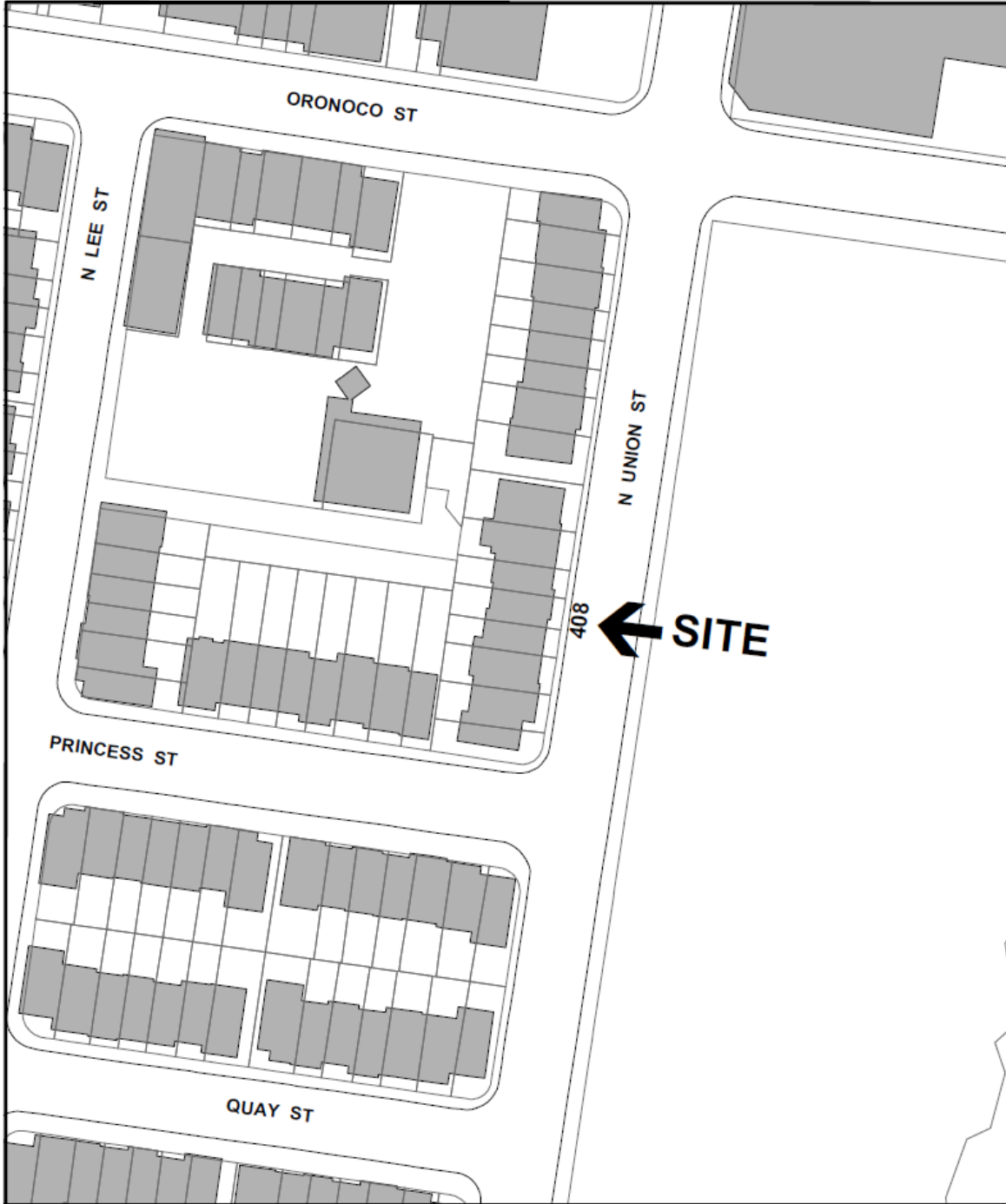


Docket Item # 3
BAR CASE # 2008-0168

BAR Meeting
January 7, 2009

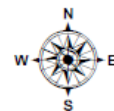
ISSUE: Alterations
APPLICANT: Elizabeth Reno and Roy Wuchitech
LOCATION: 408 North Union Street
ZONE: RM/Residential

STAFF RECOMMENDATION: Staff recommends deferral of the application for restudy.



BAR CASE #2008-0168, 0245

1/7/2009



Note: Docket item # 2 must be approved before this item may be considered.

Update: At the October 15, 2008 BAR hearing, the Board expressed concerns with the appropriateness, style and the mass of the proposed Palladian-style windows and deferred the application for restudy. The applicant has submitted revised drawings which illustrate a redesign for the Palladian windows. In addition, the submitted materials include revisions to comply with Staff concerns from the original submission.

I. ISSUE:

The applicant is requesting approval of a Certificate of Appropriateness for alterations at 408 North Union Street. The proposed alterations include the installation of two Palladian-style dormers; one to be located at the rear of the house, set into the west roofline, and the second to be located on the front façade set into the east roofline. Approximately 60' square feet of roof structure on each slope will be demolished in order to construct the windows. The application also includes the construction of a roof deck with perimeter guardrail and a replacement of the existing roll-up garage door.

Dormers

The applicant is proposing the installation of two Palladian-style dormers; one to be located at the rear of the house, set into the west roofline, and the second to be located on the front façade set into the east roofline. The dormers will be identical in both style and size, consisting of two, eight pane casement windows flanked by two eight pane casement windows with a fanlight above the center two casement windows. The total width of the proposed dormer is 11' 4" and the total height is 7'-5". It is proposed to have a standing seam metal roof and with sides covered in Hardiplank siding with a 6" reveal. The applicant has proposed Pella "Integral Light Technology" wood casement windows with simulated divided lights.

Roof Deck

The applicant is proposing the construction of a roof deck to be installed on the existing flat section of roof. The only portion of the proposed deck that will be visible from the public right-of-way is the wood balustrade that will serve as the guardrail for the deck. The guardrail will measure 36" high and be constructed of a milled wood handrail, 4" wood posts and 2" pickets, all of which will be painted white to match existing wood trim on the house. The floor of the roof deck will measure 8" in height, making the total height above the roofline 42". The roof deck will be accessed by a low profile roof hatch that will not be visible from the public right-of-way.

Garage Door

The applicant is proposing replacing the existing aluminum garage door with a Wayne Dalton 7000 Heritage A wood, roll up garage door. The door will consist of four rows of four panels.

II. HISTORY:

The three-and-one-half-story brick veneer townhouse at 430 North Union Street was constructed in 1974.

Staff did not locate any previous BAR cases for this property.

III. ANALYSIS:

The proposed alterations comply with zoning ordinance requirements.

During the past several years, the Board has reviewed a number of substantial alterations and additions to the properties within this development. The Palladian-style window proposed in this application is similar to windows approved by the Board at both 424 North Union (BAR 2003-0105) and 430 North Union (BAR 2007-0012). Additionally, the Board approved a nearly identical roof deck at 424 North Union Street (BAR 2003-0105).

Dormers

According to the *Design Guidelines*, when installing a new dormer “The style of the dormer should be appropriate to the architectural style of the existing structure.” In Staff’s opinion, because the houses in this development along North Union are not historic and some have experienced alterations, including new Palladian-style windows of differing styles, Staff does not conceptually have an objection to alterations to this property, which may include a new dormer or roof top deck. However, with the current proposal, the size of the new dormer is almost identical to the one submitted for the October 15th hearing. As originally submitted for the October hearing, the drawing showed the total width of the dormers as 10’4,” however upon clarification by the applicant for the current submittal, the measurement on the drawing provided did not include exterior trim on the outside of the windows, therefore the proposed dormers submitted on September 12, 2008 was in fact approximately 11’8” in total width. Based on this corrected information, the width of the proposed dormer submitted to Staff on December 10, 2008 is 4” narrower than the original submission. In terms of the height, upon clarification by the applicant the original dimension of 6’ on the drawing did not include any trim work and therefore the total height of the dormers, including trim, measured 7’5” rather than 6’. The revised submission for the December 17th hearing maintains the 7’5” height measurement. From the corrected information provided by the applicant, the current dormer has been reduced in width by 4” but has not been reduced in height from the October submittal.

The Design Guidelines generally discourage the use of simulated divided light windows on front facades, however in this situation, due to the desire for the new window to have the same muntin profile as the remaining windows on the façade, Staff believes the use of simulated divided lights would be appropriate. Furthermore, as a result of the fact that the siding on the dormer will be minimally visible and, due to its location, difficult to maintain, staff finds that the use of Hardiplank would not be an inappropriate building material for this alteration.

Roof Deck

Although most of the roofs of the townhouse complex appear to be gable designs from the street, they are actually flat for a large portion of the central area of the roof. Many homeowners have adapted the large attic areas below for living space and desire to use the flat roof areas for observation of the Potomac River.

These townhouses are *not* historic buildings, but *are* compatible with the overall character of the historic district. The approved additions, alterations and roof decks have generally had limited visibility from the public right-of-way, and overall have maintained the level of detail and materials appropriate to these buildings. In response to concerns expressed by the Board at the October 15,

2008 hearing, the applicant is now proposing that the roof deck be situated 12” back from the front roofline to further minimize its visibility from both the street and the water.

Garage Door

Staff finds that replacing the existing flush paneled aluminum garage door with a wooden paneled door to be an improvement to the property.

As stated above, Staff is concerned that the current proposal for the new dormers does not adequately address the concerns of the Board from the October hearing in respect to the appropriateness, style and the mass of the proposed Palladian-style windows. While the design of the dormer has been altered from the prior rounded form, the size and scale of the dormer has not been sufficiently revised to address the concerns expressed by the Board. Therefore, Staff recommends deferral of the application for restudy.

IV. STAFF RECOMMENDATION: Staff recommends deferral of the application for restudy.

V. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Code Administration:

- C-1 Additions and Alterations to the existing structure must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-2 Additions and Alterations to the existing structure and/or installation and/or altering of equipment therein requires a building permit. Five sets of plans, bearing the signature and seal of a design professional registered in the Commonwealth of Virginia, must accompany the written application. The plans must include all dimensions, construction alterations details, kitchen equipment, electrical, plumbing, and mechanical layouts and schematics.
- C-3 Construction permits are required for this project. Plans shall accompany the permit application that fully details the construction as well as layouts and schematics of the mechanical, electrical, and plumbing systems.
- C-4 Permission from adjacent property owners is required if access to the adjacent properties is required to complete the proposed construction. Otherwise, a plan shall be submitted to demonstrate the construction techniques utilized to keep construction solely on the referenced property.
- C-5 A wall location plat prepared by a land surveyor is required to be submitted to this office prior to requesting any framing inspection.
- C-6 Sheeting and shoring shall not extend beyond the property line; except when the developer has obtained a written release from adjacent property owners which has been recorded in the land records; or through an approved encroachment process.
- C-7 Guardrail height and openings must comply with USBC 1012.2 and 1012.3.
- C-8 Guardrail structural design and construction must comply with USBC.
- C-9 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to Code Enforcement that will outline the steps that will be taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.
- C-10 A demolition permit is required for the proposed project (USBC 108.1).
- C-11 Roof drainage systems must be installed so as neither to impact upon, nor cause erosion/damage to adjacent property.

C-12 Roof drainage must not run toward adjacent property. If the footprint area of the addition: (1) exceeds the footprint area of the existing structure, or (2) the roof drainage of the existing structure is hard piped, or (3) the roof drainage from the addition will cause erosion or damage to an adjacent property, then run-off water must be hard piped (schedule 40 PVC pipe; ≥ 3 " in diameter) to the storm, sewer, inlet box, building sub drain, street flume or curb.

Historic Alexandria:
No comments received.

VI. IMAGES:



Figure 1: Existing Union Street Elevation



Figure 2: Proposed Union Street Elevation

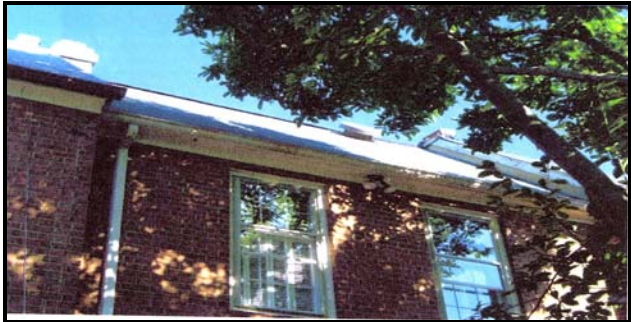


Figure 3: Existing Rear Elevation



Figure 4: Proposed Rear Elevation

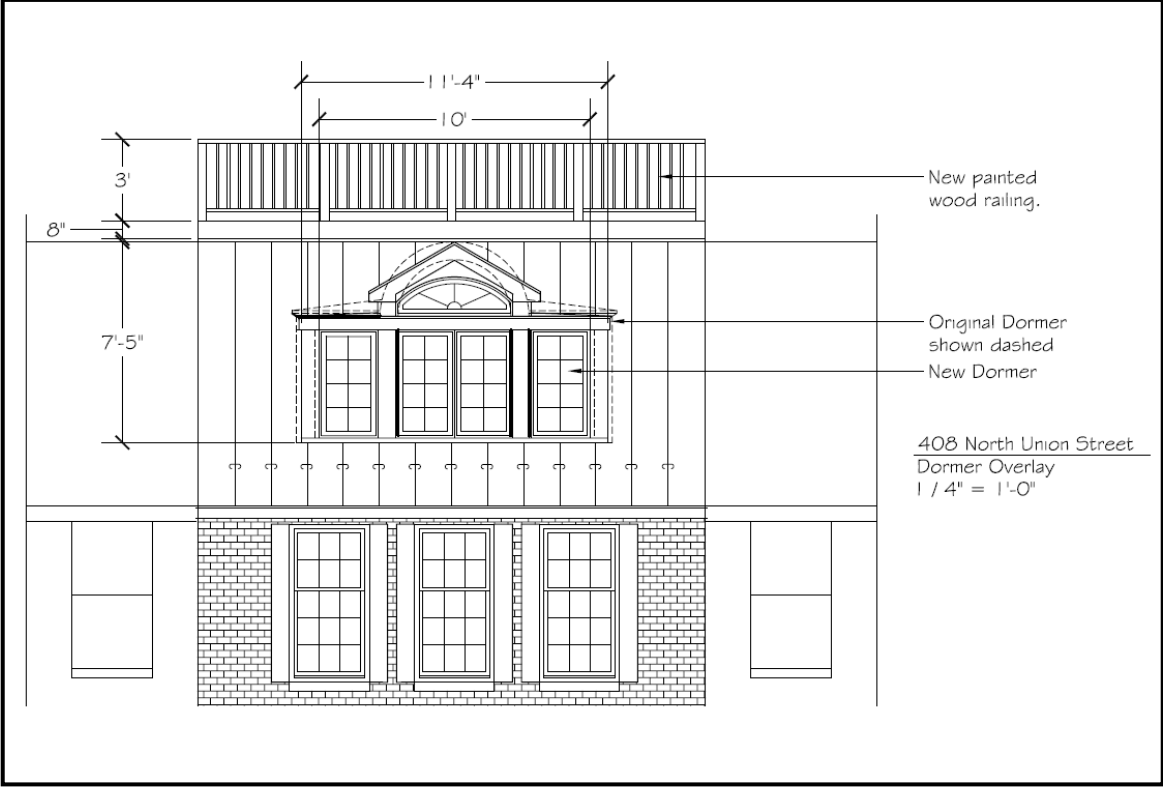


Figure 5: Overlay comparing submission for 10/15/2008 BAR hearing with submission for 12/17/2008 BAR hearing.

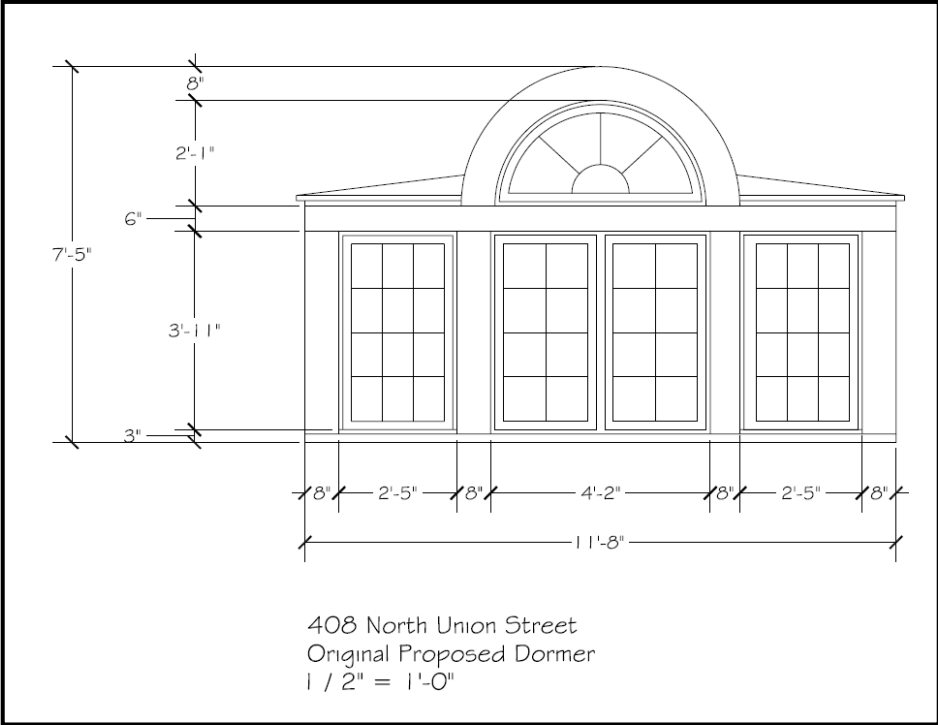


Figure 6: Revised drawing of original submission for October 15, 2008 received by BAR Staff on 12/15/2008.

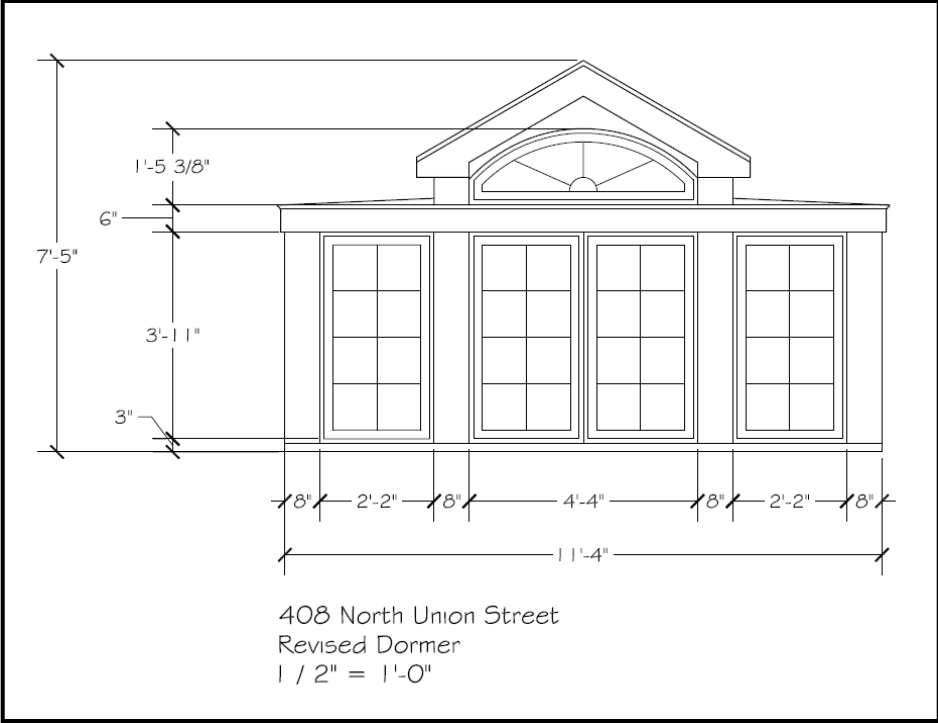


Figure 7: Revised drawing of submission for December 17, 2008 received by BAR Staff on 12/15/2008.