

Docket Item # 11
BAR CASE # 2006-0224

BAR Meeting
October 18, 2006

ISSUE: Addition
APPLICANT: Gregory Lucy by Stephanie Dimond
LOCATION: 517 North Columbus Street
ZONE: RM/Residential

STAFF RECOMMENDATION: Staff recommends approval of the application with the following condition:

The statement below must appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including sheeting and shoring and grading) so that on-site contractors are aware of the requirement:

Call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area the discovery until a City archaeologist comes to the site and records the finds.

(Insert sketch here)

Note: Docket item #10 must be approved before this docket item may be considered.

I. ISSUE:

The applicant is requesting approval of a certificate of appropriateness for a new two story rear addition. The addition will extend from lot line to lot line, filling in the dog leg, and extend beyond the present rear wall by an additional 10' 11". The addition will have a flat roof that will continue the slope of the main roof. The walls will be clad in brick. The rear (east) elevation will have two paired French doors on each story. The doors will be wood with simulated divided lights in a four-light configuration. The muntins will be 5/8 wide. There will be a transom above the first story doors and stone steps to the rear yard. The second story doors will have painted wood louvered shutters and decorative metal railings. The shutters will be operable and, according to the architect, will be bi-fold to fully fill the openings. The railing design is based on an historic railing elsewhere in the historic district. There will be brick jack arches over the door openings. There will be a brick soldier course above the second story and a stepped brick cornice. The roof will drain to the rear through scuppers into metal downspouts at either side of the rear elevation. The downspouts will be rectangular and of aluminum. The south side elevation will not extend beyond the house at 515 North Columbus Street. The north side elevation will extend beyond 517 North Columbus, the pair with the subject house, by 10' 11". This elevation will be blind and will be clad in brick.

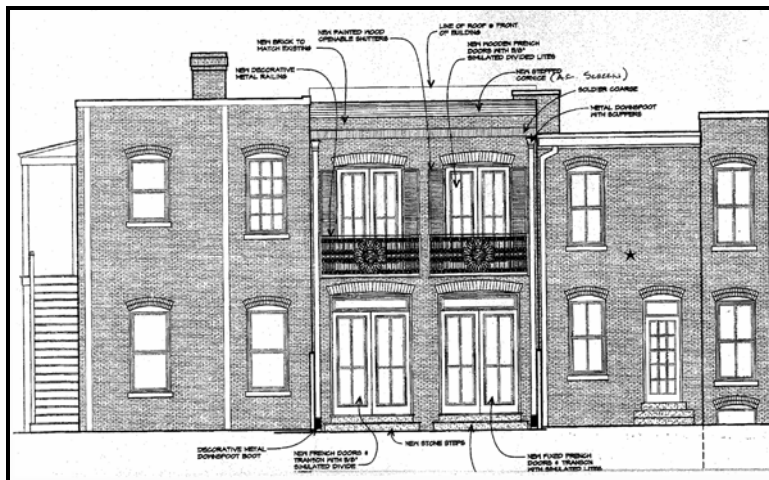


Figure 1 - Proposed east (rear) elevation

According to the architect, the existing rooftop HVAC unit will be sufficient to service the new construction and will remain in place. The rear elevation will be visible from the public alley at the rear but is not likely to be visible from the adjacent streets. The property has a 6' rear fence that will obscure much of the first story.

II. HISTORY:

As discussed in docket item #10, the pair of two story brick rowhouses at 517 and 519 North Columbus Street were constructed in 1914 and remain remarkably unaltered. Staff could not locate any prior BAR reviews for these properties.

III. ANALYSIS:

The proposed addition complies with the zoning ordinance requirements.

In the opinion of Staff, the proposed addition is appropriate for the house and surrounding district and complies with the *Design Guidelines* for additions. The addition is relatively modest in size and utilizes materials and architectural forms that are compatible with the early 20th century rowhouse and its neighbors. Staff finds the railing design, borrowed from a high style mid-19th century building, to be overly ornate for this simple structure. However, given its location in the rear where it will be visible only from the adjacent alley, Staff has no objection.

Staff does note the comments of Alexandria Archaeology and recommends that they be included as a condition to the Board's approval.

IV. STAFF RECOMMENDATION:

Staff recommends approval of the application with the following condition:

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CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Code Enforcement:

- C-1 All exterior walls within 5 feet from an interior property line shall have a fire resistance rating of 1 hour, from both sides of the wall. As alternative, a 2 hour fire wall may be provided. This condition is also applicable to skylights within setback distance. Openings in exterior walls between 3 and 5 feet shall not exceed 25% of the area of the entire wall surface (This shall include bay windows). Openings shall not be permitted in exterior walls within 3 feet of an interior lot line.

- C-2 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to Code Enforcement that will outline the steps that will taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.

- C-3 Roof drainage systems must be installed so as neither to impact upon, nor cause erosion/damage to adjacent property.

- C-4 A soils report must be submitted with the building permit application.

- C-5 New construction must comply with the current edition of the Uniform Statewide Building Code (USBC).

- C-6 Alterations to the existing structure must comply with the current edition of the Uniform Statewide Building Code (USBC).

- C-7 Construction permits are required for this project. Plans shall accompany the permit application that fully detail the construction as well as layouts and schematics of the mechanical, electrical, and plumbing systems.

- C-8 Permission from adjacent property owners is required if access to the adjacent properties is required to complete the proposed construction. Otherwise, a plan shall be submitted to demonstrate the construction techniques utilized to keep construction solely on the referenced property.

- C-9 A wall location plat prepared by a land surveyor is required to be submitted to this office prior to requesting any framing inspection.

Historic Alexandria:

No comments.

Alexandria Archaeology:

- F-1 The block bounded by Pendleton, Washington, Oronoco, and Columbus streets was the location of a mansion built between 1785 and 1790 for John Dundas, prominent citizen, merchant, and early mayor of the town. First called Dundas Castle, and later, Castle Thunder, the house fronted on Pendleton Street and was surrounded by extensive gardens with a picket fence enclosing the entire estate, now a city block. According to the 1810 census, there were 9 whites and 8 slaves living on the property. After the Civil War, the house was abandoned, fell into disrepair, and gained the reputation of being haunted. The property being developed was part of this estate and has the potential to yield archaeological resources that could provide insight into activities in late 18th and 19th-century Alexandria.
- R-1 Call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
- R-2 The above statement must appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including sheeting and shoring and grading) so that on-site contractors are aware of the requirement.