

Docket Item # 12
BAR CASE # 2009-0036

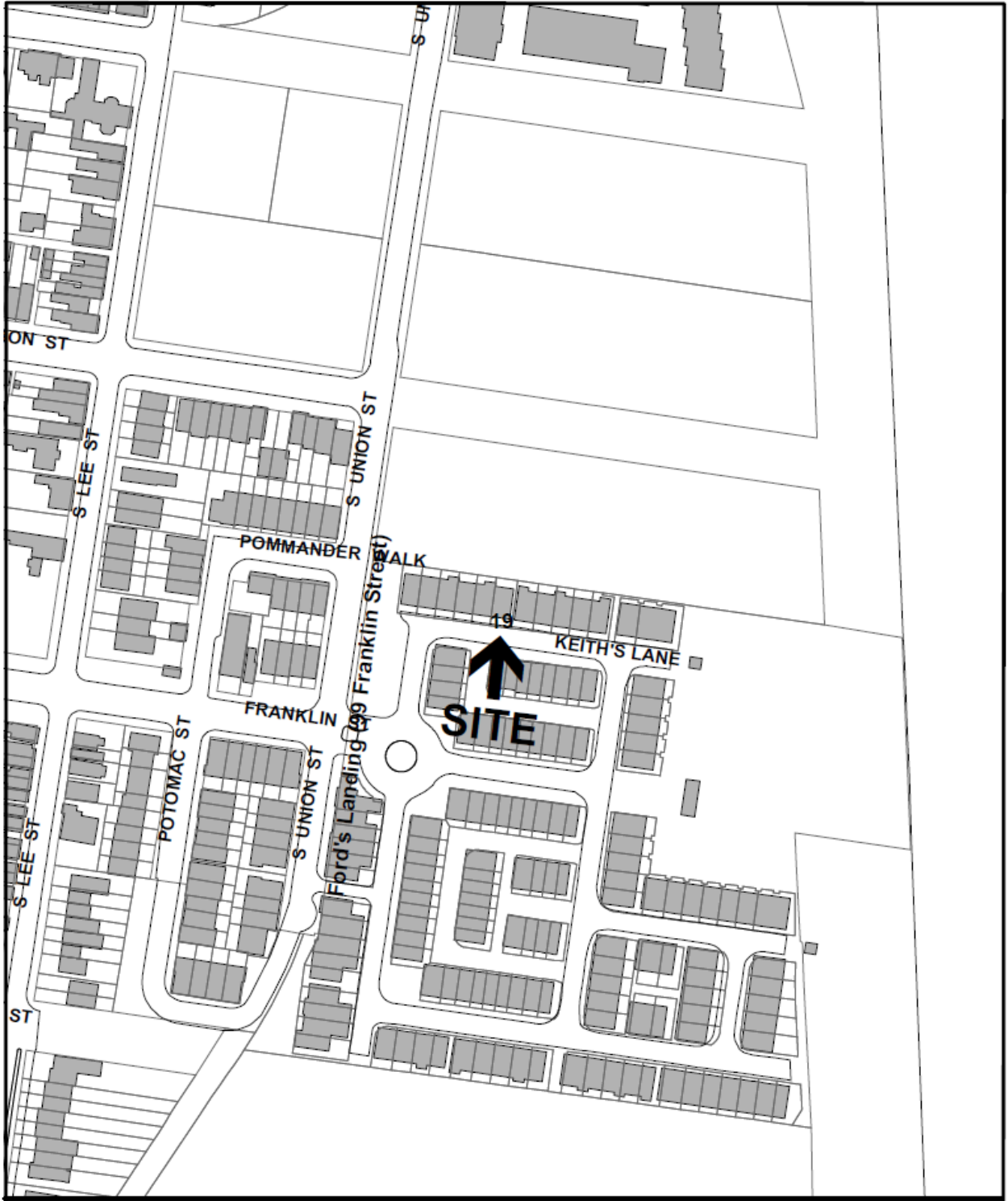
BAR Meeting
April 1, 2009

ISSUE: Alterations
APPLICANT: Kurt Spear for Cathy MacFarlane
LOCATION: 19 Keith's Lane
ZONE: W-1/Residential

STAFF RECOMMENDATION: Staff recommends approval of the application with the condition that the applicant provide a sample of the brick that is proposed to infill the existing HVAC unit openings, so that Staff can review and approve the brick prior to the applicant filing a building permit.

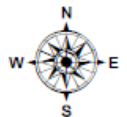
****EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

****BUILDING PERMIT NOTE:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.



BAR CASE #2009-0036

4/1/2009



I. ISSUE:

The applicant is requesting approval of a Certificate of Appropriateness for alterations at 19 Keith's Lane, within the Ford's Landing development, consisting of the following:

- a. Remove existing through-the-wall HVAC units on north/rear elevation, brick in-void with matching brick.
- b. Extend the existing ground-level rear deck with same materials. The deck will be expanded both towards the east in the direction of the existing side fence, and towards the north, in the direction of the park adjacent to the development. The expanded deck will be 7 feet by 7 feet. The height of the deck will not change, and the existing stairs will be reused.
- c. Install two new ground mounted HVAC units on the expanded deck. The new units are manufactured by Carrier, Infinity 17 Series model. The units measure 36 inches by 40 inches, and need 6 inches on one side, with 24 inches between the units, and 12 inches on all sides. The service side requires 30 inches of clearance.
- d. Replace and extend the handrail, with new wood railing, matching existing, but with wider vertical slats to provide required screening of new HVAC units. The new railing will be painted to match the existing railing and adjacent privacy fence.

The rear of 19 Keith's Lane is viewable from the park adjacent to the river and from South Union Street.

The applicant has received support from the Ford's Landing Home Owners' Association for this application. A letter of support is included in the report.

II. HISTORY:

19 Keith's Lane is located within the Ford's Landing Development. The Ford's Landing complex was approved by the Board in a series of meetings in 1996 (BAR Case #96-0030).

On September 5, 2007, the Board approved a matrix of materials that are appropriate for replacement on exterior features within Ford's Landing, to allow administrative review for items that were in conformance with the approved matrix. Since the matrix was adopted, 7 applications have been approved by Staff administratively.

III. ANALYSIS:

The proposed alterations comply with the Zoning Ordinance. The proposed HVAC units will be placed in an area less than 8' by 8' and will not reduce required open space. The subject property is located in the 100-year floodplain. As such, the floodplain ordinance requires that any new mechanical, electrical and HVAC equipment be elevated above the 100-year water-surface elevation. The proposed installation of new air conditioning units at the elevation on the existing deck, several feet above the ground, is in compliance with this requirement.

Since the summer of 2008, Staff has been working with the applicant and the Homeowners' Association to seek solutions for the replacement of the through-the-wall

HVAC systems currently found on all the units in Ford's Landing. Over the years, many owners have had to replace their units, as a result of how the HVAC units were installed. There are a variety of locations of the through-the-wall units, and no two residences appear to be exactly the same. In addition, some of the residential units in the development do not have any outdoor open space, with the exception of their upper level decks. Thus, the complexity of how to approach replacing and/or relocating the HVAC units will warrant additional strategies, and may have to be reviewed on a case by case scenario.

Fortunately, this applicant does have sufficient open space to allow for a ground mounted HVAC unit for replacement. Initially, in consultation with Staff, the applicant was proposing to mount the new units on the ground. However, due to the floodplain issues, the units must be elevated from the ground. In this case, the applicant proposes to accomplish this by expanding the deck to accommodate the necessary specifications of the units. According to the Design Guidelines, "decks should not hide, obscure or cause removal of historic architectural details...decks should be made of materials which are sympathetic to the building materials generally found in the historic districts...decks should generally be painted the predominant color of the building or the color of the trimwork." In Staff's opinion, the proposed deck expansion meets the guidelines. The new handrail will help in screening the units from public views. In addition, the existing bushes and trees within the back patio area will also provide additional screening for the new units. Staff also supports the bricking-in of the void where the current through-the-wall units are located, but recommends that the applicant provide a sample of the brick for review and approval by Staff prior to use.

As stated previously, the situation with the existing through-the-wall HVAC units found in Ford's Landing is complex and challenging. In respect to this application, the applicant has proposed what is in Staff's opinion the most viable option for replacement, with the least disruption to the architectural integrity of the residence, while also being the least visually obtrusive from public views.

IV. STAFF RECOMMENDATION: Staff recommends approval of the application with the condition that the applicant provide a sample of the brick that is proposed to infill the existing HVAC unit openings, so that Staff can review and approve the brick prior to the applicant filing a building permit.

V. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Code Administration:

C-1 A Building / Mechanical / Electrical permit is required for the proposed project.

C-2 Alterations to the existing structure must comply with the 2006 edition of the Uniform Statewide Building Code (USBC).

Historic Alexandria:

No comments received.

Transportation and Environmental Services:

F1- The subject property is located in the 100-year floodplain. As such, the floodplain ordinance requires that any new mechanical, electrical and HVAC equipment be elevated above the 100-year water-surface elevation. The proposed installation of new air conditioning units at the elevation of the existing deck is in compliance with this requirement.

VI. IMAGES



Figure 1. View of the rear (north) elevation of 19 Keith's Lane.



Figure 2. Current view of the rear deck and patio area.



Figure 3. Photoshoped image showing proposed expanded deck and new railing.

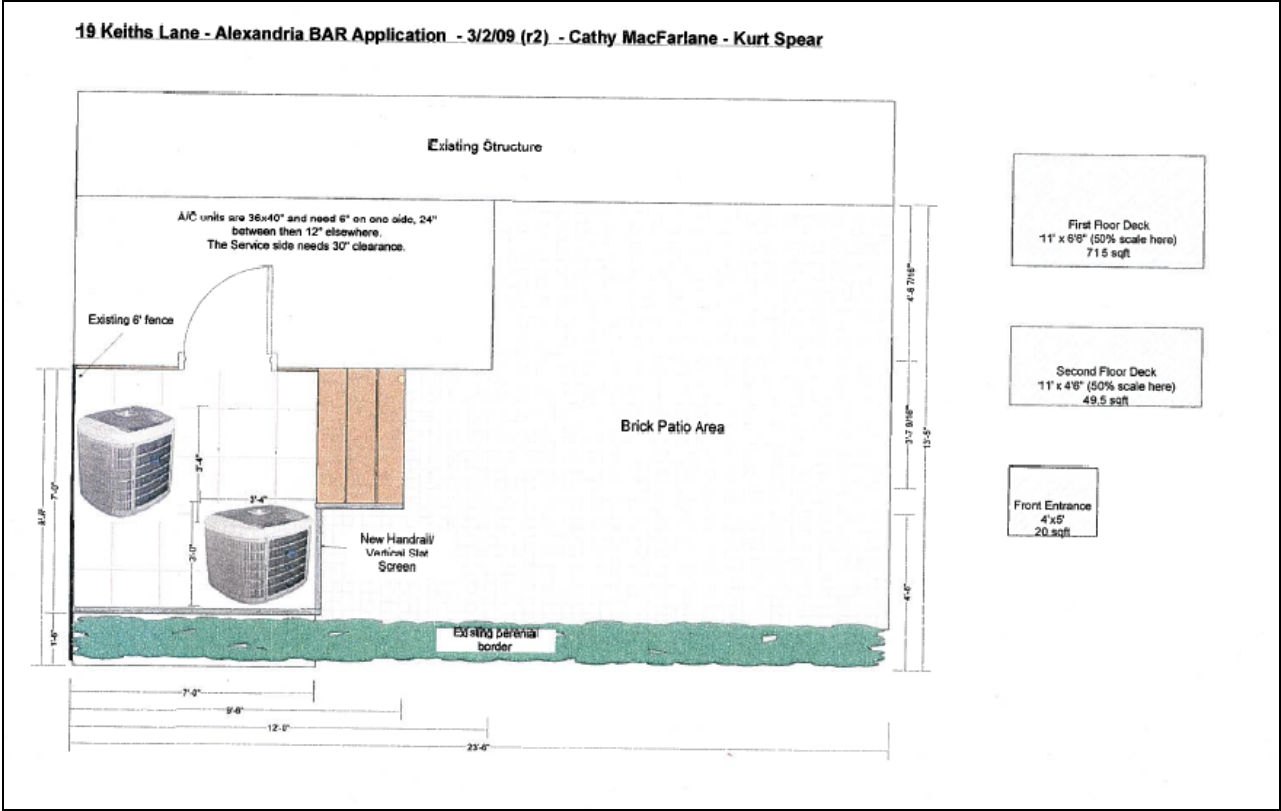
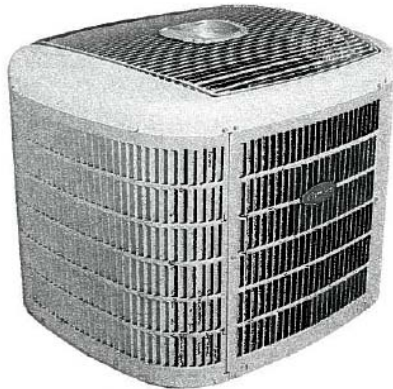


Figure 4. Image showing proposed location of new HVAC units on expanded deck.

24ANA7
Infinity™ 17 Series Air Conditioners
with Puron® Refrigerant
Sizes 24 To 60
2 To 5 Nominal Tons



Product Data



Carrier's Air Conditioners with Puron® refrigerant provide a collection of features unmatched by any other family of equipment. The 24ANA7 has been designed utilizing Carrier's Puron refrigerant. The environmentally sound refrigerant allows you to make a responsible decision in the protection of the earth's ozone layer.

As an Energy Star® Partner, Carrier Corporation has determined that this product meets the Energy Star® guidelines for energy efficiency. Refer to the combination ratings in the Product Data for system combinations that meet Energy Star® guidelines.

INDUSTRY LEADING FEATURES / BENEFITS

Energy Efficiency

- 13-17.1 SEER/10.3-13 EER

New Aesthetic Design

- WeatherArmor Ultra™ Cabinet
 - Baked on powder paint
 - Steel louver coil guard
 - Color matched ceramic coated cabinet screws

Extra Quiet Operation

- Silencer System II™ for sound as low as 67 dBA
 - Quiet mount split post compressor grommets
 - Exclusive Silencer Top design
 - 8 pole PSC ball bearing outdoor condenser fan motor
 - Forward-swept condenser fan blade
 - Compressor sound hood
 - Laminated steel compressor mounting plate

Reliability, Quality and Toughness

- Two-Stage reciprocating compressor
- Field-installed 16 cu. in. filter drier
- Back-seating service valves
- High pressure switch
- Low pressure switch
- Internal pressure relief valve
- Internal thermal overload

Controls and Diagnostics

- Infinity™ control or Thermostat
- Utility Interface Connection
- Up to 23 point diagnostic capability

Applications


- Long-line - up to 250 ft. total equivalent length. See Long-Line Guideline for more information.
- Low ambient (down to 0°F) with accessory kit with complete Infinity system.


Figure 5. Manufacturer information on proposed HVAC units.


MODEL NUMBER NOMENCLATURE


1	2	3	4	5	6	7	8	9	10	11	12	13
N	N	A	A	A/N	N	N	N	A/N	A/N	A/N	N	N
2	4	A	N	A	7	3	6	A	0	0	3	0
Product Series	Product Family	Tier	Major Series	SEER	Cooling Capacity	Variations	Open	Open	Voltage	Minor Series		
24=AC	A=RES AC	N=Infinity Series	A=Puron	7=17 SEER		A=Standard	0=Not Defined	0=Not Defined	3=208/230-1	0, 1, 2...		


24ANA7











As an Energy Star® Partner, Carrier Corporation has determined that this product meets the ENERGY STAR® guidelines for energy efficiency.

Refer to the combination ratings in Product Data for system combinations that meet Energy Star guidelines.

STANDARD FEATURES

Feature	24-30	36-30	48-30	60-30
Puron® Refrigerant	X	X	X	X
Up to 17 SEER		X		X
Second Generation Infinity Control or Thermostat	X	X	X	X
Two Stage Reciprocating Compressor	X	X	X	X
Silencer System II™	X	X	X	X
WeatherArmor Ultra™	X	X	X	X
Field Installed 16 cu. in. Filter Drier	X	X	X	X
Back Seating Service Valves	X	X	X	X
High Pressure Switch	X	X	X	X
Low Pressure Switch	X	X	X	X
Internal Pressure Relief Valve	X	X	X	X
Internal Thermal Overload	X	X	X	X
Long Line capability with accessory solenoid connections	X	X	X	X
Low Ambient capability to 0° F w/Infinity Control	X	X	X	X
Up to 23 point Diagnostics	X	X	X	X
Utility Interface Connection	X	X	X	X

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Figure 6. Manufacturer information.



FORD'S LANDING

Home Owners' Association

March 1, 2009

Dear Mr. Webb:

As President of the Ford's Landing Homeowners' Association, I am writing to advise you that the Association and the Ford's Landing Architectural Control/Covenants Committee are aware of the application by Cathy McFarlane, with Kurt Spear acting as agent, for permission to install differently-configured air conditioning units to replace the through-the-wall units at 19 Keith's Lane. Both the Association and the Committee support the initiation of this process and hope that an agreement can be reached. Such agreement, of course, would still require the approval of the Architectural Control/Covenants Committee as an exterior modification, but an understanding of what the City will approve will serve as crucial guidance and enable an informed decision.

Thank you for your continued help and support for Ford's Landing and our residents.

Iris Straus
President, Ford's Landing HOA

Figure 7. Letter of support from Homeowners' Association.