

Docket Item # 17  
BAR CASE # 2008-0120

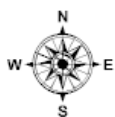
BAR Meeting  
July 30, 2008

**ISSUE:** Alterations  
**APPLICANT:** Linda Serabian  
**LOCATION:** 112 South Patrick Street  
**ZONE:** CD/Commercial.

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**STAFF RECOMMENDATION:** Staff recommends approval of the application with the following conditions:

1. That no synthetic material be used on the shed addition, and wood be used for these features;
2. The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Demolition, Basement/Foundation Plans, Landscaping, Erosion and Sediment Control, Grading, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
  - a. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
  - b. The applicant/developer shall call Alexandria Archaeology (703/838-4399) two weeks before the starting date of any ground disturbance so that an inspection schedule for city archaeologists can be arranged.
  - c. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.



NOTE: Docket # 16 for a Permit to Demolish must be approved prior to approval of a Certificate of Appropriateness.

**I. ISSUE:**

The applicant is requesting approval of a Certificate of Appropriateness to construct a shed addition at 112 South Patrick Street. The shed will be constructed in the area currently enclosed by a 4' board-on-board fence at the rear of the property. The addition will measure roughly 8' by 12.5' and will have a shed style roof. The shed will have a standing seam metal roof, synthetic trim, prefinished aluminum gutters and downspouts, and synthetic louvered doors. The shed will be constructed of brick to match the existing townhouse and the brick walls at the adjacent 114 South Patrick Street. The trim, door and area above the horizontal trim board will be painted white and the metal roof will be grey.

**II. HISTORY:**

According to Ethelyn Cox's *Historic Alexandria, Virginia Street by Street*, the twin, two-and-one-half-story Federal style brick former residences at 112 and 114 South Patrick Street were built by Isaac Gibson not long after his purchase of the land in 1812.

Over the years the Board has reviewed a number of applications for 112 South Patrick Street, including:

- Signage on November 3, 2004 (BAR Case #2004-0209);
- Site improvements at 108, 112 and 114 South Patrick Street on August 16, 2000 (BAR Case #2000-0165);and,
- Alterations, including paving and fencing on September 19, 2001 (BAR Case #2001-0221).

**III: ANALYSIS**

The proposed alterations comply with the Zoning Ordinance requirements.

Staff has no objection to the construction of a shed addition. The scale, mass and general design of the shed will not adversely impact the historic townhouse at 112 South Patrick Street and will improve the appearance of the rear of the property, where trash cans and other maintenance material is now stored. However, Staff believes that the use of synthetic material (the louvered doors, trim board and the triangular piece above the doors) is not appropriate for this early 19<sup>th</sup> century townhouse. Staff would recommend that wood be used for the features. In the opinion of Staff, if no synthetic materials are used, the shed addition will meet the recommendations contained in the *Design Guidelines* as they pertain to additions.

Staff also notes the conditions from Alexandria Archaeology and recommends that they be included as a condition of approval.

**IV. STAFF RECOMMENDATION:**

Staff recommends approval of the application with the following conditions:

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## V. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F - finding

### Code Enforcement:

- C-1 Alterations to the existing structure must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-2 Alterations to the existing structure and/or installation and/or altering of equipment therein requires a building permit. Five sets of plans, bearing the signature and seal of a design professional registered in the Commonwealth of Virginia, must accompany the written application. The plans must include all dimensions, construction alterations details, kitchen equipment, electrical, plumbing, and mechanical layouts and schematics.
- C-3 Construction permits are required for this project. Plans shall accompany the permit application that fully details the construction as well as layouts and schematics of the mechanical, electrical, and plumbing systems.
- C-4 New construction must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-5 All exterior walls within 5 feet from an interior property line shall have a fire resistance rating of 1 hour, from both sides, with no openings permitted within the wall. As alternative, a 2 hour fire wall may be provided. (USBC 704.5).

### Office of Historic Alexandria:

- F-1 No comment.

### Alexandria Archaeology:

#### **Archaeology Findings**

F-1 According to Ethelyn Cox's *Historic Alexandria, Virginia, Street by Street, A Survey of Existing Early Buildings*, these houses were constructed by Isaac Gibson shortly after he purchased the lots in 1812. The property therefore has the potential to yield archaeological resources which could provide insight into residential life in Alexandria during the nineteenth century.

F-2 In 2002, Alexandria Archaeology recorded the presence of two brick shafts on at 112 S. Patrick Street, one in the basement of the house and the other about 5.5 feet from the northeast corner of 114 S Patrick Street. This outside shaft may be in line with the footing for the construction of the shed on 112 S. Patrick Street. The inside diameter of the shaft measured about 4.5 feet. Soil was visible at a depth of about 14 feet below the surface. A terracotta pipe

was seen entering the northwest side of the feature about 3 feet below the surface. The shaft may have originally been a well and later used for drainage. The applicant in 2002 indicated that the feature would be filled with gravel or sand.

**Recommendations**

1. Efforts should be made to save as much of the shaft as possible during construction activities. If the location of the shaft is known from previous construction on the property, it should be placed on the site plan.
  
2. The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Demolition, Basement/Foundation Plans, Landscaping, Erosion and Sediment Control, Grading, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
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VI. IMAGES

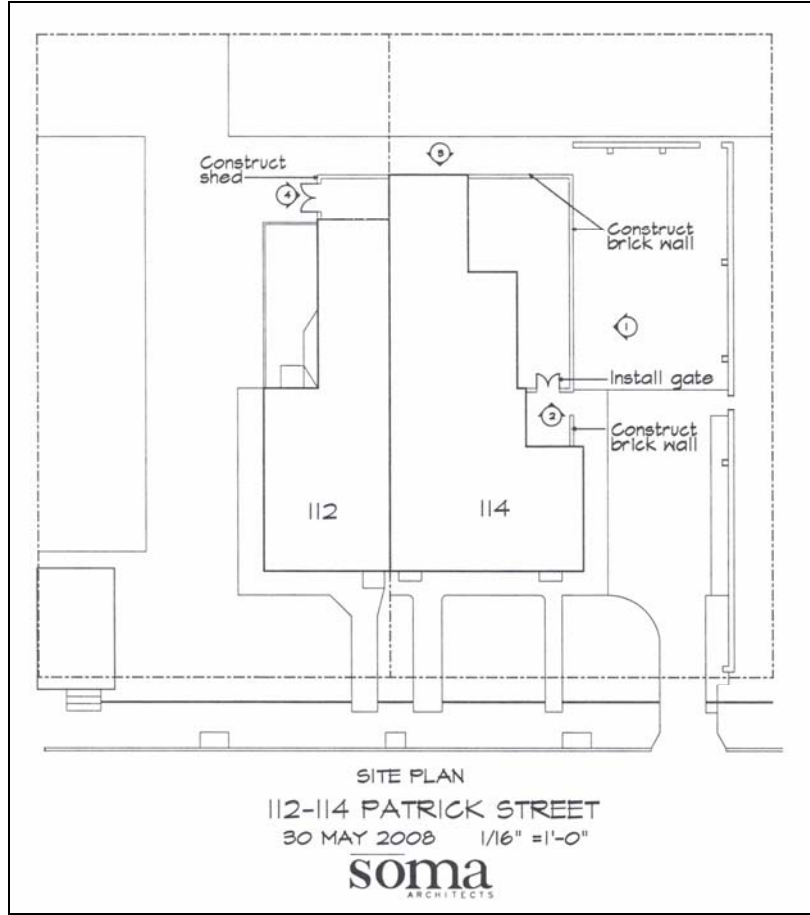


Figure 1: Site plan for 112 & 114 North Patrick Street.



Figure 2: Existing photo of proposed shed location.



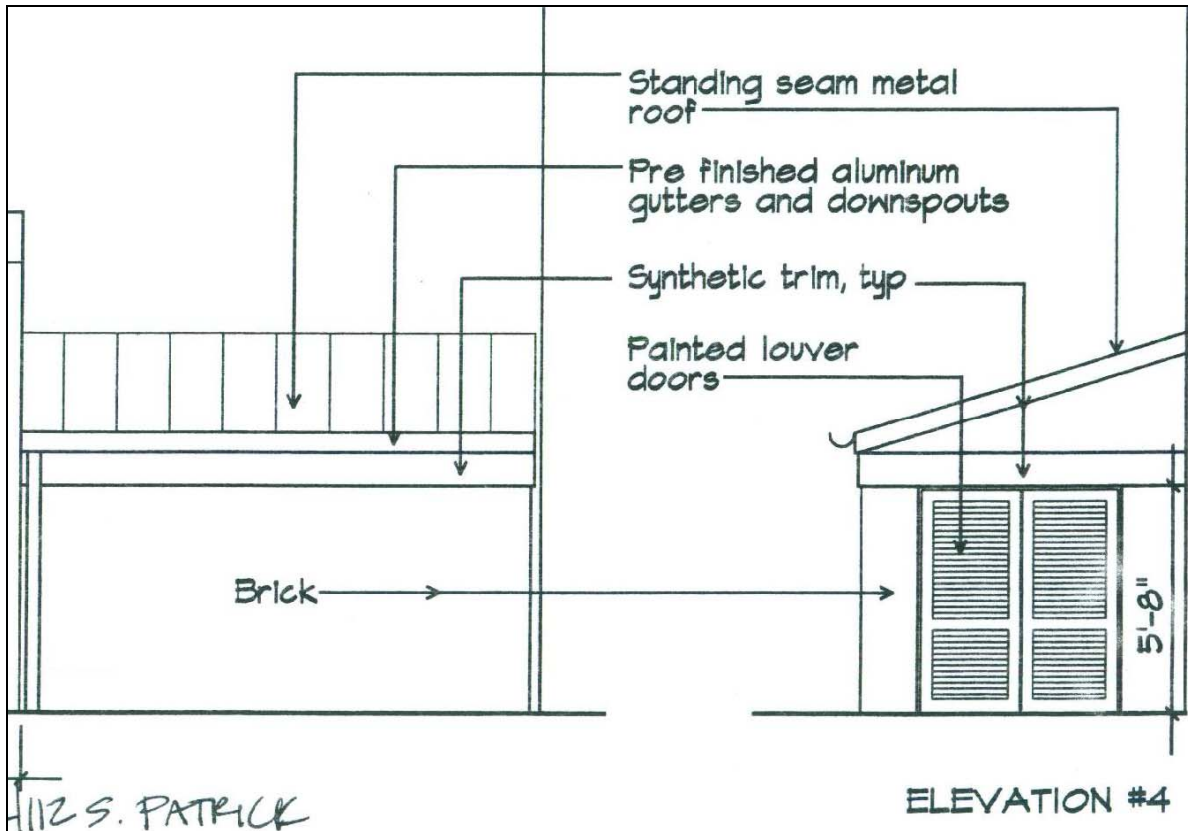


Figure 3: Proposed elevations.