

Docket Item # 8
BAR CASE # 2009-0052

BAR Meeting
April 15, 2009

ISSUE: Demolition/Encapsulation
APPLICANT: Beverly Fetty
LOCATION: 420 North Columbus Street
ZONE: CL/Commercial

STAFF RECOMMENDATION: Staff recommends approval of the Permit to Demolish/Encapsulate with the following conditions:

- *1. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
- *2. The applicant/developer shall not allow any artifact collection or metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.
3. The statements in archaeology conditions above marked with an asterisk "*" shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements.

****EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

****BUILDING PERMIT NOTE:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.



Note: This docket item requires a roll call vote for approval.

I. ISSUE:

The applicant is requesting approval of a Permit to Demolish/Encapsulate in order to build a two-story addition to the rear of their home at 420 North Columbus Street. The proposed addition will be an expansion of an existing non-historic addition that was built within the last twenty years. The proposed addition will be flush with the existing south wall of the house and measure 11 feet in width, encapsulating all but one remaining foot of the non-historic addition. The proposed addition will extend the home by 10 feet in length. The demolition will constitute the loss of a pair of French doors on the first floor, a pair of windows on the second floor and a portion of the masonry wall.

II. HISTORY:

420 North Columbus Street is a two-story, two-bay, wood-frame, townhouse dating from ca. 1880. According to Sanborn Fire insurance maps that date to as early as 1898, there was a two story addition to the rear of the main block which continued to be illustrated on the maps as recently as the 1988 map. The existing two story brick addition maintains a different footprint and has non historic materials, as viewed by Staff, allowing for the conclusion that it was constructed within the last twenty years. Staff was unable to locate any previous BAR records for this property prior to an application for a rear addition by the current owner in 2004 that was deferred pending resolution of outstanding zoning issues and then later closed by Staff for inactivity.

III. ANALYSIS:

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B):

- (1) Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?
- (2) Is the building or structure of such interest that it could be made into a historic house?
- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
- (4) Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?
- (5) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?
- (6) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?

In the opinion of Staff, none of the criteria are met. The area of proposed demolition/encapsulation does not impact the original 1880 section of the house, nor does it impact its historic integrity. The portion being demolished is part of a much later, non-historic

addition that appears to have been constructed within the last 20 years. Staff recommends approval of the Permit to Demolish/Encapsulate.

IV. STAFF RECOMMENDATION: Staff recommends approval of the Permit to Demolish/Encapsulate with the following conditions:

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V. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Code Enforcement:

- C-1 All exterior walls within 5 feet from an interior property line shall have a fire resistance rating of 1 hour, from both sides of the wall. As alternative, a 2 hour fire wall may be provided. This condition is also applicable to skylights within setback distance. Openings in exterior walls between 3 and 5 feet shall not exceed 25% of the area of the entire wall surface (This shall include bay windows). Openings shall not be permitted in exterior walls within 3 feet of an interior lot line.
- C-2 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to Code Enforcement that will outline the steps that will taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.
- C-3 Roof drainage systems must be installed so as neither to impact upon, nor cause erosion/damage to adjacent property.
- C-4 A soils report must be submitted with the building permit application.
- C-5 Additions and Alterations to the existing structure must comply with the 2006 edition of the Uniform Statewide Building Code (USBC).
- C-6 Additions and Alterations to the existing structure and/or installation and/or altering of equipment therein requires a building permit. Five sets of plans, bearing the signature and seal of a design professional registered in the Commonwealth of Virginia, must accompany the written application. The plans must include all dimensions, construction alterations details, kitchen equipment, electrical, plumbing, and mechanical layouts and schematics.
- C-7 Construction permits are required for this project. Plans shall accompany the permit application that fully details the construction as well as layouts and schematics of the mechanical, electrical, and plumbing systems.
- C-8 Permission from adjacent property owners is required if access to the adjacent properties is required to complete the proposed construction. Otherwise, a plan shall be submitted to demonstrate the construction techniques utilized to keep construction solely on the referenced property.
- C-10 A wall location plat prepared by a land surveyor is required to be submitted to this office prior to requesting any framing inspection.

Historic Alexandria:

S-1 Table pending comments from surrounding neighbors affected by allowing project to proceed.

R-1 Replace synthetic building materials with wood.

Alexandria Archaeology:

F-1 Historical documents indicate that the original site of the Davis (Roberts Memorial) Chapel was situated on this block. Tax records note the presence of two free African American households on the street face in 1850, but the exact addresses are unknown. In 1877, the G.M. Hopkins atlas depicts a structure on this lot. The property therefore has the potential to yield archaeological resources which could provide insight into residential life in 19th-century Alexandria, and perhaps into domestic and religious activities of Alexandria's 19th-century African American community.

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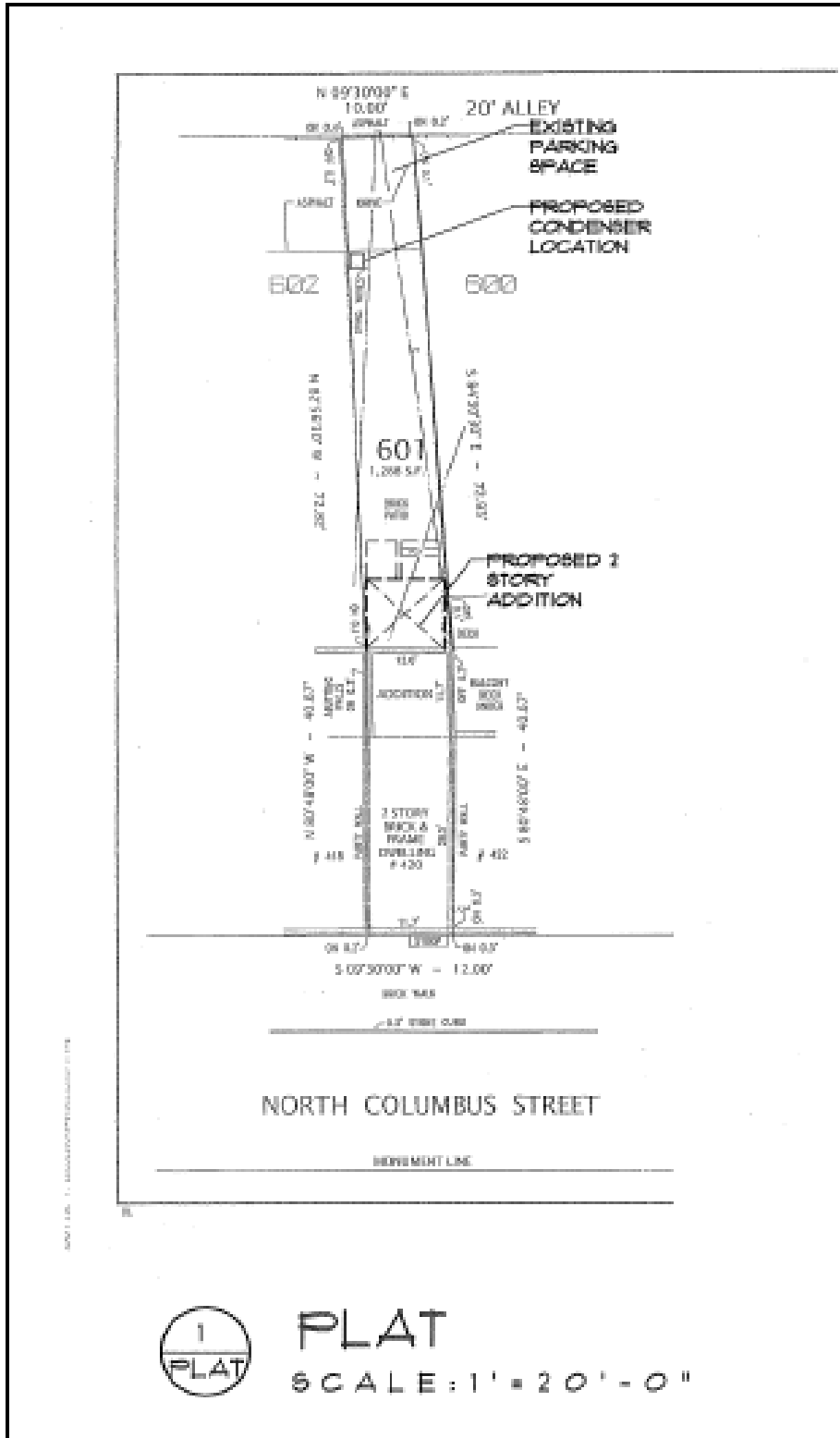
R-2 The applicant/developer shall not allow any artifact collection or metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

R-3 The statements in archaeology conditions above marked with an asterisk "*" shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements.

Transportation & Environmental Services

R-1 The building permit must be approved and issued prior to the issuance of any demolition permit. (T&ES)

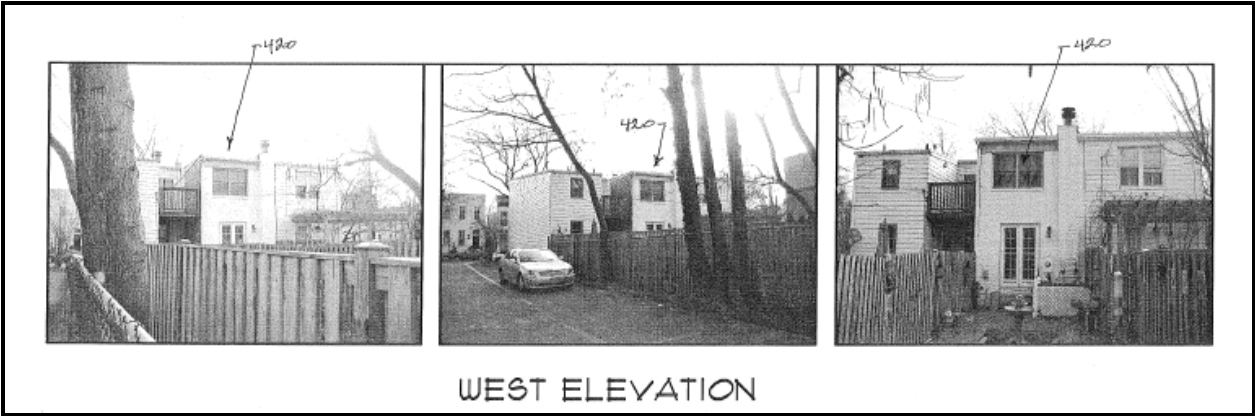
VI. IMAGES





EAST ELEVATION (FRONT)

Figure 2: Photograph of Front Facade



WEST ELEVATION

Figure 3: Photographs of Existing Rear Elevation



Figure 4: Drawing illustrating area of proposed demolition on existing rear elevation.