

Docket Item # 6  
BAR CASE # 2008-0240

BAR Meeting  
January 7, 2009

**ISSUE:** Alterations / Signage  
**APPLICANT:** Rue Roi, LLC (Victoria Vergason, Agent)  
**LOCATION:** 1015 King Street  
**ZONE:** KR / King Street Urban Retail Zone

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**STAFF RECOMMENDATION:** Staff recommends approval of the application with the following conditions:

1. That the wood deck's balustrade be an inset picket. The details will be developed for the permit set of drawings to be stamped by Staff;
2. That the wood deck and balustrade will be painted to match the rear exterior trim;
3. That the thresholds of the new doors need to be specified on the permit set of drawings as painted concrete or stone;
4. That the 2/2 window to be removed will be stored on site; and
5. That the new design of the offset, wood board-on-board fence to be installed along the rear, north and west property lines will be developed for the permit set of drawings to be stamped by Staff.



**I. ISSUE:**

The Applicant is requesting approval of a Certificate of Appropriateness for the installation of a deck and fence at the rear of the property, signage on the front facade and other related alterations at 1015 King Street.

The Applicant proposes the following:

**Rear Deck**

- Construct a wood, pressure-treated deck onto the second floor of the north elevation of the building's rear, shed roof extension. The wood deck will be affixed to the façade of the building utilizing a ledger board fastened to the building with anchor bolts. Joist hangers will be mounted onto the ledger board to support the joists creating the structure for the finishing materials - wood decking material, balustrades and band boards.
- The proposed balustrade design is a "notched" picket (the pickets are applied onto the exterior of the horizontal frame - see photo example page 12)

**Rear Fence**

- Install a capped, wood, six-foot (6') high board-on-board fence along the north and western property lines. The fence will be constructed of either pressure treated or Cedar wood and stained slate gray (Cabot's Stain # 45.)
- Install two gates along the rear, north property line to allow pedestrian and vehicular access to the building, when needed.

**Rear Extension Alterations**

*North Elevation*

- Install a new (32" x 80") wood entry door with steel security gate on the second floor of the rear, shed roof extension. The proposed door is a Simpson, flat panel, four-light, simulated divided light, wood "Paint Grade" door. This new wood door will be capped with a brick segmental arch to mimic the design of the arches above the other fenestrations on this extension. This door is being installed on the rear elevation of the extension to provide needed egress from the second floor of the building.
- Install two, new air conditioning compressors underneath the new wood deck. The compressors will be set upon concrete pads for support.

*West Elevation*

- Remove the existing non-historic canopy above the first floor, entry door.
- Enclose the existing, first floor entry door with brick. The existing brick segmental arch will be retained.
- Remove the existing 2/2 window on the first floor and extend the existing sill for the installation of a new, (32" x 80") wood entry door with a steel security gate.
- Install a 15" high carriage-style lantern fabricated of brushed nickel flanking the right of the new, first-floor entry door. The lantern will be controlled with a motion detector.

**Front Elevation - Signage**

- Install a new hanging sign onto the existing metal scroll bracket located between the sills of the second-story windows. The sign will denote the name of the new retail store “The Hour: Cocktail Collection.” This double-sided, oval sign is proposed to be fabricated from either wood or high density foam with a painted surface, measuring 24” in height by 36” wide. It will have a black background with white lettering and a white, border.
- A 12” x 33” window graphic installed in the right, storefront window. The window graphic is fabricated of white, stenciled vinyl.
- Total sq.ft. of signage allowed: 14 sq ft.  
Total sq. ft. of signage proposed: 8.75 sq. ft

**II. HISTORY:**

This Victorian era building located at 1015 King Street is a two-story brick Italianate style commercial building. The character-defining Italianate details include the tall, narrow 2/2 windows capped with window hoods fashioning shell motifs, the oversized, and highly detailed bracketed cornice, and the denticulated header which frames the first floor storefront. The first floor storefront dates from 1919 and is one of the finest examples of an early 20<sup>th</sup> century storefront along King Street with its metal window frames, structural glass, recessed entryway and green marble panels.

*Previous Approvals:*

In 1992, the Board approved a hanging sign, “Fine Old Posters/Framing” for 1015 King Street (BAR Case #92-100, 5/20/92).

On March 17, 2004, the Board approved a new hanging sign for the subject property on their consent calendar. The approved sign was manufactured from MDO denoting the shop’s product “Fine Old Posters”, measuring 32" by 24", detailed with burgundy lettering and a decorative border on a beige background and hung from the existing scroll bracket between the two second story windows.

**III. ANALYSIS:**

The proposed rear open deck, windows, fences, gates, and door alterations comply with Zoning Ordinance requirements.

It is not the goal of the Board to place any historic district or building into a time capsule whereby prohibiting changes or alterations to its historic buildings. The Board’s mission is to ensure compatible alterations and additions are on secondary facades, utilize compatible building materials and encourage sympathetic growth and new construction within the boundaries of the historic district. When making changes to historic fabric these proposed alterations should be

compatible with the existing structure's size, scale and massing, while providing a level of differentiation. This differentiation is the key to understanding the evolution of a historic building.

### **Rear Deck**

A rear deck affixed to the rear façade of the shed roof extension will provide egress from the second floor of this retail use. The deck will only be visible from the public alley and will not be visible from any of the public roadways. However, the design of the deck's balustrade is a concern, as it is being detailed as a "notched" picket, instead of an "inset" picket balustrade. The notched picket is a detail that is more common in a contemporary subdivision home, and not appropriate for a late 19<sup>th</sup> century building. It is recommended that the Applicant revise the balustrade design to a simple square, inset picket design (see page 12 for an example). Additionally, the *Design Guidelines* require that decks are painted or stained. As such, it is recommended that the Board support a condition of approval whereby this deck is painted to match the trim color utilized on the building's rear façade.

### **Rear Fence**

It has been the policy of the Board to support fencing that is not completely solid in design. It is recommended that the Applicant modify the fence design from the proposed solid Board-on-Board fence to an offset Board-on-Board fence (see page 13 for an example).

### **Rear Alterations**

The Applicant's proposal requests alterations on secondary facades of the building's rear extension.

#### *North Elevation*

The second floor door is being installed on the rear elevation where currently there is no penetration into the wall surface. The design proposes installing a modern, flat panel, four-light, simulated divided light, wood door capped with a new, brick segmental arch to match the existing fenestrations. The application does not specify the material for the door's threshold. As such, it is recommended that this threshold be a painted stone or concrete, as the historic thresholds currently on the extension are wood, and a stone or concrete threshold would provide the needed differentiation detail for this door.

#### *West Elevation*

The proposed removal of the 2/2 window and extension of the window sill for the installation of a new door, is a sympathetic way to convert a window into a door. The existing segmental arch and the majority of the window opening are being retained. A small section of the brick below the current sill is required to be removed for this door installation. The remaining window opening and its segmental arch will remain intact. To retain the possibility to revert this door back to a window, it is recommended that the window be removed with its framing intact and stored on-site. It is also recommended that this new door's threshold be fabricated of stone or concrete.

The existing door on this elevation proposes to be enclosed with brick. However, the original brick segmental arch will be retained and a ghosting of this opening will be visible.

These proposed alterations are sympathetic to the size, scale and massing of this historic resource. The recommended and proposed differentiation enables the understanding of this historic building's evolution. Although the changes will alter some of the features on the rear elevation of the building's extension, the majority of its original historic fabric remains. Additionally, there are no proposed alterations to the main massing of the building. Furthermore, all of these changes will be completely located on the rear extension maintaining the integrity of the main massing and the King Street Urban streetscape. It is for these reasons this proposal meets the criteria outlined in the *Design Guidelines*.

**IV. STAFF RECOMMENDATION:** Staff recommends approval of the application with the following conditions:

1. That the wood deck's balustrade be an inset picket. The details will be developed for the permit set of drawings to be stamped by Staff;
2. That the wood deck and balustrade will be painted to match the rear exterior trim;
3. That the thresholds of the new doors need to be specified on the permit set of drawings as painted concrete or stone;
4. That the 2/2 window to be removed will be stored on site; and
5. That the new design of the offset, wood board-on-board fence to be installed along the rear, north and west property lines will be developed for the permit set of drawings to be stamped by Staff.

**V. CITY DEPARTMENT COMMENTS**

Legend: C - code requirement R - recommendation S - suggestion F- finding

Code Administration:

- C-1 All exterior walls within 5 feet from an interior property line shall have a fire resistance rating of 1 hour, from both sides of the wall. As alternative, a 2 hour fire wall may be provided. This condition is also applicable to skylights within setback distance. Openings in exterior walls between 3 and 5 feet shall not exceed 25% of the area of the entire wall surface (This shall include bay windows). Openings shall not be permitted in exterior walls within 3 feet of an interior lot line.
- C-2 Roof drainage systems must be installed so as neither to impact upon, nor cause erosion/damage to adjacent property.
- C-3 Alterations to the existing structure must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-4 Alterations to the existing structure and/or installation and/or altering of equipment therein requires a building permit. Five sets of plans, bearing the signature and seal of a design professional registered in the Commonwealth of Virginia, must accompany the written application. The plans must include all dimensions, construction alterations details, kitchen equipment, electrical, plumbing, and mechanical layouts and schematics.
- C-5 Construction permits are required for this project. Plans shall accompany the permit application that fully details the construction as well as layouts and schematics of the mechanical, electrical, and plumbing systems.
- C-6 Permission from adjacent property owners is required if access to the adjacent properties is required to complete the proposed construction. Otherwise, a plan shall be submitted to demonstrate the construction techniques utilized to keep construction solely on the referenced property.
- C-7 A wall location plat prepared by a land surveyor is required to be submitted to this office prior to requesting any framing inspection.

Historic Alexandria:

No comments received.

**VI. IMAGES**



**Figure 1: Front (South) Elevation**





**Figure 2: Rear (North) Elevation**



Figure 3: Detail Rear (North) Elevation



**Figure 4: Detail Rear (West) Elevation**



**Figure 5: Detail Rear (West) Elevation**



**Figure 6: Detail Rear (West) Elevation**



Figure 7: "Notched" Picket Balustrade

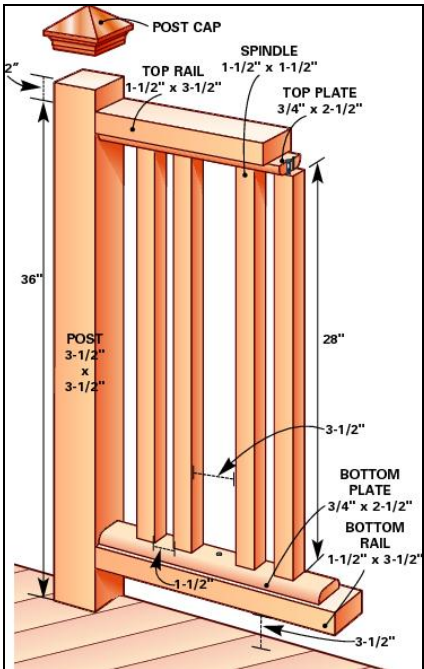


Figure 8: "Inset" Picket Balustrade



**Figure 9: Proposed “Closed” Board-on-Board Fence**



**Figure10: Suggested “Offset” Board-on-Board Fence**

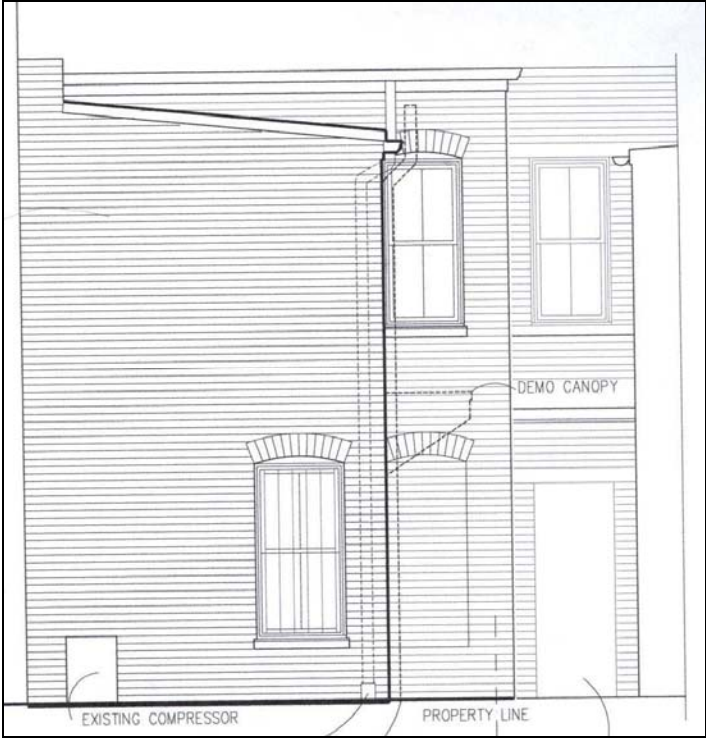


Figure 11: Existing North Elevation

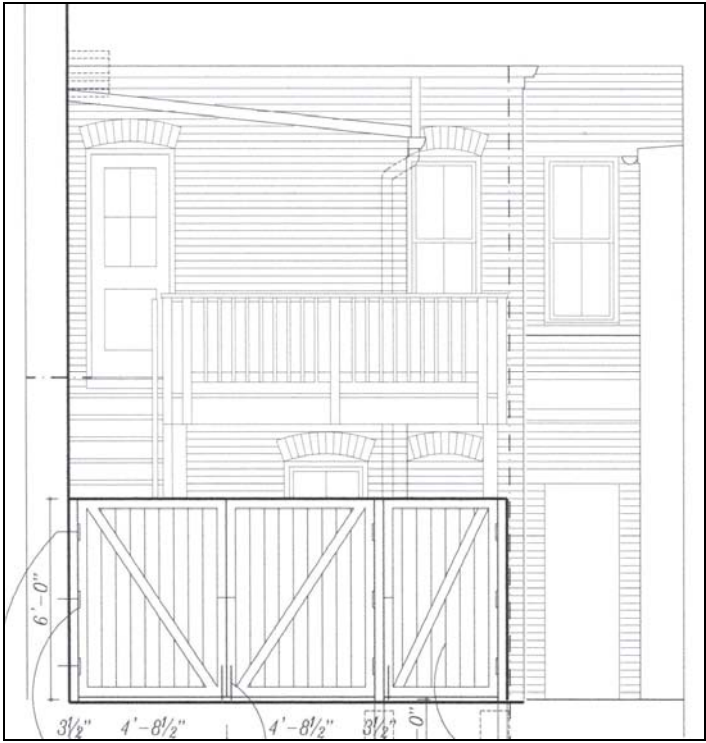


Figure 12: Proposed North Elevation



Figure 13: Existing West Elevation

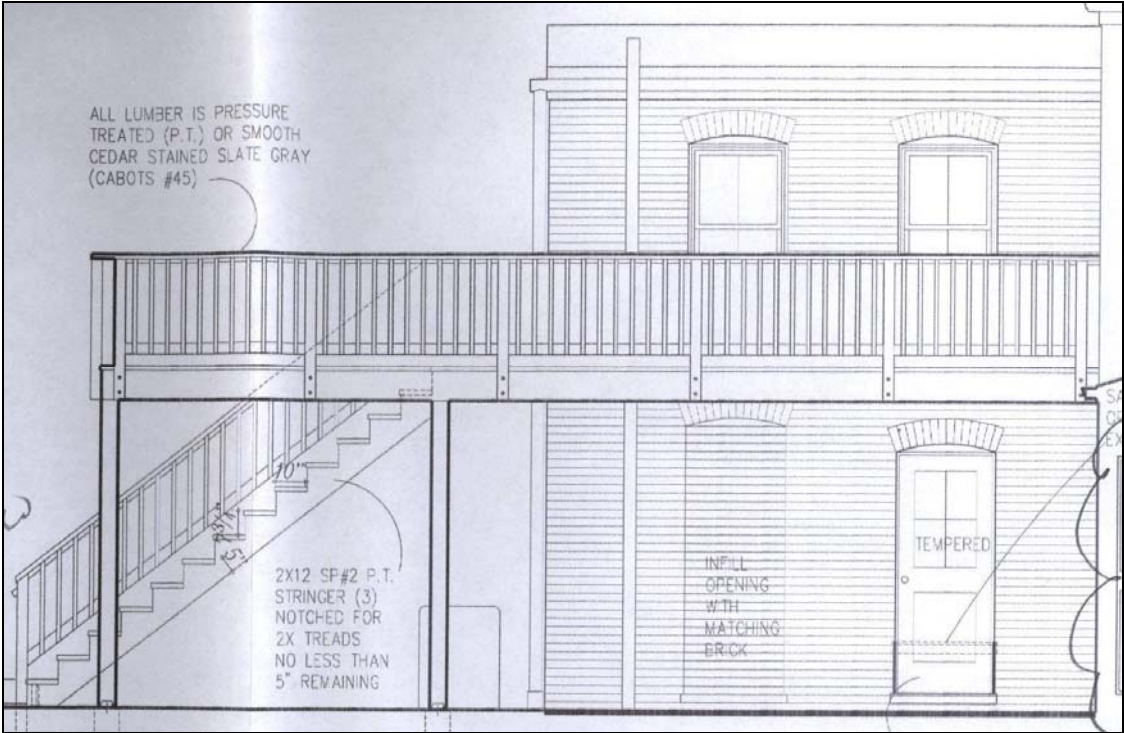


Figure 14: Proposed West Elevation



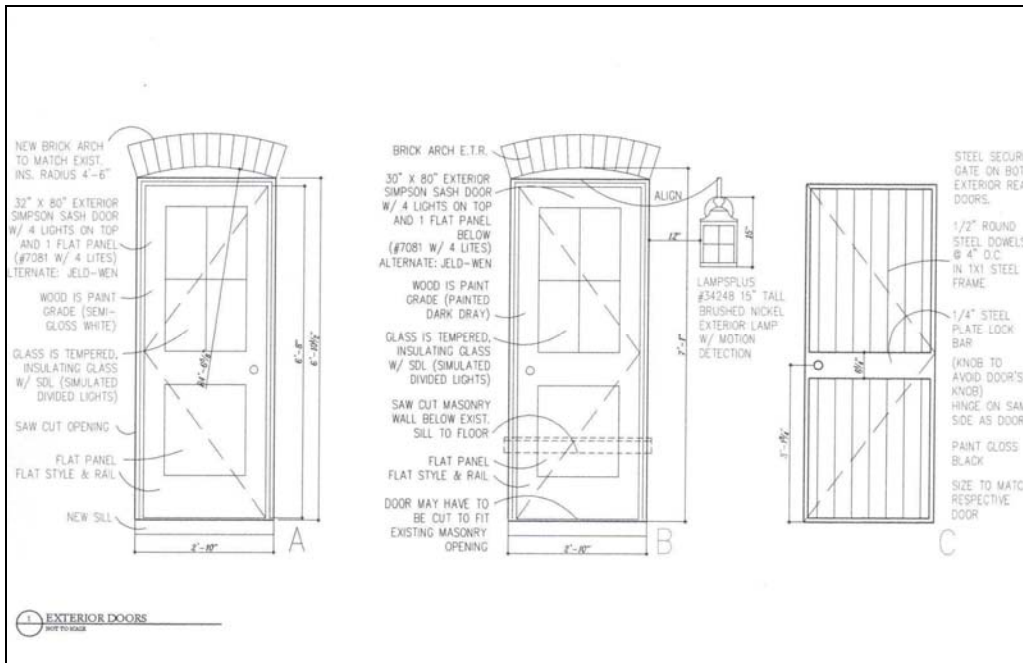


Figure 15: Proposed Exterior Doors (including security doors)



Figure 16: Proposed Light Fixture

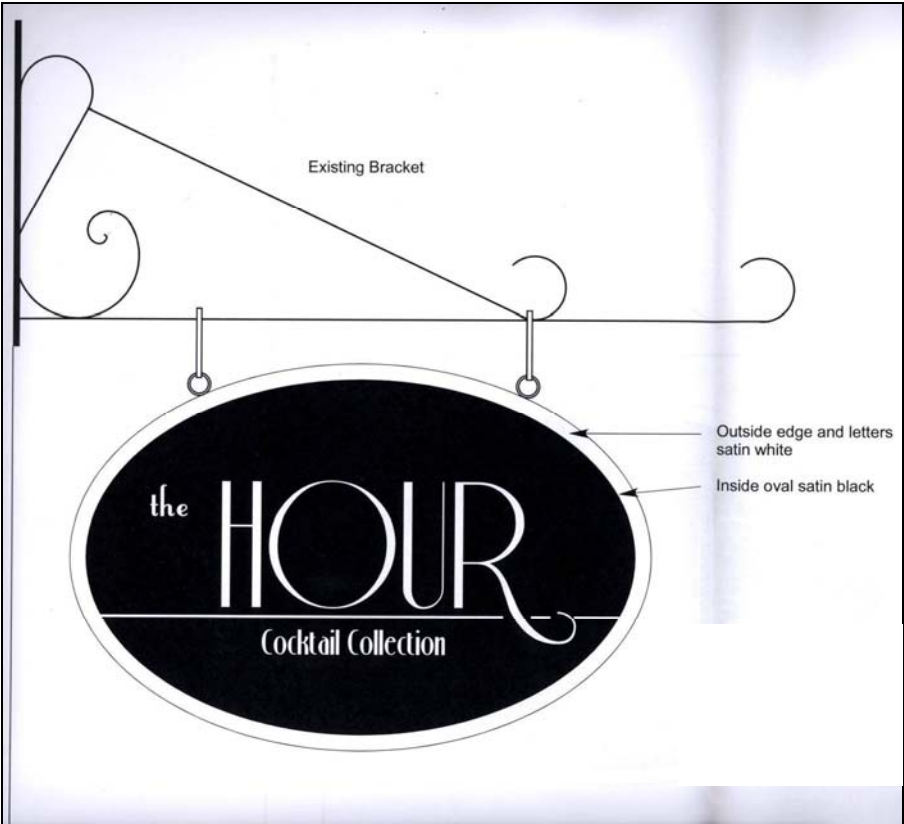


Figure 17: Proposed Hanging Sign

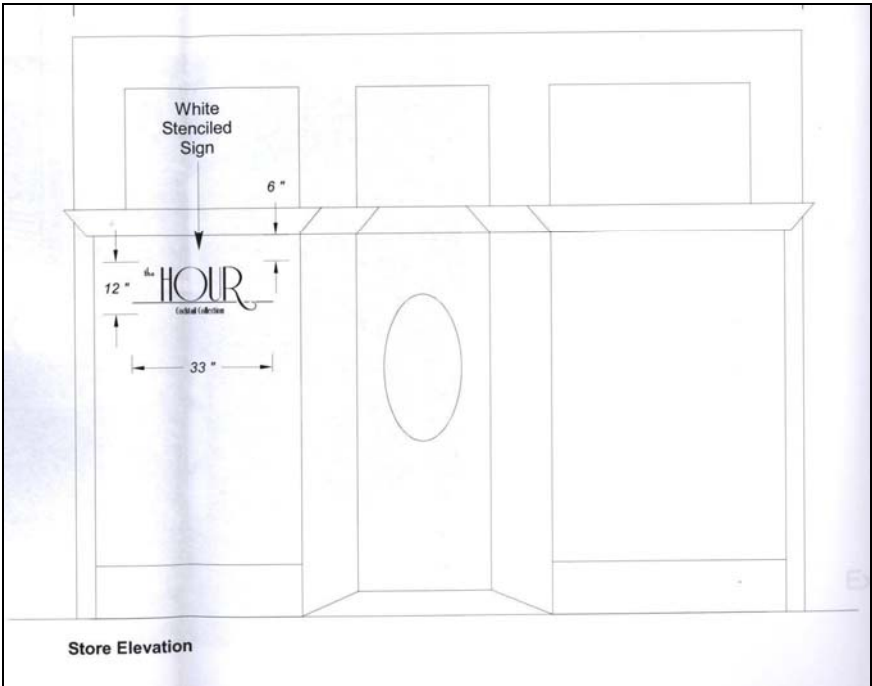


Figure 18: Proposed Vinyl Window Sign