

Docket Item # 4  
BAR CASE #2008-0128

BAR Meeting  
September 3, 2008

**ISSUE:** Alterations  
**APPLICANT:** Joel and Kelly Abramson  
**LOCATION:** 602 South Lee Street  
**ZONE:** RM/Townhouse zone

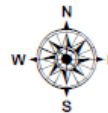
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**STAFF RECOMMENDATION:** Staff recommends approval of the application as submitted.



**BAR CASE #2008-0128**

**9/3/2008**



**I. ISSUE:**

The applicant is requesting approval of a Certificate of Appropriateness for replacement windows at 602 South Lee Street.

The existing windows are single-glazed, six-over-six wood windows with exterior storm windows. These windows are in a deteriorated condition. The applicant is requesting approval of Marvin Ultimate Double Hung all wood windows with a six-over-six configuration. The windows will be double insulated with simulated divided lights and an interior spacer bar. The muntins will measure 7/8". The proposed windows will replicate the existing windows with the exception that they will be simulated divided light with a spacer bar instead of true divided light and double-insulated instead of single-glazed.

**II. HISTORY:**

The two-and-one-half-story brick townhouse at 602 South Lee Street was constructed in 1974 according to the City's real estate records.

Staff could not locate previous BAR approvals for the subject property.

**III. ANALYSIS:**

The proposed alterations comply with Zoning Ordinance requirements.

The *Design Guidelines* recommend that: "...replacement windows should be appropriate to the historic period of the architectural style of the building." The *Guidelines* also state that single-glazed, true divided light windows with interior storm sash are the preferred replacement window type. The *Guidelines* continue by saying other acceptable window types are "double-glazed true divided light wood windows...Windows with fixed or applied muntins have been approved for the rear elevation of a structure which has minimal visibility from a public right of way." In this particular case, given the age of the townhouse and the fact that the existing six-over-six light configuration and 7/8" muntin profile will be retained, Staff does not object to the installation of double-insulated replacement windows with simulated divided lights and spacer bars.

**IV. STAFF RECOMMENDATION:** Staff recommends approval of the application as submitted.

**V. CITY DEPARTMENT COMMENTS**

Legend: C - code requirement R - recommendation S - suggestion F- finding

Code Enforcement:

C-1 Alterations to the existing structure must comply with the current edition of the Uniform Statewide Building Code (USBC).

Historic Alexandria:

No comments received.

**VI. IMAGES**



**Figure 1. Front (west) elevation of 602 South Lee Street.**



**Figure 2. Rear (east) elevation of 602 South Lee Street as seen from Gibbon Street.**

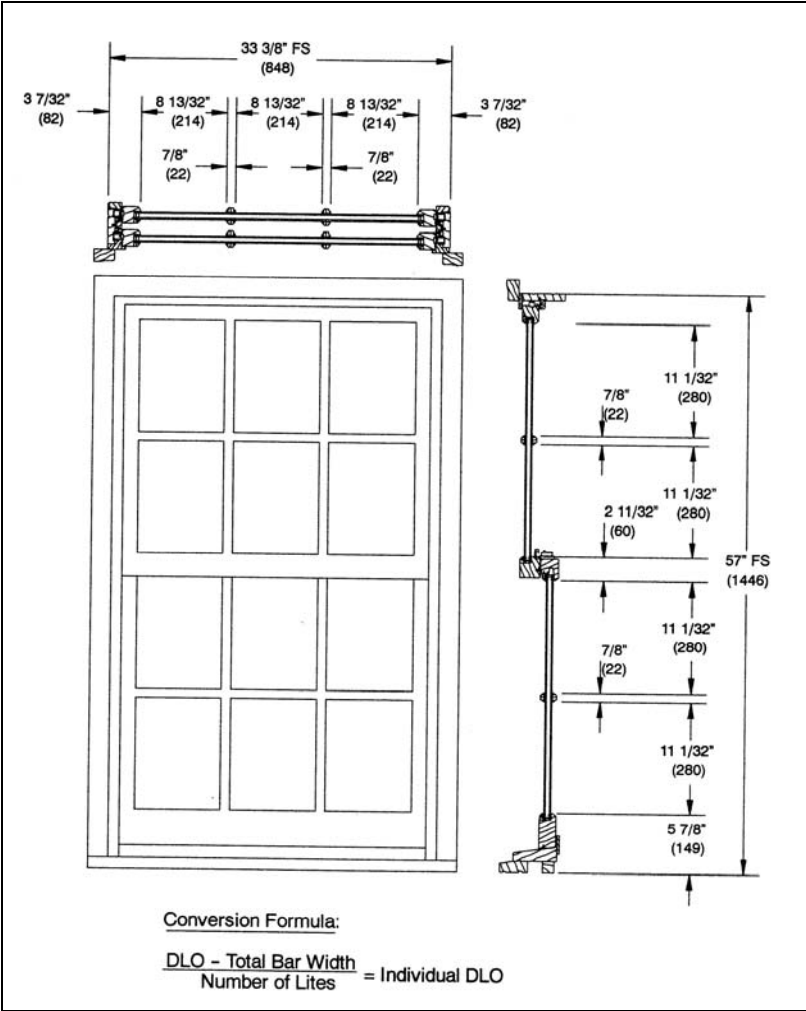


Figure 3. Proposed window specifications for Marvin Ultimate double-hung, simulated divided light, all wood windows.

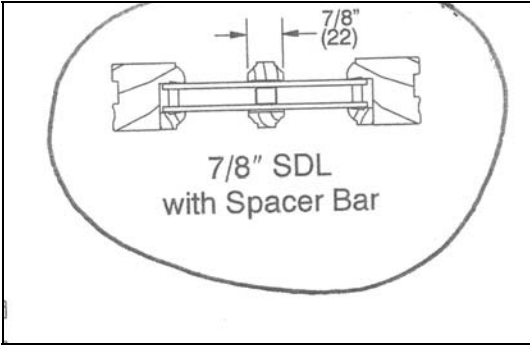


Figure 4. Detail of simulated divided light: 7/8" applied muntin with interior spacer bar.

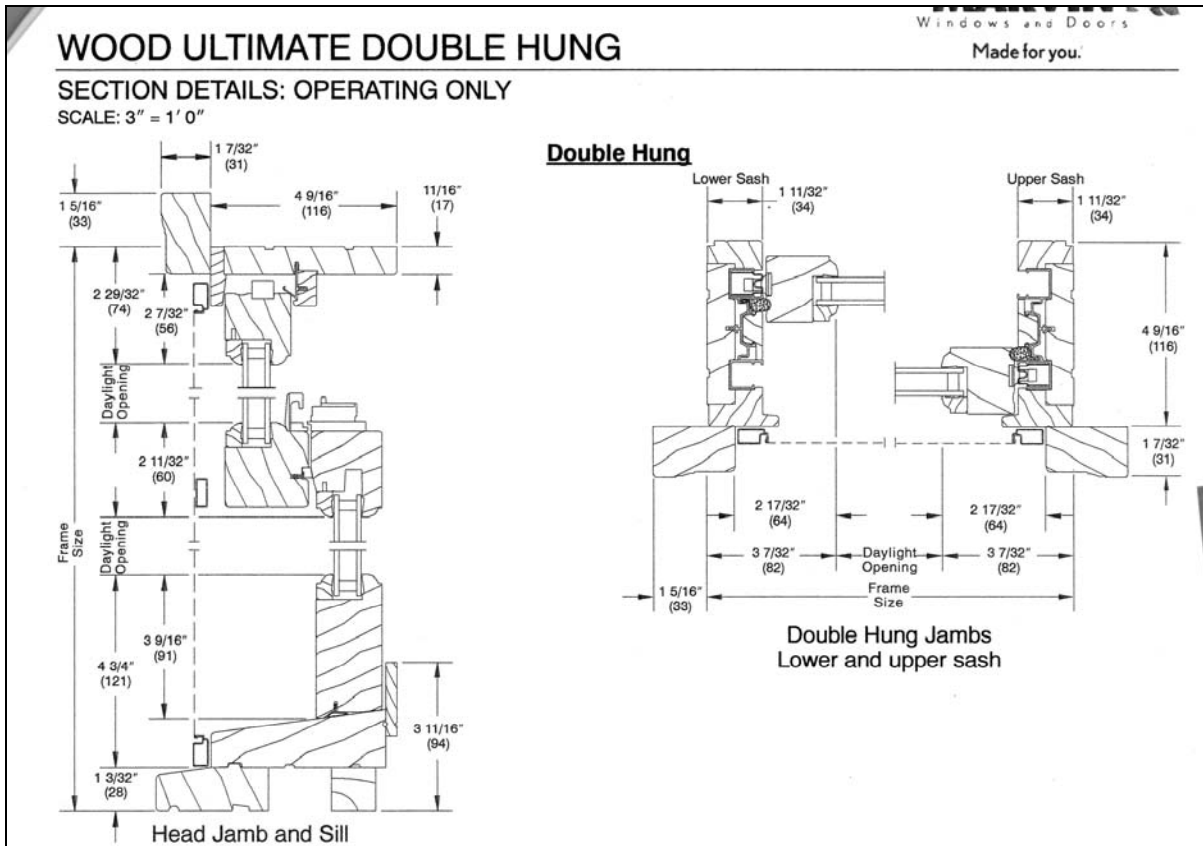


Figure 5. Section of double-hung operation for proposed windows.