

Docket Item #12  
BAR CASE #2006-0191

BAR Meeting  
September 20, 2006

**ISSUE:** Re-approval of Demolition/Encapsulation

**APPLICANT:** Kimberly Gavin

**LOCATION:** 628 S St. Asaph Street

**ZONE:** CRMU-X/Mixed Use

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**STAFF RECOMMENDATION:** Staff recommends approval of the application as submitted.

(Insert sketch here)

NOTE: This docket item requires a roll call vote.

UPDATE: The applicant is re-applying for approval for a Permit to Demolish and Capsulate. The proposed demolition/capsulation is the same that was previously approved by the Board on July 6, 2005 (BAR Case #2005-0133).

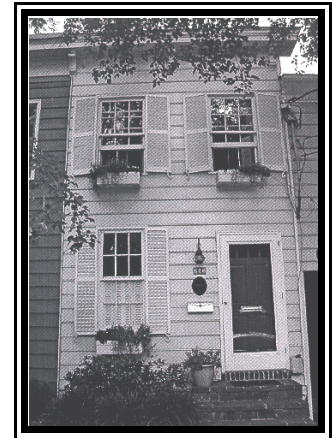
**I. ISSUE:**

The applicant is requesting approval of a Permit to Demolish portions of the residential row house at 628 South St. Asaph Street. The portion to be demolished is the existing rear ell. The demolition will allow construction of a new rear addition.

**II. HISTORY:**

The residential structure at 628 South St. Asaph Street is a two story, two bay frame rowhouse dating from the late 19<sup>th</sup> century.

The house at 628 South St. Asaph Street is paired with the adjoining house at 626. They are two bay, side hall entry, two story, frame row houses, typical of the last quarter of the 19<sup>th</sup> c. found throughout Alexandria. Window and door embellishment is non-existent, and the only architectural feature of note is the simple but strongly projecting bracketed cornice which spans the full width of the two houses.



The rear ell which is to be demolished for the new addition dates from the mid-20<sup>th</sup> century according to information supplied by the applicant.

**III. ANALYSIS:**

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B):

- (1) Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?
- (2) Is the building or structure of such interest that it could be made into a historic house?
- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
- (4) Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?
- (5) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?
- (6) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions,

attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?

Because the area to be demolished dates from the mid-20th century, it is the opinion of that none of the criteria are met and that the Permit to Demolished should be approved.

**IV. STAFF RECOMMENDATION:**

Staff recommends approval of the application as submitted.

CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Code Enforcement:

- C-1 All exterior walls within 5 feet from an interior property line shall have a fire resistance rating of 1 hour, from both sides of the wall. As alternative, a 2 hour fire wall may be provided. This condition is also applicable to skylights within setback distance. Openings in exterior walls between 3 and 5 feet shall not exceed 25% of the area of the entire wall surface (This shall include bay windows). Openings shall not be permitted in exterior walls within 3 feet of an interior lot line.
- C-2 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to Code Enforcement that will outline the steps that will taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.
- C-3 Roof drainage systems must be installed so as neither to impact upon, nor cause erosion/damage to adjacent property.
- C-4 A soils report must be submitted with the building permit application.
- C-5 New construction must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-6 Alterations to the existing structure must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-7 Construction permits are required for this project. Plans shall accompany the permit application that fully detail the construction as well as layouts and schematics of the mechanical, electrical, and plumbing systems.
- C-8 Permission from adjacent property owners is required if access to the adjacent properties is required to complete the proposed construction. Otherwise, a plan shall be submitted to demonstrate the construction techniques utilized to keep construction solely on the referenced property.
- C-9 A wall location plat prepared by a land surveyor is required to be submitted to this office prior to requesting any framing inspection.

Alexandria Archaeology:

- F-1 According to the G.M. Hopkins Insurance Map, development on this block had occurred by 1877, but there may not have been a house on this lot. During the late 19<sup>th</sup> century, the area was part of the free African American neighborhood known as The Bottoms. The property therefore has potential to yield archaeological resources that could provide insight into African American life in 19<sup>th</sup>-century Alexandria.
- R-1 Call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
- R-2 The above statement must appear in the General Notes of the site plan so that on-site contractors are aware of the requirement.

Historic Alexandria:

Request seems appropriate.