

Docket Item #12  
BAR CASE #'s 2006-0219

BAR Meeting  
October 4, 2006

**ISSUE:** Addition and Alterations

**APPLICANTS:** Land Design, Inc.

**LOCATION:** 200 South Peyton Street

**ZONE:** CD/Commercial

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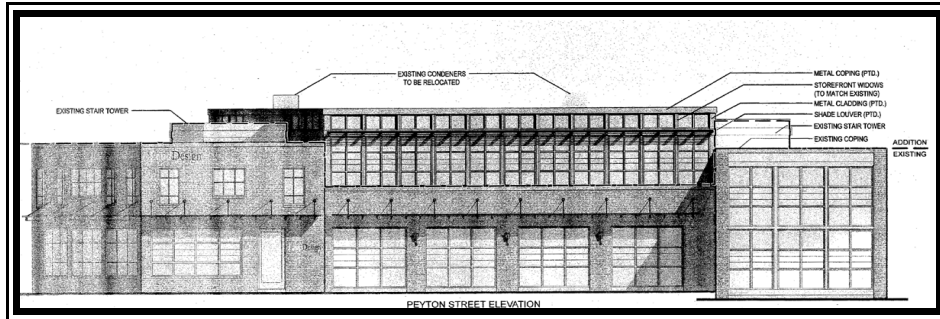
**STAFF RECOMMENDATION:** Staff recommends approval of the application with the condition that a Waiver of the HVAC screening be applied for at a later date.

(Insert sketch here)

NOTE: Docket item #11 must be approved before this docket item can be considered.

**I. ISSUE:**

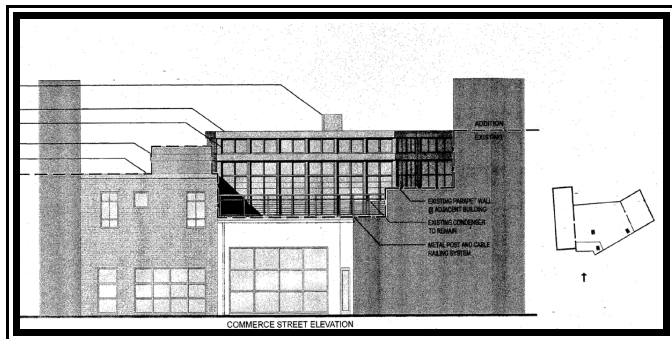
The applicant is requesting a Certificate of Appropriateness to construct a second-floor addition over a portion of the building located at 200 South Peyton Street.



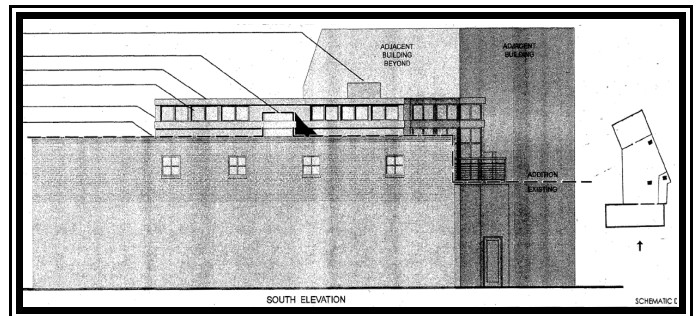
**Figure 1 - Proposed Peyton Street elevation**



**Figure 2 - Proposed Prince Street elevation**



**Figure 3 - Proposed Commerce Street elevation**



**Figure 4 - Proposed south elevation**

The proposed addition will be located on the central section of this building that is currently one-story. The sections on either side are currently two stories tall. The addition will add approximately 2,625- square feet. The building currently has a square footage of 7,950 square feet. With the addition the building will have a total height of 27'8". The height of the addition will be about 5' and 6'2" taller than the heights of the existing two-story wings of the building. The addition will be set back about 8" from the face of the Peyton Street elevation of the central section of the building and will have a flat-roof.

The addition will mimic the industrial aesthetic of the original building but will have subtle differences in the window configuration to distinguish it as a new addition. Metal storefront windows will be used on the addition and will match the existing windows used in the 2004 alterations. On the Peyton Street elevation, windows will be located in 11 bays , with typical widths of 4'10", and reflect the configuration found on the existing building. Above the main bank of windows, a metal shade louver will be located, with a transom-style windows above. Metal coping will be used at the roofline. The addition will be clad in metal to match the metal on the existing buildings .

On the Commerce Street elevation facing the parking lot, the addition will have the same windows but not the metal shade louver. A metal post and cable railing system will be provide railing for the roof-top deck area that overlooks the rear parking lot.

The applicant has indicated that the existing HVAC units will be relocated to the top of the flat roof of the addition. A waiver of the HVAC screening requirement had been granted during the 2004 alterations. However, the relocation of the units would require a new waiver, which the applicant has not filed for. This item will have to be addressed under a later application.

## **II. HISTORY:**

200 South Peyton Street is a one and two story freestanding brick building that was constructed as an automobile repair facility and is located at the corner of South Peyton and Prince Street. It was originally constructed as an automobile service facility in 1960. The architect for the building was Hamilton Morton.

In 2003 and 2004, the Board approved substantial alterations to the building when it was converted to office use by the applicant, Land Design, Inc., a landscape design firm. (BAR Case #'s, 2003-0160, 2003-0161, 2004-0119).

## **III. ANALYSIS:**

Proposed alterations and addition comply with Zoning Ordinance requirements.

Staff supports the proposed addition and believes it is an appropriate and compatible alteration to this 1960's building. The applicant has been mindful of the industrial aesthetic of the existing

building with the proposed design, yet has add subtle design clues that indicate that the addition is new. The height and massing of the addition is respectful to the adjacent buildings. Therefore, staff recommends approval of the application with the condition that a Waiver of the HVAC screening be applied for at a later date.

**IV. STAFF RECOMMENDATION:**

Staff recommends approval of the application with the condition that a Waiver of the HVAC screening be applied for at a later date.

CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F - finding

Code Enforcement:

- C-1 New construction must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-2 Alterations to the existing structure must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-3 Construction permits are required for this project. Plans shall accompany the permit application that fully detail the construction as well as layouts and schematics of the mechanical, electrical, and plumbing systems.
- C-4 Required exits shall be accessible for persons with disabilities.

Historic Alexandria:

No comments.