

Docket Item #7
BAR CASE #2006-0128

BAR Meeting
October 4, 2006

ISSUE: Rear addition and alterations

APPLICANT: James Bognet and Carole Soloman by Linda Serabian

LOCATION: 509 Cameron Street

ZONE: RM/Residential

STAFF RECOMMENDATION:

Staff recommends approval of the addition and alterations with the following conditions:

1. Call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds;
2. The applicant must not allow metal detection to be conducted on the property, unless authorized by Alexandria Archaeology; and,
3. The above statements must appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including sheeting and shoring and grading) so that on-site contractors are aware of the requirements.

BOARD ACTION, SEPTEMBER 6, 2006: The Board combined the discussion of docket item #'s 8 & 9. On a motion by Mr. Smeallie, seconded by Dr. Fitzgerald, the Board voted to defer the applications for restudy. The vote on the motion was 5-0.

REASON: The Board was concerned about any demolition associated with an early 19th century building and with the intact flounder at the rear of the house. The Board also expressed concern that the proposed addition would significantly alter the existing house. The Board believed that there were other alternatives for the design of an addition that did not involve the amount of demolition and capsulation proposed.

SPEAKERS: Linda Serabian, project architect, spoke in support
Charles Trozzo, 209 Duke Street, spoke in opposition
Lawrence O'Conner, representing the Historic Alexandria Foundation, spoke in opposition

STAFF RECOMMENDATION:

Staff recommends approval of the addition and alterations with the following conditions:

1. Call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds;
2. The applicant must not allow metal detection to be conducted on the property, unless authorized by Alexandria Archaeology; and,
3. The above statements must appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including sheeting and shoring and grading) so that on-site contractors are aware of the requirements.

BOARD ACTION, JULY 5, 2006: The Board combined discussion of docket item #'s 7 & 8. On a motion by Ms. Quill, seconded by Mr. Wheeler the Board deferred the application for restudy. The vote on the motion was 5-0.

REASON: The Board was concerned about any demolition associated with an early 19th century building and with the intact flounder at the rear of the house. The Board also expressed concern that the propose addition would significantly alter the existing house. In addition, the Board requested an elevation drawing showing the east elevation of the proposed addition.

SPEAKERS: Linda Serabian, project architect, spoke in support
Todd Adams, neighbor, 507 Cameron Street, spoke in opposition

STAFF RECOMMENDATION:

Staff recommends approval of the addition and alterations with the following conditions:

1. Call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds;
2. The applicant must not allow metal detection to be conducted on the property, unless authorized by Alexandria Archaeology; and,
3. The above statements must appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including sheeting and shoring and grading) so that on-site contractors are aware of the requirements; and,
4. Retention of the existing fenestration on the east wall of the second level of the existing ell.

(Insert sketch here)

Update: Since the public hearing of September 6th, the applicant has modified the design of the addition in response to the comments of the Board. A new addition is now proposed to be built at the rear of the existing house and will no longer fill in at the rear of the main historic block.

NOTE: Docket item #6 must be approved before this docket item can be considered.

I. ISSUE:

The applicant is requesting approval of a Certificate of Appropriateness for an addition and alterations to the residential townhouse at 509 Cameron Street.

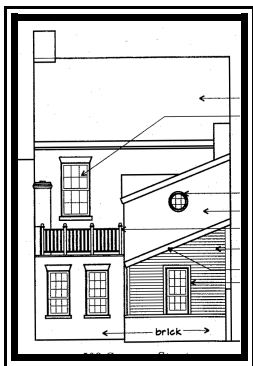


Figure 1 -
Proposed north
elevation



Figure 2 - Proposed east elevation

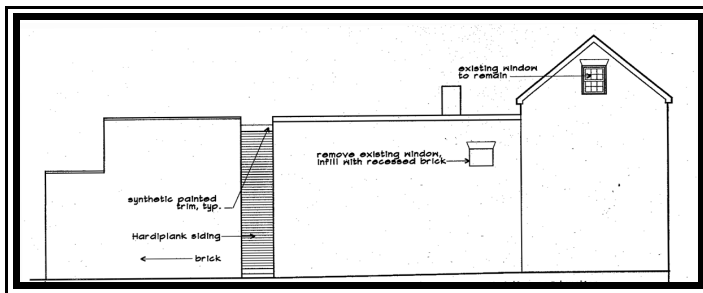


Figure 3 - Proposed west elevation

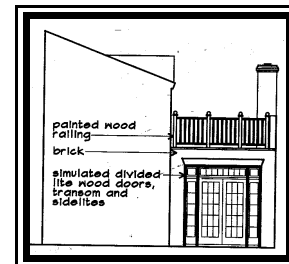


Figure 4 - Proposed south elevation

Addition

The proposed addition will be at the rear of the existing house and is one and two stories in height and measures approximately 13' in width and 24' length with a two story connector approximately 4' in length between the rear of the existing flounder and the new addition. The two story section will have a brick veneer and the one story section will be sheathed in HardiPlank. A one story section will extend to the east property line enclosing an open space area to the rear of the historic main block. This section will also have brick veneer and an open

deck on the south and north ends. The hyphen will also be clad in HardiPlank. The new addition will have three six-over-nine clad simulated divided light windows on the first level. The single oculus window in the rear wall of the flounder will be relocated to the second level of the north elevation of the new addition. All trimwork is proposed to be of Fypon.

Alterations

The three second level windows on the front facade are proposed to be replaced with new true divided light Kolbe and Kolbe wood windows to match those on the first level.

The existing wood doors on the first level of the flounder will be replaced with new wood multi-light doors.

The rear brick wall will be altered by slightly enlarging it so that a parking pad can be created off of the rear alley.

The existing wood fence on the east property line will be removed and replaced with a new brick wall.

II. HISTORY:

509 Cameron Street is a two-story, three bay brick residential townhouse that was constructed in ca. 1804 by William Pomeroy according to Ethelyn Cox in *Alexandria Street by Street* (p.8). The rear flounder dates from the 19th century but was constructed at a later date than the man historic block.

III. ANALYSIS:

Proposed one and two story rear additions comply with zoning ordinance requirements.

Staff is supportive of the proposal for a number of reasons. First, it responds to suggestions concerning the parti recommended by the Board at the September 6th public hearing. Second, the massing of the rear addition is similar to a number of other additions approved by the Board at the rear of early 19th century houses with existing ells. Third, the rear of the house is only minimally visible across the public surface parking lot from North St. Asaph Street and the public perception of the house from the street remains unchanged. And fourth, the Board approved a rear addition to the early 19th century rear flounder at the residence adjacent to the west at 511 Cameron Street earlier this year (BAR Case #2006-0012, 2/15/06) which clearly changed the historic configuration creating, in the view of staff, the precedent for a similar type addition at this house.

Staff has no objection to the alteration of the rear brick wall to accommodate a parking pad in the rear yard.

Staff notes the comments of Alexandria Archeology and has included them as a condition.

IV. STAFF RECOMMENDATION:

Staff recommends approval of the addition and alterations with the following conditions:

1. Call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds;
2. The applicant must not allow metal detection to be conducted on the property, unless authorized by Alexandria Archaeology;
3. The above statements must appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including sheeting and shoring and grading) so that on-site contractors are aware of the requirements; and

CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F - finding

Code Enforcement:

- C-1 All exterior walls within 5 feet from an interior property line shall have a fire resistance rating of 1 hour, from both sides of the wall. As alternative, a 2 hour fire wall may be provided. This condition is also applicable to skylights within setback distance. Openings in exterior walls between 3 and 5 feet shall not exceed 25% of the area of the entire wall surface (This shall include bay windows). Openings shall not be permitted in exterior walls within 3 feet of an interior lot line.
- C-2 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to Code Enforcement that will outline the steps that will taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.
- C-3 Roof drainage systems must be installed so as neither to impact upon, nor cause erosion/damage to adjacent property.
- C-4 A soils report must be submitted with the building permit application.
- C-5 New construction must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-6 Alterations to the existing structure must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-7 Construction permits are required for this project. Plans shall accompany the permit application that fully detail the construction as well as layouts and schematics of the mechanical, electrical, and plumbing systems.
- C-8 Permission from adjacent property owners is required if access to the adjacent properties is required to complete the proposed construction. Otherwise, a plan shall be submitted to demonstrate the construction techniques utilized to keep construction solely on the referenced property.
- C-9 A wall location plat prepared by a land surveyor is required to be submitted to this office prior to requesting any framing inspection.

Historic Alexandria:

Revised proposal seems appropriate.

Alexandria Archaeology:

- F-1 According to Ethelyn Cox's *Historic Alexandria, Street by Street, A Survey of Existing Early Buildings*, the house on this lot was probably constructed around 1803 by William Pomeroy. It was rented to Thomson F. Mason in 1816. The property therefore has the potential to yield significant archaeological resources which could provide insight into domestic activities in nineteenth-century Alexandria.
- R-1 Call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
- R-2 The applicant must not allow metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.
- R-3 The above statements in R-1 and R-2 must appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including sheeting and shoring and grading) so that on-site contractors are aware of the requirements.

Transportation and Environmental Services:

- R-1 City Code Section 8-1-22 requires that roof, surface and sub-surface drains be connected to the public storm sewer system. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 Any improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (T&ES)
- C-1 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-3-61)
- C-2 Roof drains and sub-surface drains shall be connected to the city storm sewer system, if available, by continuous underground pipe. (Sec. 8-1-22)
- C-3 Change in point of attachment or removal of existing overhead utility services will require undergrounding or a variance. (Sec. 5-3-3)