

Docket Item # 15
BAR CASE #2008-0088

BAR Meeting
June 18, 2008

ISSUE: Alterations
APPLICANT: R. J. Lasker
LOCATION: 1321 King St
ZONE: KR/King Street Urban Retail

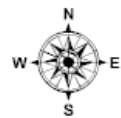
STAFF RECOMMENDATION: Staff recommends approval with the following condition:

1. That the rebuilt portion of the wall match the historic configuration, design, and pattern of the building;
2. That the existing historic bricks be salvaged and re-used to the greatest extent possible in the reconstruction;
3. That the applicant provide staff with an appropriate mortar for final staff approval; and,
4. That the applicant work with staff if additional demolition is necessary.



BAR CASE #2008-0088

6/18/2008



I. ISSUE:

The applicant is requesting approval of a Certificate of Appropriateness to remove and rebuild a portion of the exterior south brick wall at 1321 King Street. This wall comprises the front façade of 1321 King Street and is at a prominent location at the corner of King Street and N. West Street. The area proposed for demolition is located in the center bay of the first story. The proposed demolition will measure approximately 22.75 square feet.

The City's Code Enforcement Department became aware that the east wall was severely structurally compromised and notified the owner that it needed to be corrected in a timely manner. Code Enforcement sent the property owners a Notice to Correct on November 1, 2007. The owner has retained a structural engineer to study the problem and recommend selective demolition in order to repair and structurally fortify the wall. The wall has been temporarily shored at this time.

The applicant's structural engineer has identified possible causes as well as the area where selective demolition is necessary. He noted that a portion of the front wall has bowed out and the outside wyth of the brick is separated from the rest of the wall. He observed that the front load bearing wall is only supported by the inner wyths of brick. In addition, the lintel is sagging and needs to be reinforced and rebuilt. To increase the structural strength of the wall, the interior of the repaired portions of the wall will be reinforced with posts and the lintel reinforced with a steel angle.

II. HISTORY:

The building at 1321 King Street is representative of an early nineteenth century commercial building. The three bay, brick building is two and one-half stories with a gable roof and two entrance doors on the first floor. According to Ethelyn Cox in *Historic Alexandria Street by Street*, "In November 1819 James Sanderson pledged this 'two-story brick warehouse' and other property in a deed of trust. Probably built by Sanderson after he purchased the lot from William N. Mills in 1808."

Staff did not locate previous approvals by the Board for this property.

III. ANALYSIS:

The proposed alterations comply with the zoning ordinance requirements.

The proposed rebuilding of the front façade of 1321 King Street is a necessary structural repair and will contribute to protecting and maintaining the historic fabric in the Old and Historic District.

The applicant does not specify the reuse of the existing brick and window in the submitted materials. Staff recommends that the applicant reuse the existing brick to the greatest extent possible. Where new brick is required, the applicant should work with staff to ensure an appropriate match. In addition, the applicant should ensure that the new mortar matches the existing. The applicant should work with staff to determine an appropriate match.

The *Design Guidelines* state that any proposed demolition, whether in whole or in part, requires the approval of a Permit to Demolish by the Board. However, the removal of less than 25 square feet of an exterior wall is not considered demolition but rather an alteration. The proposed work here is less than 25 square feet and is thus an alteration. However, once work begins, if the applicant will need to expand the area of the proposed demolition, it is recommended that the applicant work with staff to determine what is necessary to make the wall structurally sound and if a Permit to Demolish will be necessary.

IV. STAFF RECOMMENDATION:

Staff recommends approval of the application for alterations with the following conditions:

1. That the rebuilt portion of the wall match the historic configuration, design, and pattern of the building;
2. That the existing historic bricks be salvaged and re-used to the greatest extent possible in the reconstruction;
3. That the applicant provide staff with an appropriate mortar for final staff approval;
and
4. That the applicant work with staff if additional demolition is necessary.

V. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F – finding

Code Enforcement:

- C-1 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to Code Enforcement that will outline the steps that will taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.
- C-2 Alterations to the existing structure must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-3 Alterations to the existing structure and/or installation and/or altering of equipment therein requires a building permit. Five sets of plans, bearing the signature and seal of a design professional registered in the Commonwealth of Virginia, must accompany the written application. The plans must include all dimensions, construction alterations details, kitchen equipment, electrical, plumbing, and mechanical layouts and schematics.
- C-4 Construction permits are required for this project. Plans shall accompany the permit application that fully details the construction as well as layouts and schematics of the mechanical, electrical, and plumbing systems.
- C- 5 Sheeting and shoring shall not extend beyond the property line; except when the developer has obtained a written release from adjacent property owners which has been recorded in the land records; or through an approved encroachment process.
- C-6 The height of the porch above grade is not shown. If > 30" above finished grade porches must have guardrails on open sides. Guardrails and intermediate rails must comply with USBC 1012.1.
- C-7 The drawings do not show steps or stairs. Stairs must comply with USBC. Stairways of 3 or more risers require handrails.
- C-8 The new stairs must comply with USBC for riser and tread dimensions.

Historic Alexandria:

No comments received.

Alexandria Archaeology:

No comments received.

IV. IMAGES

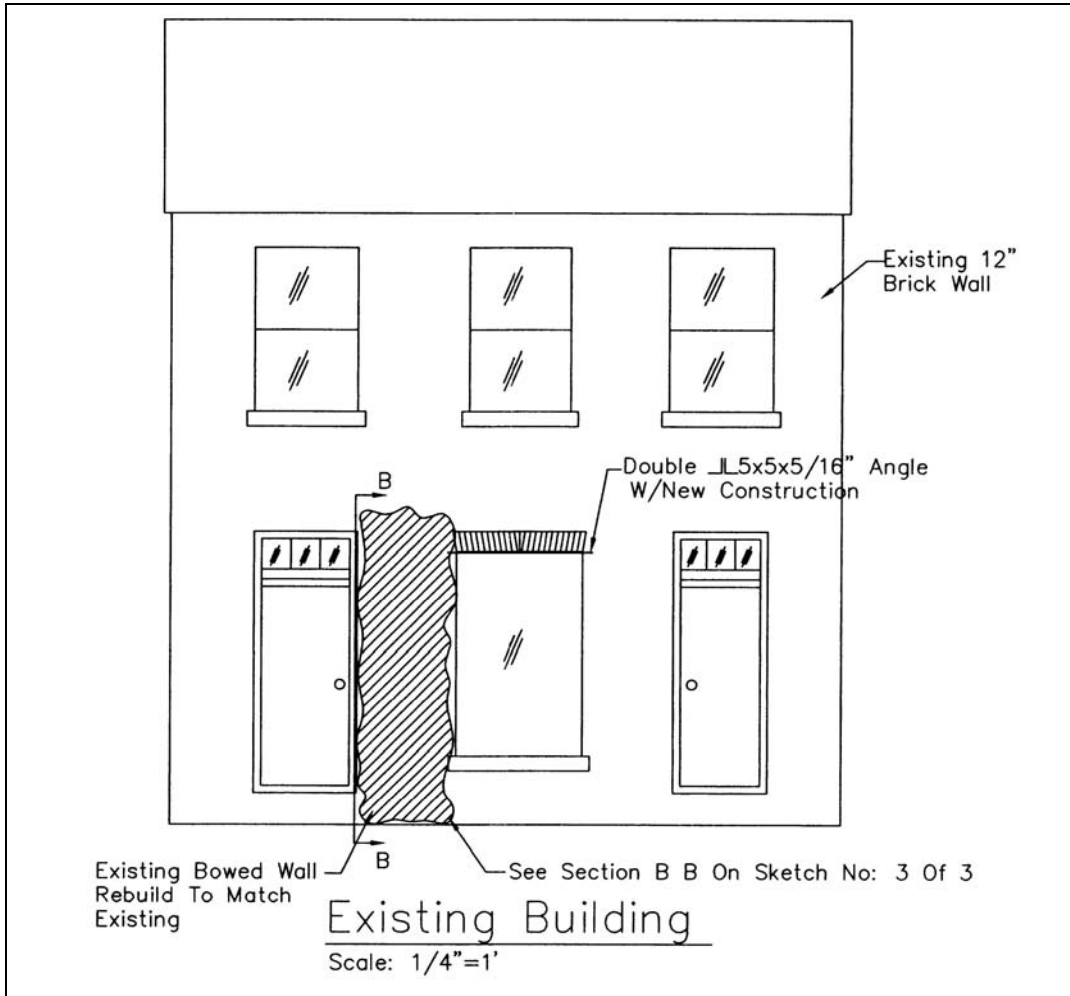


Figure 1. Existing conditions.

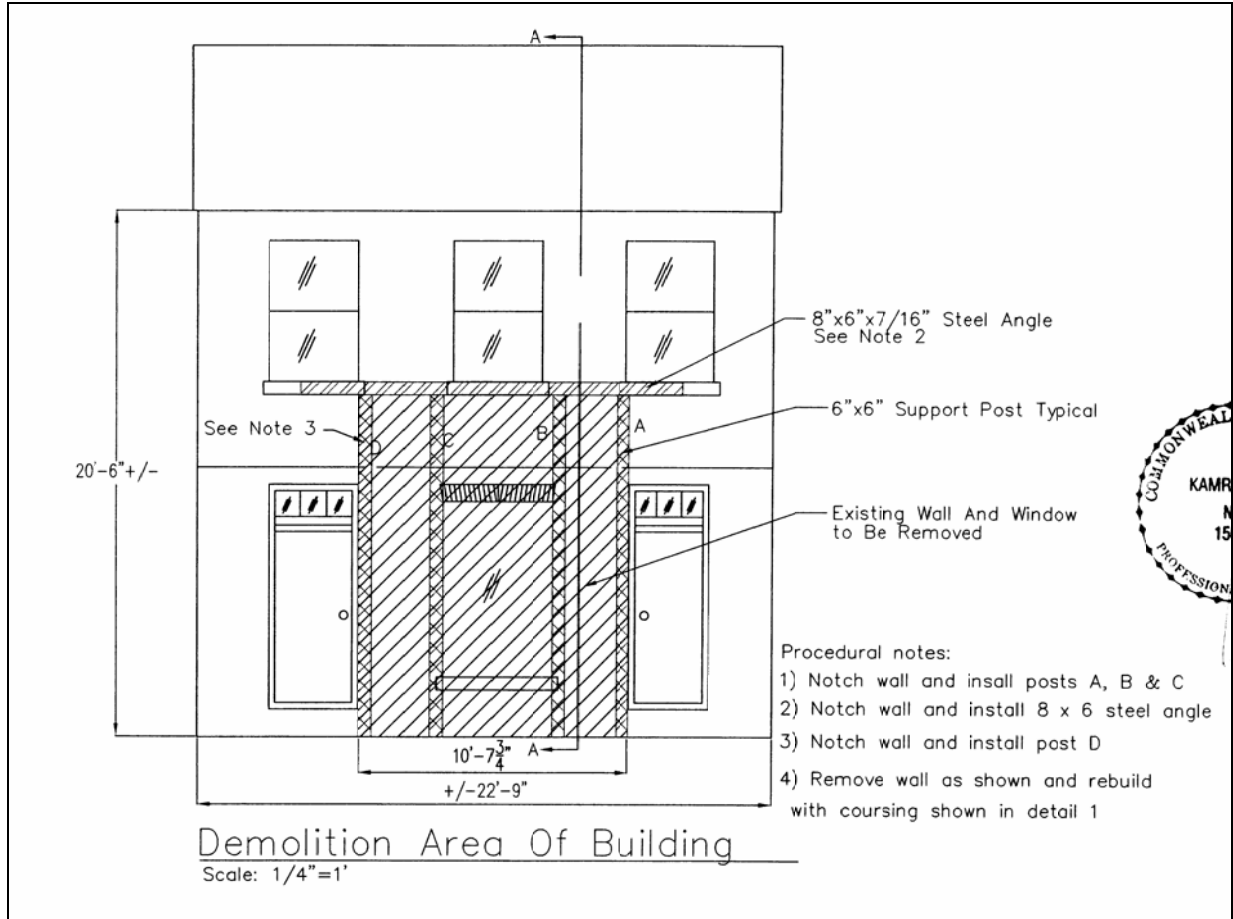


Figure 2. Proposed demolition and supports.

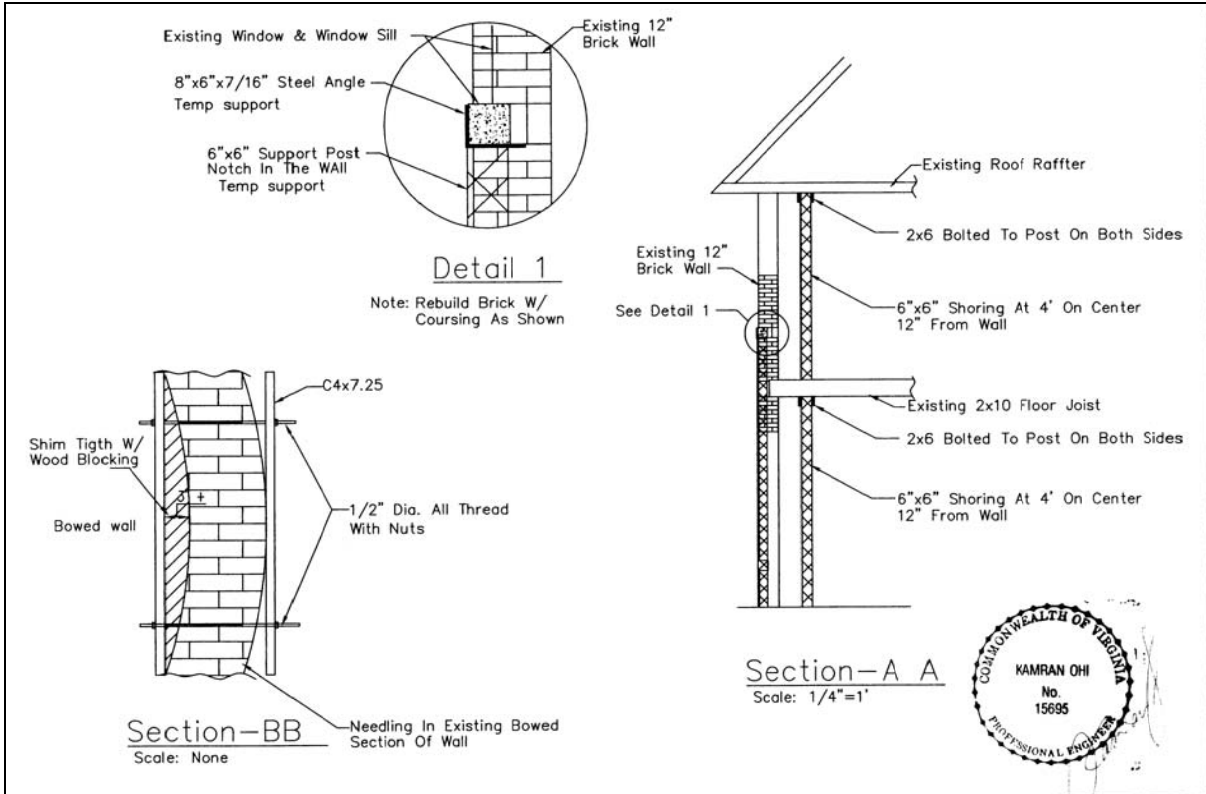


Figure 3. Proposed details for temporary shoring and rebuilding.