

Docket Item # 14
BAR CASE # 2007-0087

BAR Meeting
June 18, 2007

ISSUE: Alterations
APPLICANT: Ray Lewis, Lewis & Associates
LOCATION: 923 King Street
ZONE: KR/King Street Retail

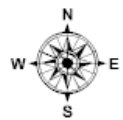
STAFF RECOMMENDATION: Staff recommends approval of the application with the following conditions:

1. That Staff review and approved the type of brick to be used on the garden wall prior to the issuance of the building permit;
2. That the metal on the garden wall be painted black; and,
3. That the metal replacement stairs be painted black.



BAR CASE #2008-0087

6/18/2008



I. ISSUE:

The applicant is requesting approval of a Certificate of Appropriateness for alterations at 923 King Street. The alterations consist of a new low garden wall, new replacement egress stairs, and a change in door on the rear elevation of the rear addition. The Board has reviewed and approved a series of alterations to this building over the last couple of years, including reconfiguration of the storefront and cladding the formerly block rear addition with brick.

The proposed new garden wall will be located along the rear property line along the North Patrick Street frontage. The wall will be constructed of eight courses of brick with a wrought iron painted metal railing resting on top of the top brick course. Five brick piers will be spaced long the wall, with two on either side of a metal pedestrian garden gate. The piers will be capped with precast stone finials. Each of the piers will be 1'4" in width. The wall will be a total of 3'9" tall at the top of the pier cap.

The property currently has a wood stair that provides egress to the upper level of apartments in 923 King Street. The applicant proposes to replace the wood stair with a metal egress stair with metal railings. The applicant provided details on the treads and railing on the new metal stair.

The final proposed alteration is to change the rear door on the addition to single lite wood door, flanked by side-lights, rather than paired single lite doors.

II. HISTORY:

923 King Street is a three story, three bay brick building that was built by Francis Peyton in the late 18th to early 19th century. According to Ethelyn Cox's *Alexandria Street by Street*, Peyton acquired the quarter block of land on which the building sits in 1797 and pledged the building in a deed of trust in 1826. The first floor storefront alterations were built prior to the establishment of the Old and Historic Alexandria District. The storefront was altered to its present configuration in 1970 (Approved by the Board, 12/16/1970). The concrete block rear addition was constructed in 1961, according to building permits.

The Board approved signage for the last retail tenant, Conklyn's Florist, in 1982 (7/7/82) and again in 2002 (BAR Case #2002-0230, 9/18/02).

Over the last couple of years, the Board has approved several alterations to the building, including alterations to the existing storefront and window and door replacement. (BAR Case #2006-0044). The Board also approved some alterations to the rear concrete block addition in 2006, including extending the parapet and cladding with brick (BAR Case #2006-0111).

III. ANALYSIS:

Proposed garden wall, stair replacement, and door revision comply with zoning ordinance requirements.

In general, Staff is supportive of the proposed alterations and believe they meet the Design Guidelines, and will enhance the appearance of this highly visible building at the corner of King Street and North Patrick Street. The proposed garden wall is appropriate in design and scale, and will provide a cleaner definition to the property. Staff would like the opportunity to review and

approve the color and type of brick used for the new wall prior to the issuance of the building permit. Staff would also recommend that the metal component be black.

In respect to the replacement egress stairs, Staff believes that they will be an improvement over the existing wood stairs, but would like to ensure that the color of the metal complements the building. Staff would recommend the metal stairs be painted black.

Staff supports the change in the new wood door on the rear addition.

IV. STAFF RECOMMENDATION:

Staff recommends approval of the application with the following conditions:

1. That Staff review and approved the type of brick to be used on the garden wall prior to the issuance of the building permit;
2. That the metal on the garden wall be painted black; and,
3. That the metal replacement stairs be painted black.

V. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Code Enforcement:

- C-1 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to Code Enforcement that will outline the steps that will taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.
- C-2 Alterations to the existing structure must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-3 Alterations to the existing structure and/or installation and/or altering of equipment therein requires a building permit. Five sets of plans, bearing the signature and seal of a design professional registered in the Commonwealth of Virginia, must accompany the written application. The plans must include all dimensions, construction alterations details, kitchen equipment, electrical, plumbing, and mechanical layouts and schematics.
- C-4 Construction permits are required for this project. Plans shall accompany the permit application that fully details the construction as well as layouts and schematics of the mechanical, electrical, and plumbing systems.
- C-5 Sheeting and shoring shall not extend beyond the property line; except when the developer has obtained a written release from adjacent property owners which has been recorded in the land records; or through an approved encroachment process.
- C-6 The height of the porch above grade is not shown. If > 30" above finished grade porches must have guardrails on open sides. Guardrails and intermediate rails must comply with USBC 1012.1.
- C-7 Stairs must comply with USBC. Stairways of 3 or more risers require handrails.
- C-8 The new stairs must comply with USBC for riser and tread dimensions.

Planning and Zoning:

C-1 The applicant shall include a building plat/survey with the building permit application to construct the brick garden walls verifying location of the property lines and that the proposed fence shall be built entirely on the subject property.

Historic Alexandria:

No comment received.

VI. IMAGES

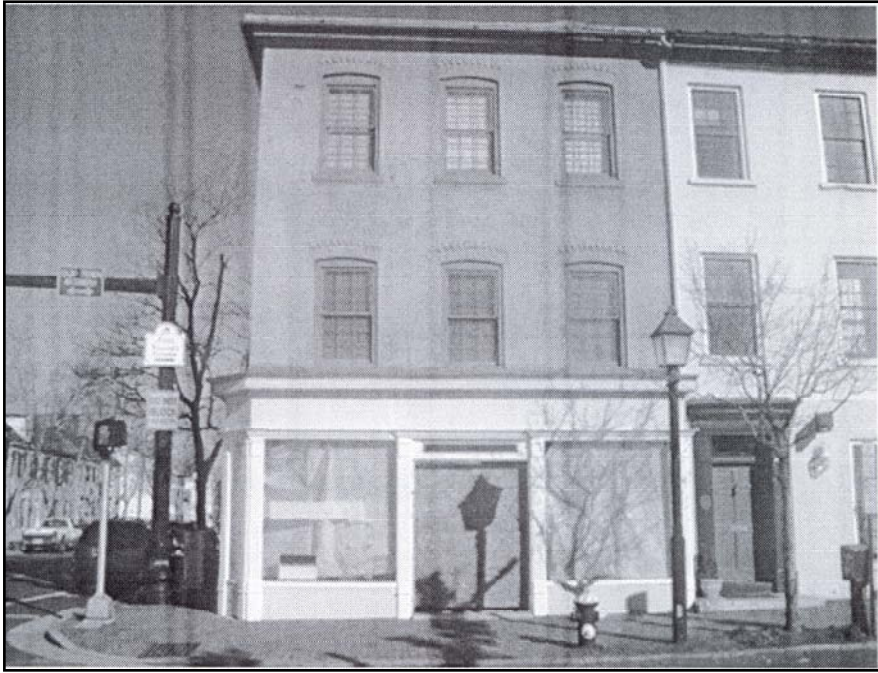


Figure 1: Front view

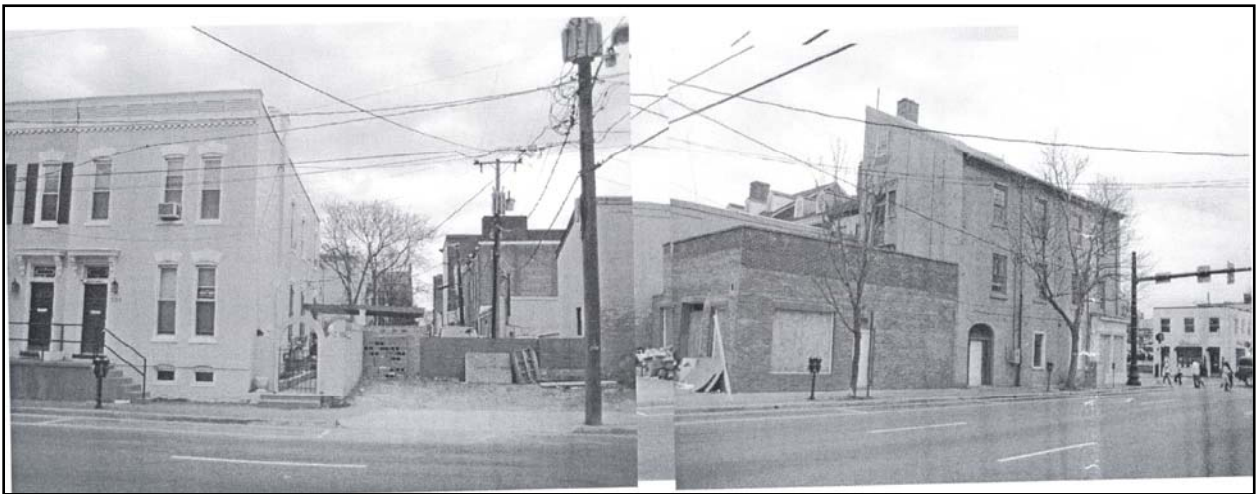
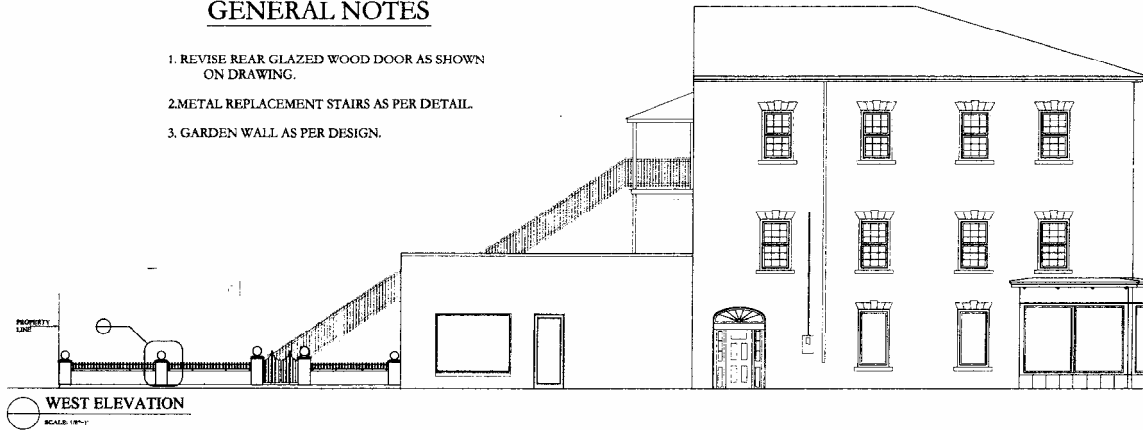


Figure 2: View from North Patrick Street

GENERAL NOTES

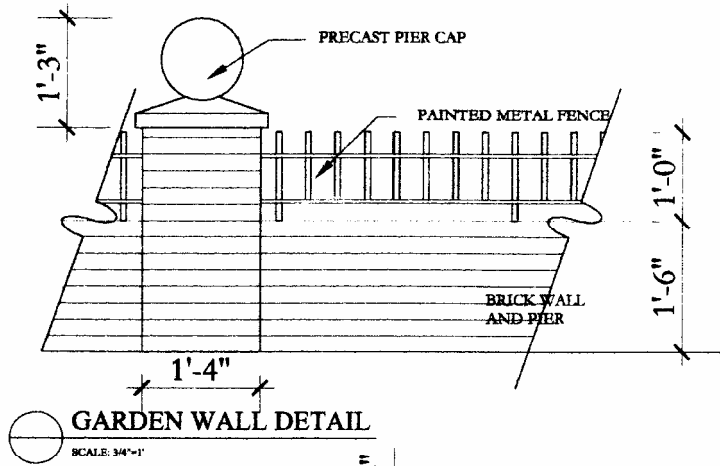
1. REVISE REAR GLAZED WOOD DOOR AS SHOWN ON DRAWING.
2. METAL REPLACEMENT STAIRS AS PER DETAIL.
3. GARDEN WALL AS PER DESIGN.



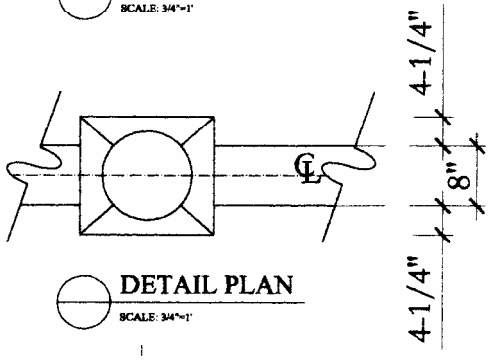
PROPOSED WEST ELEVATION

**GARDEN WALL
 923 KING STREET**

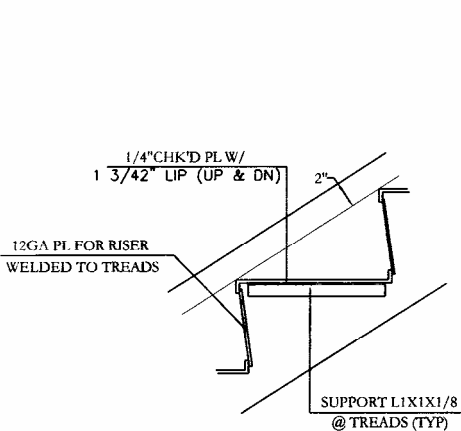
LEWIS AND ASSOCIATES LTD., ARCHITECT



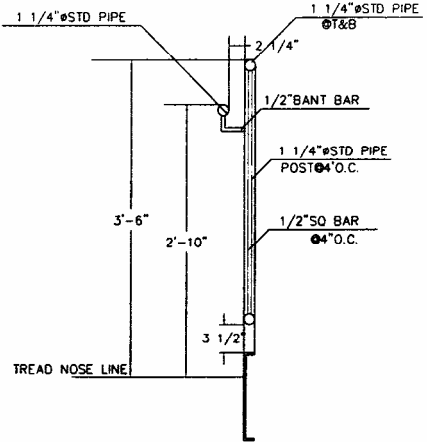
GARDEN WALL DETAIL
 SCALE: 3/4\"/>



DETAIL PLAN
 SCALE: 3/4\"/>



○ TREAD RISER DETAIL



○ TYPICAL RAIL SECTION