

Docket Item # 9
BAR CASE # 2009-0053

BAR Meeting
April 15, 2009

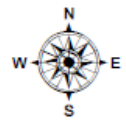
ISSUE: Addition/Alterations
APPLICANT: Beverly Fetty
LOCATION: 420 North Columbus Street
ZONE: CL/Commercial

STAFF RECOMMENDATION: Staff recommends approval of the application with the following conditions:

1. That the applicant uses a metallic color standing seam metal roof that may either be allowed to weather naturally or painted to match the trim of the addition rather than the white color proposed in the application.
2. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
3. The applicant/developer shall not allow any artifact collection or metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.
4. The statements in archaeology conditions above marked with an asterisk "*" shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements.



BAR CASE #2009-0052, 0053 4/15/2009



Note: BAR Case # 2009-0052 must be approved before this item may be considered.

I. ISSUE:

The applicant is requesting approval of a Certificate of Appropriateness for the construction of a new two story addition to an existing non-historic two story addition at the rear of 420 North Columbus Street. The proposed addition will extend the rear of the house by 10 feet and encapsulate all but one foot in width of the existing non-historic addition. The proposed footprint of the addition is 110 square feet while the total proposed expansion is 230 square feet including the new rear steps and wood frame shed canopy over the rear door.

The proposed expansion will be constructed using smooth 5 inch exposure Hardieplank siding which will be painted to match the masonry of the existing addition. The applicant is proposing the installation of tubular daylighting in the roof of the new addition which will be constructed using the same roofing material as to match the existing. Tubular daylighting is a system that captures light through a dome on the roof and channels it down through an internal reflective system. According to literature provided by Solatube, the manufacturer of the proposed unit, daylighting is more efficient than a traditional skylight and requires a far smaller unit on the roof. The proposed tubular cap is 14 inches in diameter and will extend 6 inches above the roof.

Along the rear roofline of the addition a new seamless aluminum gutter and downspout will be installed and painted white to match existing trim. All three of the new windows, two on the second-story and one on the first will be two-over-two Marvin Ultimate double hung wood windows with double glazed Simulated Divided Lites, painted white to match existing trim. The new rear door will be a Marvin wood, Ultimate in-swing, French door with a single panel of insulated glass. Adjacent to the door the applicant has proposed the installation of an exterior wall sconce in a bronze finish with frosted glass, manufactured by Hinkley Lighting that will measure 6 inches in width and 10.5 inches in height. The proposed rear stair will be constructed of brick masonry steps with a wood railing painted white. Above the stairs the applicant is proposing the construction of a wood frame, shed canopy with a white, 12 inch standing seam aluminum roof. The addition will also consist of an expansion of the existing basement, the access to which will be located through a set of sloped wall cellar doors made of heavy-gauge steel and located at the foundation of the addition just below the first-story window.

II. HISTORY:

420 North Columbus Street is a two-story, two-bay, wood-frame, townhouse dating from ca. 1880. According to Sanborn Fire insurance maps that date to as early as 1898, there was a two story addition to the rear of the main block which continued to be illustrated on the maps as recently as the 1988 map. The existing two story brick addition maintains a different footprint and has non historic materials, as viewed by Staff, allowing for the conclusion that it was constructed within the last twenty years. Staff was unable to locate any previous BAR records for this property prior to an application for a rear addition by the current owner in 2004 that was deferred pending resolution of outstanding zoning issues and then later closed by Staff for inactivity.

III. ANALYSIS:

The proposed addition and alterations complies with zoning ordinance requirements.

It is the opinion of Staff that the design of the addition is compatible in style and massing to the historic house, and conforms to the *Design Guidelines* for residential additions. In keeping with the recommendations contained in the *Guidelines*, the addition was designed as a background building "...which allow historic structures to maintain the primary visual importance."

Due to the fact that the proposed addition is located at the rear of the historic structure, is not visible from North Columbus Street, and is only minimally visible from a public alley at the rear of the property Staff does not object to the use of Hardieplank siding as a construction material, however, when using Hardieplank in the historic district the panels must be smooth and installed so that the nails can not be seen.

While according to the Design Guidelines, "single glazed true divided light wood windows," are preferred, it also states that in situations where the windows are located on an elevation that is minimally visible a simulated divided lite window would be acceptable. In the same vein Staff does not object to an insulated glass paneled door. The roof of the new addition will not be visible and therefore staff does not object to the proposed tubular daylighting system. Staff finds the proposed light fixture to be complementary to the style of the home. In Staff's opinion the proposed masonry stair correlates well with the exiting masonry addition. Staff notes that while a simple iron rail would be preferred over the proposed wooden hand rail on the new rear stairs, again the railing is only minimally visible. Typically, wood canopies are not common to the historic district; however staff finds the one proposed in this application to be minimally obtrusive to the rear elevation. While the use of standing seam metal roofing is appropriate for the shed canopy, staff recommends the condition that the applicant uses a metallic color that may be allowed to weather naturally or painted to match the trim of the addition rather than the white color proposed in the application. The cellar doors are a functional necessity for egress from the addition however; to reduce the visibility staff recommends that they be painted to match the addition. Due to the fact that the proposed addition is a modest expansion of an existing non-historic addition, is minimally visible, and will not affect the integrity of the historic portions of the structure, Staff recommends approval of the application.

Staff notes the comments of the Alexandria Archaeology and recommends that they be included as conditions of the approval.

IV. STAFF RECOMMENDATION: Staff recommends approval of the application with the following conditions:

1. That the applicant uses a metallic color standing seam metal roof that may either be allowed to weather naturally or painted to match the trim of the addition rather than the white color proposed in the application.
2. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.

3. The applicant/developer shall not allow any artifact collection or metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.
4. The statements in archaeology conditions above marked with an asterisk "*" shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements.

V. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Code Enforcement:

- C-1 All exterior walls within 5 feet from an interior property line shall have a fire resistance rating of 1 hour, from both sides of the wall. As alternative, a 2 hour fire wall may be provided. This condition is also applicable to skylights within setback distance. Openings in exterior walls between 3 and 5 feet shall not exceed 25% of the area of the entire wall surface (This shall include bay windows). Openings shall not be permitted in exterior walls within 3 feet of an interior lot line.
- C-2 Prior to the issuance of a demolition permit or land disturbance permit, a rodent abatement plan shall be submitted to Code Enforcement that will outline the steps that will taken to prevent the spread of rodents from the construction site to the surrounding community and sewers.
- C-3 Roof drainage systems must be installed so as neither to impact upon, nor cause erosion/damage to adjacent property.
- C-4 A soils report must be submitted with the building permit application.
- C-5 Additions and Alterations to the existing structure must comply with the 2006 edition of the Uniform Statewide Building Code (USBC).
- C-6 Additions and Alterations to the existing structure and/or installation and/or altering of equipment therein requires a building permit. Five sets of plans, bearing the signature and seal of a design professional registered in the Commonwealth of Virginia, must accompany the written application. The plans must include all dimensions, construction alterations details, kitchen equipment, electrical, plumbing, and mechanical layouts and schematics.
- C-7 Construction permits are required for this project. Plans shall accompany the permit application that fully details the construction as well as layouts and schematics of the mechanical, electrical, and plumbing systems.
- C-8 Permission from adjacent property owners is required if access to the adjacent properties is required to complete the proposed construction. Otherwise, a plan shall be submitted to demonstrate the construction techniques utilized to keep construction solely on the referenced property.
- C-10 A wall location plat prepared by a land surveyor is required to be submitted to this office prior to requesting any framing inspection.

Historic Alexandria:

S-1 Table pending comments from surrounding neighbors affected by allowing project to proceed.

R-1 Replace synthetic building materials with wood.

Alexandria Archaeology:

F-1 Historical documents indicate that the original site of the Davis (Roberts Memorial) Chapel was situated on this block. Tax records note the presence of two free African American households on the street face in 1850, but the exact addresses are unknown. In 1877, the G.M. Hopkins atlas depicts a structure on this lot. The property therefore has the potential to yield archaeological resources which could provide insight into residential life in 19th-century Alexandria, and perhaps into domestic and religious activities of Alexandria's 19th-century African American community.

R-1 The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.

R-2 The applicant/developer shall not allow any artifact collection or metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

R-3 The statements in archaeology conditions above marked with an asterisk "*" shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements.

Transportation & Environmental Services

R-1 The building permit must be approved and issued prior to the issuance of any demolition permit. (T&ES)

VI. IMAGES

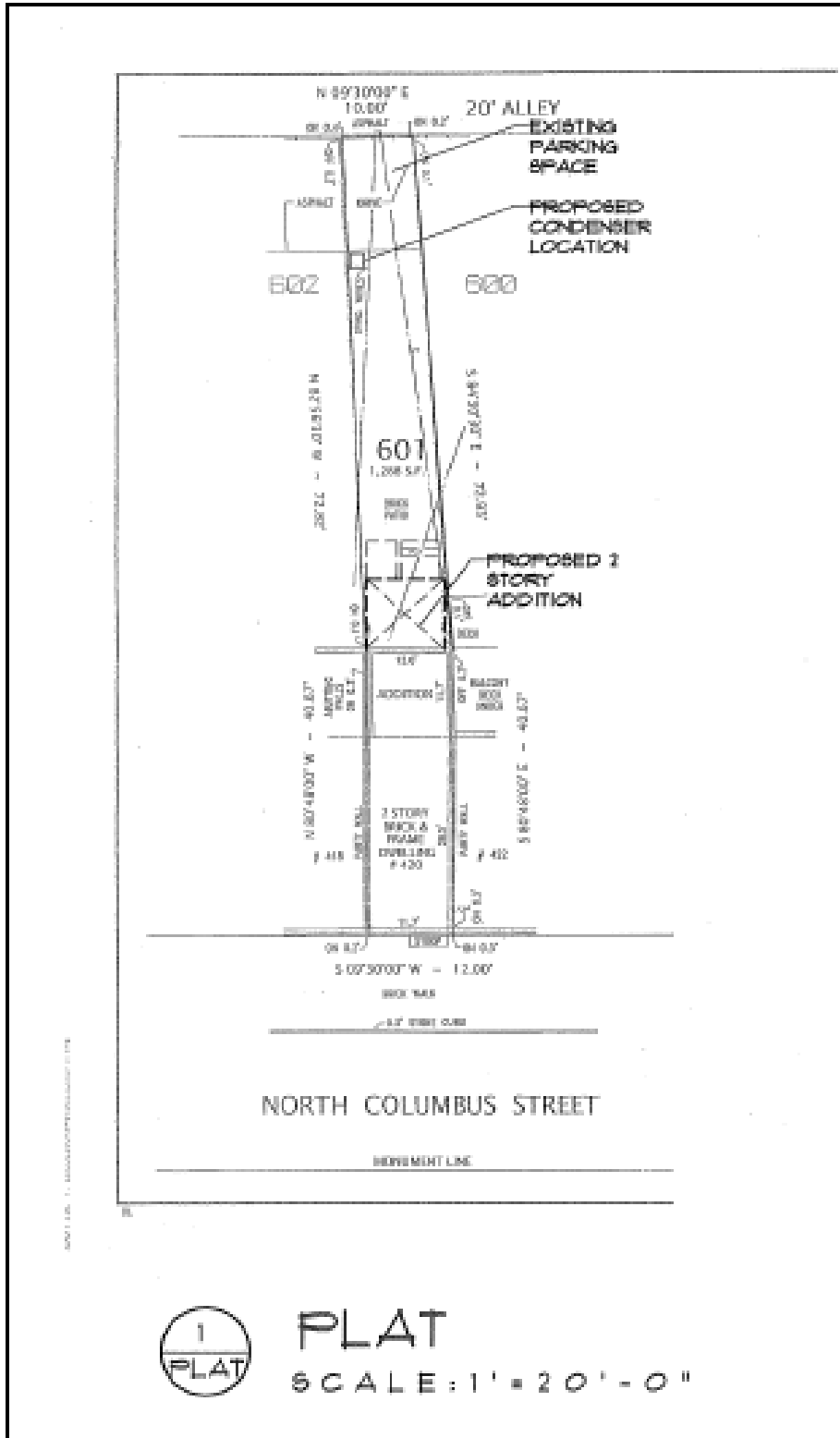
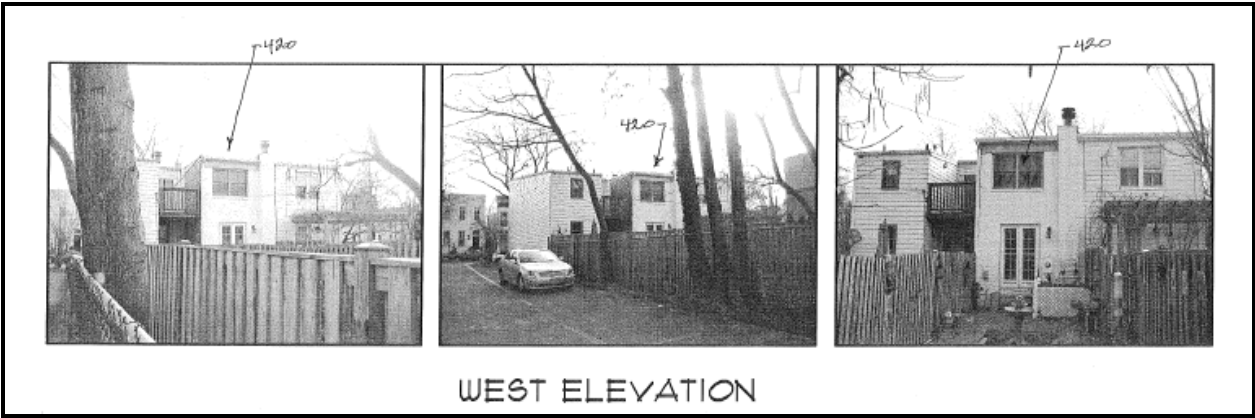


Figure 1 Plat depicting proposed addition.



EAST ELEVATION (FRONT)

Figure 2: Photograph of Front Facade



WEST ELEVATION

Figure 3: Photographs of Existing Rear Elevation

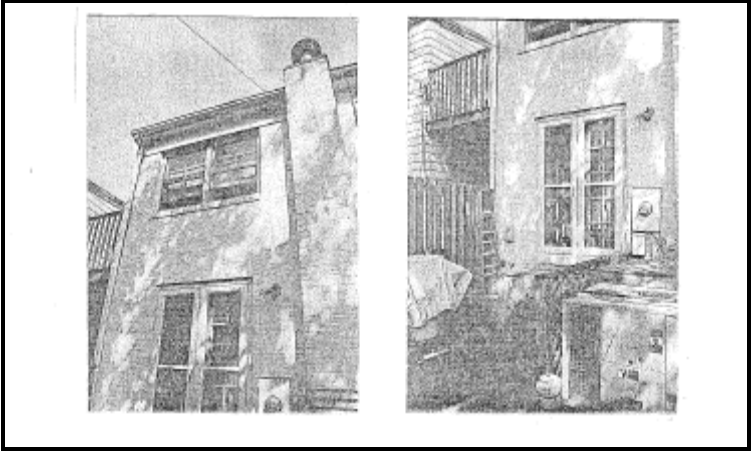


Figure 4 Photographs detailing rear elevation.

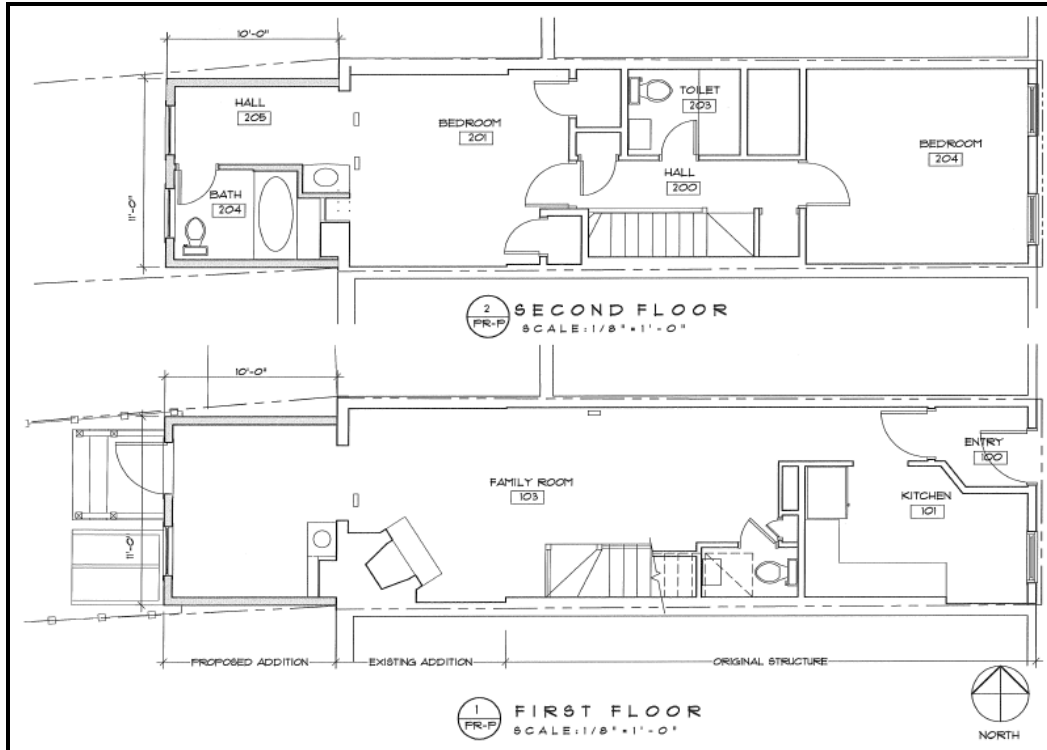


Figure 5 Proposed first and second floor plans.

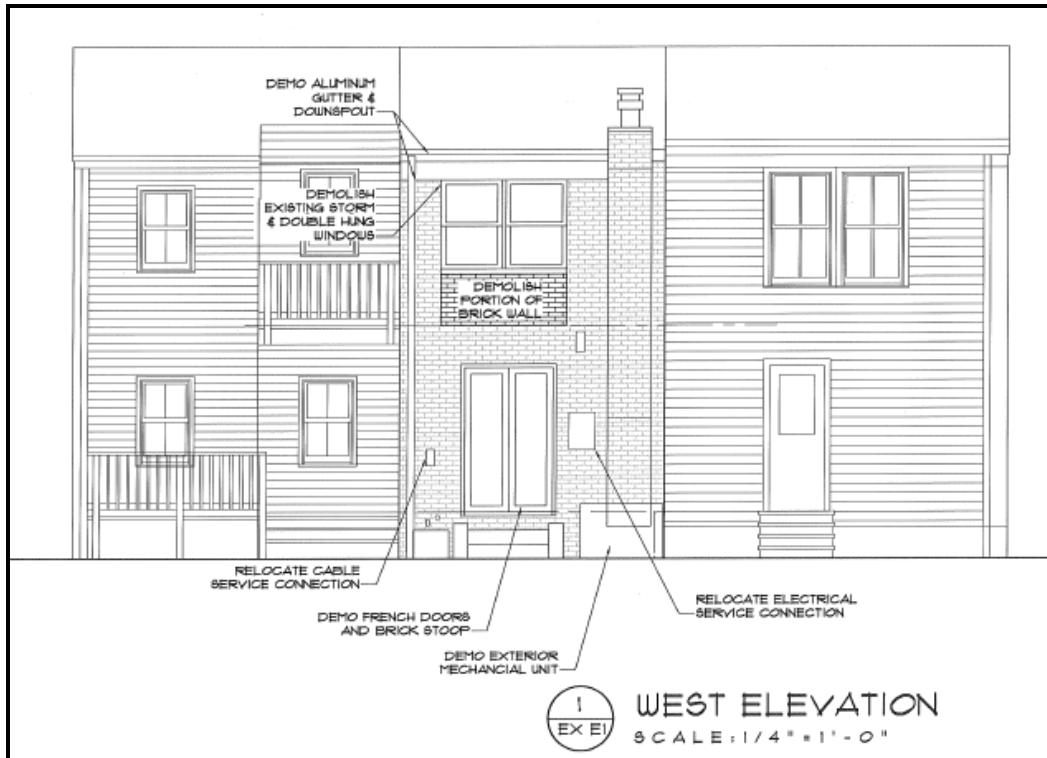


Figure 6 Drawing illustrating area of proposed demolition on existing rear elevation.

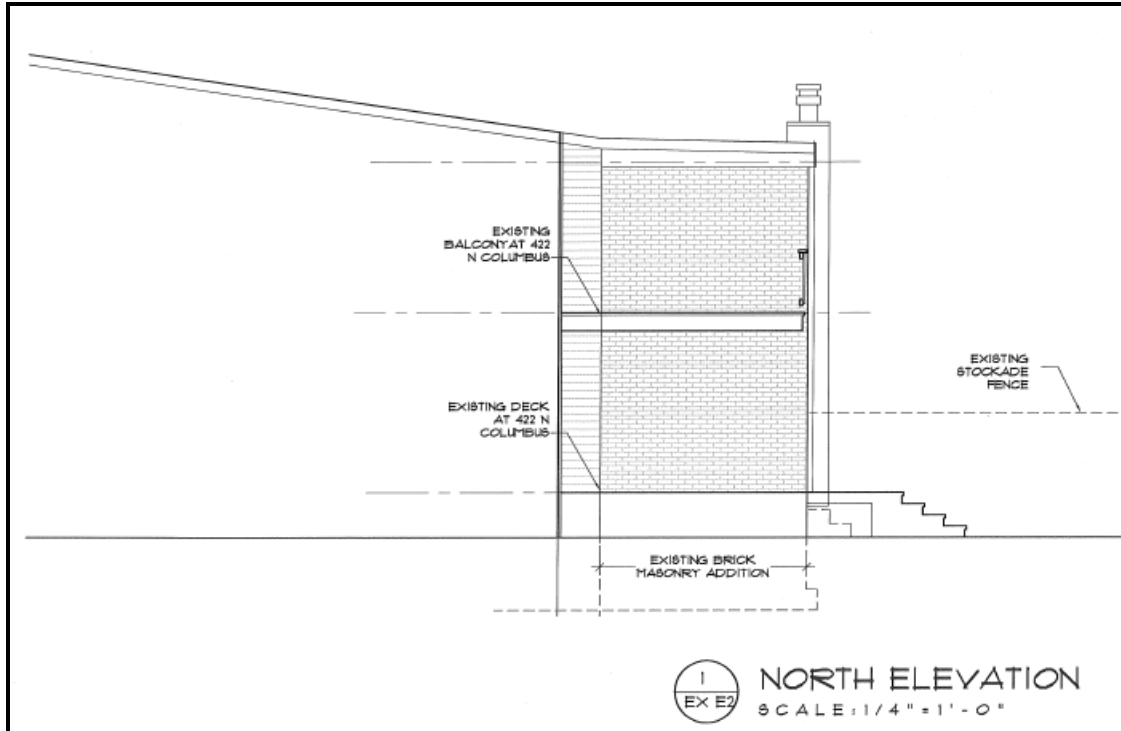


Figure 7 Existing north elevation.

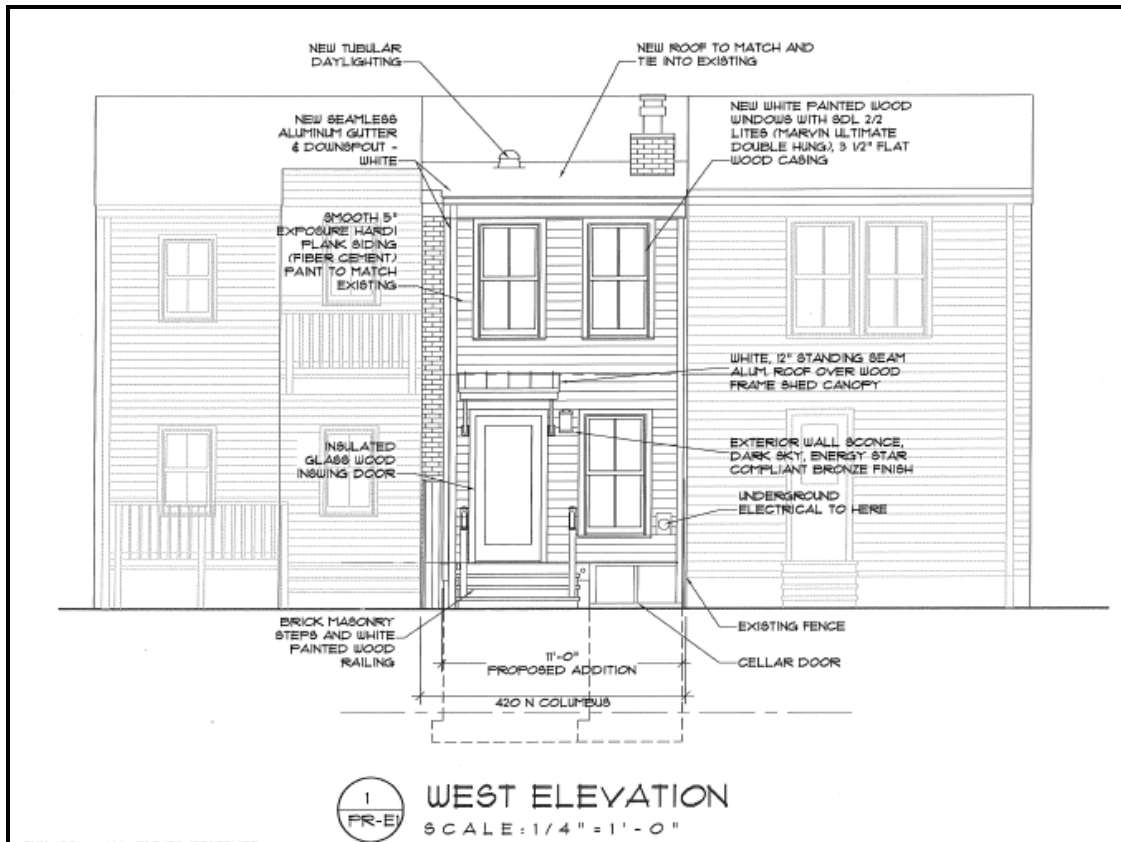


Figure 8 Proposed rear (west) elevation.

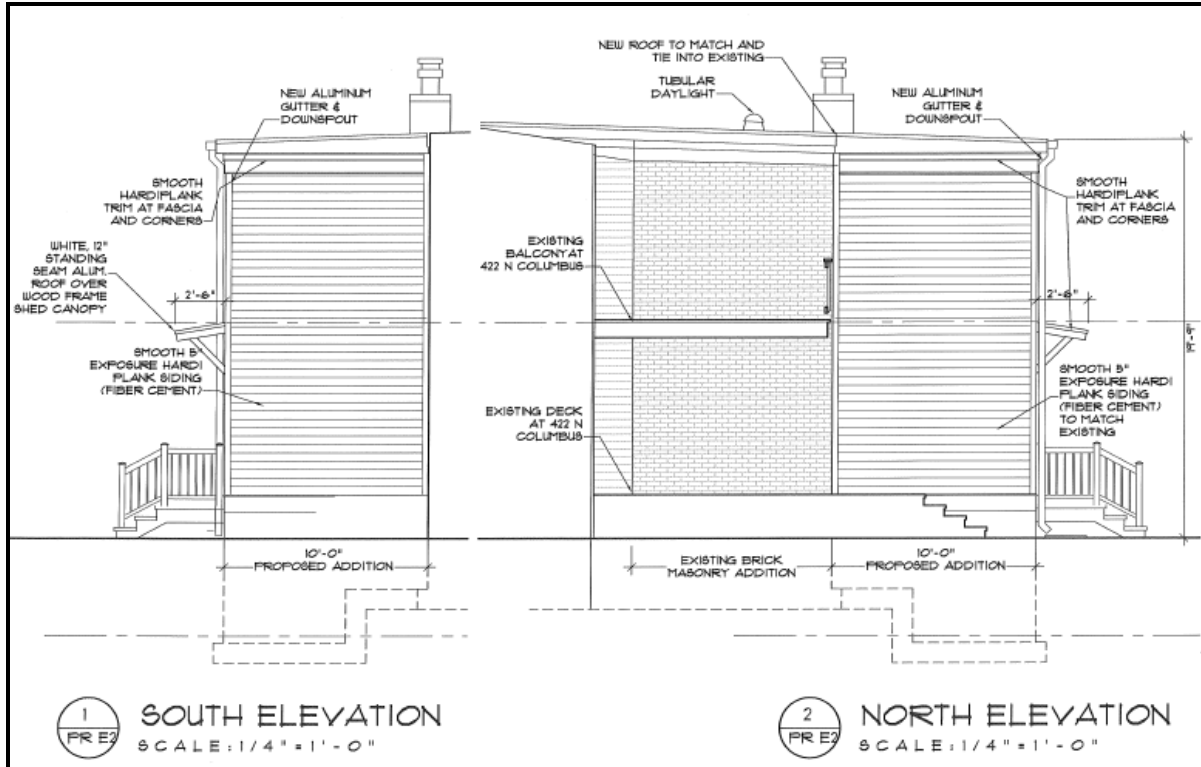


Figure 9 Proposed Side (North & South) Elevations.

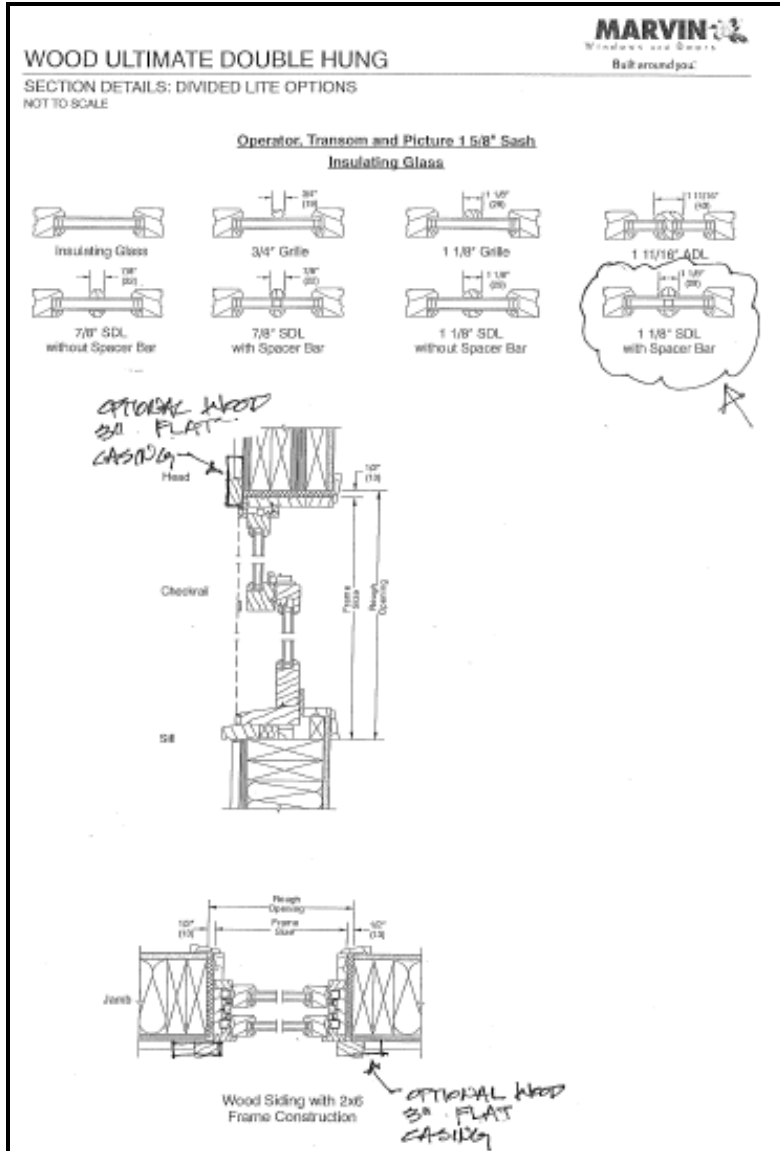


Figure 10 Specification sheet of proposed windows.



Figure 11 Photograph of proposed exterior light fixture.

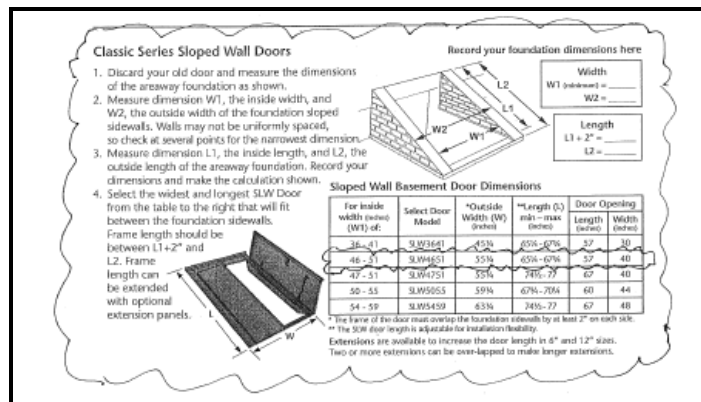


Figure 12 Specification sheet of proposed cellar doors.