

Docket Item # 7
BAR CASE # 2008-0241

BAR Meeting
January 7, 2009

ISSUE: After-the-Fact Alterations

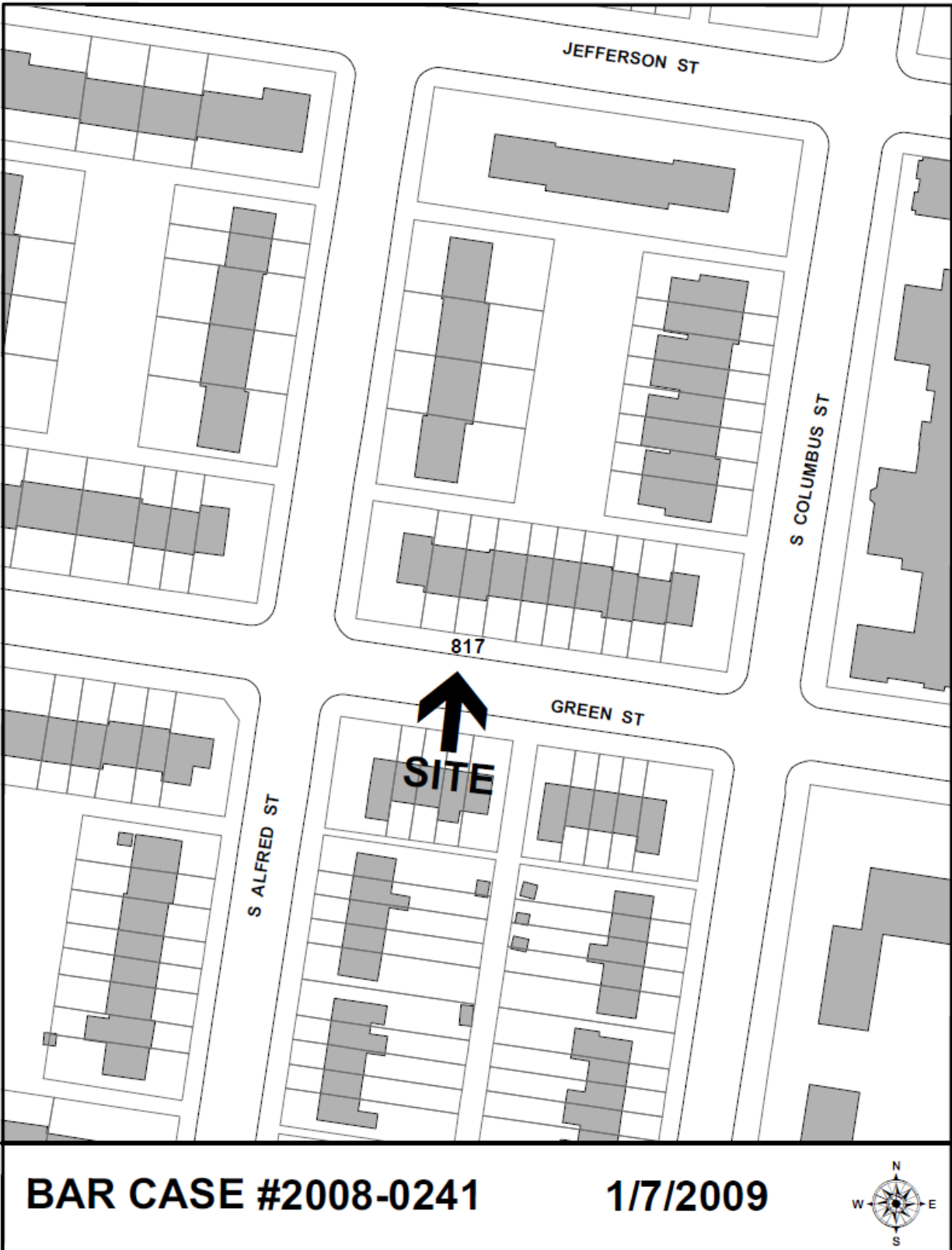
APPLICANT: Kenneth M. Robinson

LOCATION: 817 Green Street

ZONE: RM Residential

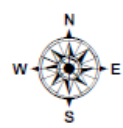
STAFF RECOMMENDATION: Staff recommends approval of the after-the-fact application with the following conditions:

1. That the applicant replace the stripped acrylic fabric with a black canvas fabric as approved by Staff prior to installation.
2. That the awning not project into the required rear yard more than five feet according to Zoning Ordinance requirements.



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I. ISSUE:

The applicant is requesting after-the-fact approval of a Certificate of Appropriateness for the installation of an awning to the rear of the house located at 817 Green Street. The proposed awning is a motorized retractable awning manufactured by SunSetter Awnings and is constructed of laminated acrylic awning fabric in a coffee stripe pattern. The awning is 18 feet wide and spans the entire length of the South wall of the house. The applicant has installed the awning above the ground level and as he has expressed to Staff that he “only opens it when it is raining,” the remainder of the time the awning can be retracted nearly flush against the house. When the awning is fully extended it projects 12 feet from the rear wall of the house.

II. HISTORY:

817 Green Street is a two story brick row house originally constructed around 1940, according to tax records as part of a ten home unit which extends the entire block of Green Street between South Columbus and South Alfred.

Staff did not locate any previous BAR cases for this property.

III. ANALYSIS:

According to the Design Guidelines, awnings should be appropriate and sympathetic to the historical style of the building to which they are attached. While Staff understands the desire of the applicant to install a rear awning to his property for the purpose of extending the functionality of his rear yard, Staff has concerns over the material of the fabric. Therefore, Staff recommends approval of the after-the-fact application with the condition that the applicant replace the stripped acrylic fabric with a black canvas fabric as approved by Staff prior to installation.

IV. STAFF RECOMMENDATION: Staff recommends approval of the after-the-fact application with the following conditions:

1. That the applicant replace the stripped acrylic fabric with a black canvas fabric as approved by Staff prior to installation.
2. That the awning not project into the required rear yard more than five feet according to Zoning Ordinance requirements.

V. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Code Administration:

- C-1 Roof drainage systems must be installed so as neither to impact upon, nor cause erosion/damage to adjacent property.
- C-2 Alterations to the existing structure must comply with the current edition of the Uniform Statewide Building Code (USBC).
- C-3 Alterations to the existing structure and/or installation and/or altering of equipment therein requires a building permit. Five sets of plans, bearing the signature and seal of a design professional registered in the Commonwealth of Virginia, must accompany the written application. The plans must include all dimensions, construction alterations details, kitchen equipment, electrical, plumbing, and mechanical layouts and schematics.
- C-4 Construction permits are required for this project. Plans shall accompany the permit application that fully details the construction as well as layouts and schematics of the mechanical, electrical, and plumbing systems.
- C-5 Awnings must comply with all applicable requirements of USBC 3105.3 and 3202.3.1 Retractable and fixed awnings must have a minimum 7 foot clearance from a sidewalk to the lowest part of the framework or any fixed portion of any retractable awning is required. Retractable awnings must be securely fastened to the building and can not extend closer than 24 inches in from the curb line (USBC 3202.3.1).
- C-6 Fixed awnings must be designed and constructed to withstand wind or other lateral loads and live loads required by the USBC. Structural members must be protected to prevent deterioration (USBC 3105.3).

Historic Alexandria:

No comments received.

VI. IMAGES:



Figure 1 Existing Awning



Figure 2 Awning Detail from Manufacturer