildings.

4. The design of new buildings and additions to existing buildings shall be complementary to historic buildings which are found on the street.

In the opinion of Staff, the proposed addition is complementary to the adjacent historic buildings.

5. The massing of new buildings or additions to existing buildings adjacent to historic buildings which are found on the street shall closely reflect and be proportional to the massing of the adjacent historic buildings.

The massing of the new addition reflects the massing of the adjacent historic buildings.

6. New buildings and additions to existing buildings which are larger than historic buildings which are found on the street shall be designed to look separate and shall not give the impression of collectively being more massive than such historic buildings. This design objective shall be accomplished through differing historic architectural designs, facades, setbacks, roof lines and styles. Buildings should appear from the public right-of-way to have a footprint no larger than 100 feet by 80 feet. For larger projects, it is desirable that the historic pattern of mid-block alleys be preserved or replicated.

This standard is not applicable.

7. The massing and proportions of new buildings or additions to existing buildings designed in an historic style found elsewhere along Washington Street shall be consistent with the massing and proportions of that style.

The massing and proportions of the addition are consistent with the massing of the adjacent historic buildings.

8. New or untried approaches to design which result in new buildings or additions to existing buildings that have no historical basis in Alexandria or that are not consistent with an historic style in scale, massing and detailing, are not appropriate.

The design of the addition does not employ an untried approach to design.

9. Facades of a building generally shall express the 20- to 40-foot bay width typically found on early 19th century commercial buildings characteristic of the Old and Historic Alexandria District, or the 15- to 20-foot bay width typically found on townhouses characteristic of the Old and Historic Alexandria District. Techniques to express such typical bay width shall include changes in material, articulation of the wall surfaces, changes in fenestration patterns, varying roof heights, and physical breaks, vertical as well as horizontal, within the massing.

Bay spacing is not a relevant standard with regard to the design of this addition.

10. Building materials characteristic of buildings having historic architectural merit within the district shall be utilized. The texture, tone and color of such materials shall display a level of

variety, quality and richness at least equal to that found abundantly in the historic setting.

The design of the addition proposes to utilize traditional building materials along with new materials which provide a distinction regarding the 21st century elements of the design.

11. Construction shall reflect the traditional fenestration patterns found within the Old and Historic Alexandria District. Traditional solid-void relationships exhibited within the district's streetscapes (i.e., ratio of window and door openings to solid wall) shall be used in building facades.

The fenestration that is proposed for the addition reflects traditional fenestration patterns.

12. Construction shall display a level of ornamentation, detail and use of quality materials consistent with buildings having historic architectural merit found within the district. In replicative building construction (i.e., masonry bearing wall by a veneer system), the proper thicknesses of materials shall be expressed particularly through the use of sufficient reveals around wall openings.

Construction materials are consistent with the Board's approvals for materials for additions throughout the historic district.

In the opinion of Staff, the proposed addition meets the requirements of the Washington Street standards.

Staff does, however, have several specific concerns.

Staff has no objection to the use of Azek panels which help to create a differentiation between the new sections and the historic structure.

The proposed use of HardiPlank as replacement siding on the historic structure is contrary to the guidelines established by the Board for the use of fiber cement siding. Staff recommends that the existing vinyl siding on the historic structure be removed to determine if the existing wood siding can be rehabilitated. In the case that it is so deteriorated that it cannot be re-used then staff recommends the use of new wood siding to match in profile and exposure the existing wood siding.

Staff notes the comments of Alexandria Archaeology and has included them as conditions.

IV. STAFF RECOMMENDATION:

Staff recommends approval of the addition and alterations with the following conditions:

1. That the existing vinyl siding on the historic structure be removed to determine if the

existing wood siding can be rehabilitated. In the case that it is so deteriorated that it cannot be re-used then staff recommends the use of new wood siding to match in profile and exposure the existing wood siding;

2. Contact Alexandria Archaeology (703-838-4399) two weeks prior to any ground disturbing activity (such as coring, grading, filling, vegetation removal, undergrounding utilities, pile driving, landscaping and other excavations as defined in Section 2-151 of The Zoning Ordinance) on this property. City archaeologists will provide on-site inspections to record significant finds;
3. Call Alexandria Archaeology (703/838-4399) immediately if any buried historic structural remains (wall foundations, cisterns, wells, privies, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site to record the finds;
4. The applicant must not allow metal detection to be conducted on the property, unless authorized by Alexandria Archaeology; and,
5. The requirements stated above, must be included in the General Notes of all site plans, as well as on all site plan sheets that include plan sheets that include ground disturbing activities.

CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F - finding

Code Enforcement:

- C-1 All exterior walls within 5 feet from an interior property line shall have a fire resistance rating of 1 hour, from both sides of the wall. As alternative, a 2 hour fire wall may be provided. This condition is also applicable to skylights within setback distance. Openings in exterior walls between 3 and 5 feet shall not exceed 25% of the area of the entire wall surface (This shall include bay windows). Openings shall not be permitted in exterior walls within 3 feet of an interior lot line.
- C-2 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to Code Enforcement that will outline the steps that will taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.
- C-3 Roof drainage systems must be installed so as neither to impact upon, nor cause erosion/damage to adjacent property.
- C-4 A soils report must be submitted with the building permit application.
- C-5 New construction must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-6 Alterations to the existing structure must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-7 Construction permits are required for this project. Plans shall accompany the permit application that fully detail the construction as well as layouts and schematics of the mechanical, electrical, and plumbing systems.
- C-8 Permission from adjacent property owners is required if access to the adjacent properties is required to complete the proposed construction. Otherwise, a plan shall be submitted to demonstrate the construction techniques utilized to keep construction solely on the referenced property.
- C-9 A wall location plat prepared by a land surveyor is required to be submitted to this office prior to requesting any framing inspection.
- C-10 Required exits, parking, and facilities shall be accessible for persons with disabilities.

C-11 A Certificate of Use of Occupancy is required prior to opening (USBC 119.1).

Historic Alexandria:

Proposed addition and alterations which focus on increasing space and ADA accessibility seem appropriate, with the exception of the demolition of the chimney. If this component of the original structure is not deteriorated, it would be preferable to retain it.

Alexandria Archaeology:

- F-1 This property was part of an area known as The Bottoms, a free African American neighborhood in the early 19th century. Tax records from 1850 indicate the presence of seven free African American households on the street face. The lot therefore has the potential to yield archaeological resources that could provide insight into domestic activities relating to free blacks living in Alexandria in the early 19th century.
- R-1 Contact Alexandria Archaeology (703-838-4399) two weeks prior to any ground disturbing activity (such as coring, grading, filling, vegetation removal, undergrounding utilities, pile driving, landscaping and other excavations as defined in Section 2-151 of The Zoning Ordinance) on this property. City archaeologists will provide on-site inspections to record significant finds.
- R-2 Call Alexandria Archaeology (703/838-4399) immediately if any buried historic structural remains (wall foundations, cisterns, wells, privies, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site to record the finds.
- R-3 The applicant must not allow metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.
- R-4 The requirements stated in C-1, C-2 and C-3 above, must be included in the General Notes of all site plans, as well as on all site plan sheets that include ground disturbing actions.

Transportation and Environmental Services:

- R-1 The building permit plans shall comply with requirements of City Code Section 8-1-22 regarding the location of downspouts, foundation drains and sump pumps. Refer to Memorandum to Industry dated June 18, 2004. [Memorandum is available online at the City web site under Transportation\Engineering and Design\Memos to Industry.]. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

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- C-1 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-3-61)
- C-2 Roof drains and sub-surface drains shall be connected to the city storm sewer system, if available, by continuous underground pipe. (Sec. 8-1-22)
- C-3 Change in point of attachment or removal of existing overhead utility services will require undergrounding or a variance. (Sec. 5-3-3)