

Docket Item # 4
BAR CASE # 2009-0222

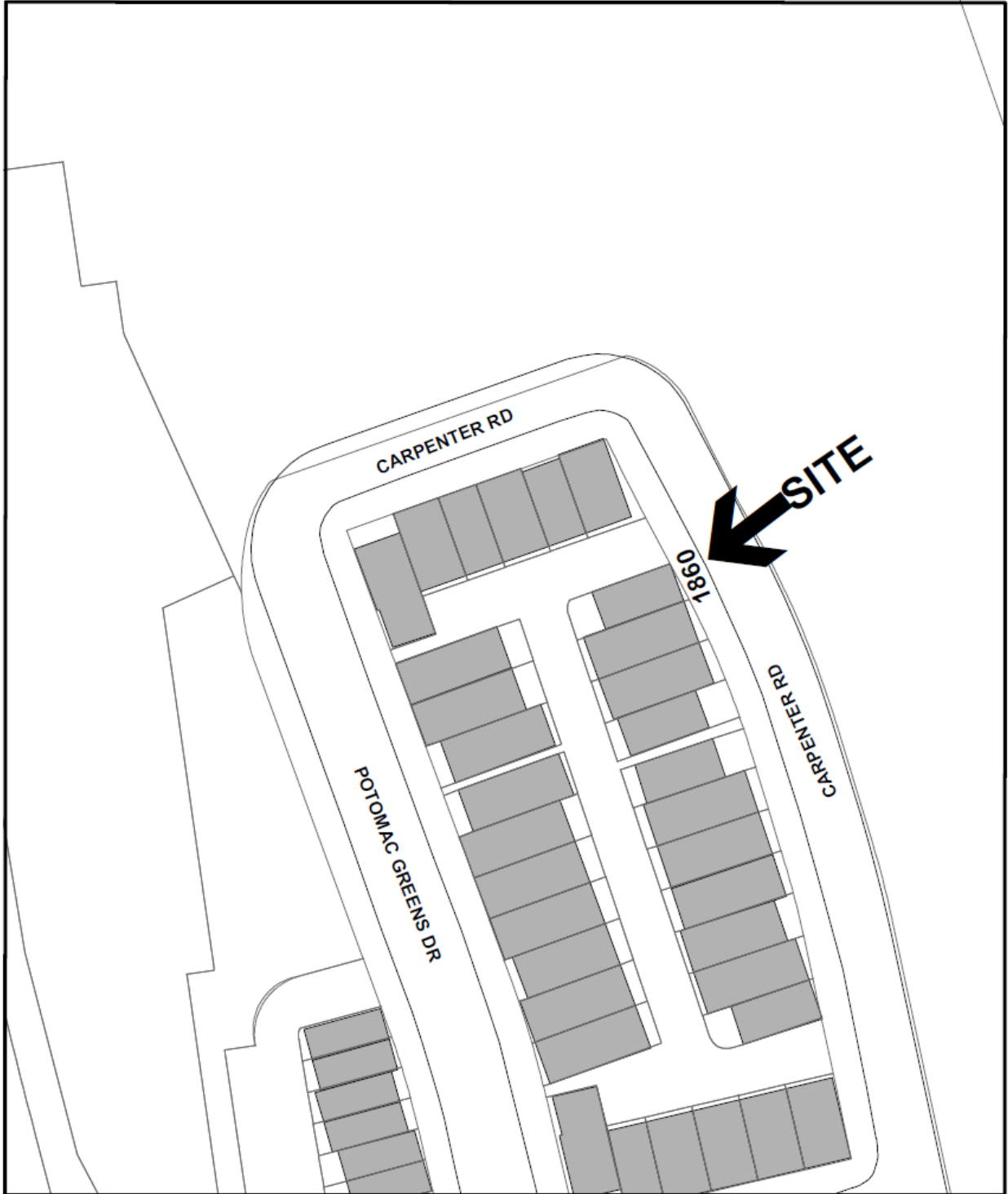
BAR Meeting
October 21, 2009

ISSUE: Alterations
APPLICANT: Craftstar Homes, Inc.
LOCATION: 1860 Carpenter Road
ZONE: CDD #10

STAFF RECOMMENDATION: Staff recommends approval of the application as submitted.

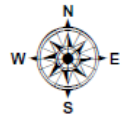
****EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

****BUILDING PERMIT NOTE:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.



BAR CASE #2009-0222

10/21/2009



I. ISSUE:

The applicant is requesting approval of a Certificate of Appropriateness for a rear deck at 1860 Carpenter Road, in the Potomac Greens development. The townhouse is currently under construction.

The proposed rear deck will measure 5 feet 4 inches by 19 feet and will be located off the second floor of the townhouse, inset one foot from the north side elevation wall. The deck will be supported by two pressure treated wood posts. The deck joists will be constructed of wood; however, a synthetic material will conceal the framing material around the base of the deck. The decking will be synthetic (similar to Trex composite decking), while the railing, post and pickets are proposed to be made of a solid, prefabricated vinyl in a white color.

II. HISTORY:

The three story brick townhouse at 1860 Carpenter Road is part of the Potomac Greens Development approved by the Board on February 4, 2003 (BAR Case #2003-0240). The townhouse is visible from the George Washington Memorial Parkway at a distance of approximately 325 feet from the closest travel lane.

III. ANALYSIS:

The proposed deck complies with zoning ordinance requirements including the approved Development Special Use Permit DSUP#2002-0026 conditions.

When the BAR approved those portions of the Potomac Greens development which were within the boundaries of the Old and Historic Alexandria District in 2003 (a total of 79 townhouses), they conditioned the approval on the following: "The rear decks shall be either painted or stained with an opaque stain."

There are a number of existing second floor decks within the Potomac Greens development. Many of the existing decks within the development are similar to the deck proposed at 1860 Carpenter Road. The framing of the deck will be wood; however, the visible portions will be constructed of synthetic material or prefabricated vinyl.

While Staff and the Board generally prefer the use of wood decks which are either painted or stained, Staff does not object to the use of synthetic materials for this rear deck because it is consistent with the other decks in the community and because it will not be visible from the George Washington Memorial Parkway.

IV. STAFF RECOMMENDATION: Staff recommends approval of the application as submitted.

STAFF:

Stephanie Sample, Historic Preservation Planner, Planning & Zoning
Stephen Milone, Division Chief, Land Use Services

V. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Code Administration:

- C-1 Alterations to the existing structure must comply with the 2006 edition of the Uniform Statewide Building Code (USBC).
- C-2 Alterations to the existing structure and/or installation and/or altering of equipment therein requires a building permit. Five sets of plans, bearing the signature and seal of a design professional registered in the Commonwealth of Virginia, must accompany the written application. The plans must include all dimensions, construction alterations details, kitchen equipment, electrical, plumbing, and mechanical layouts and schematics.
- C-3 Construction permits are required for this project. Plans shall accompany the permit application that fully details the construction as well as layouts and schematics of the mechanical, electrical, and plumbing systems.
- C-4 Permission from adjacent property owners is required if access to the adjacent properties is required to complete the proposed construction. Otherwise, a plan shall be submitted to demonstrate the construction techniques utilized to keep construction solely on the referenced property.
- C-5 A wall location plat prepared by a land surveyor is required to be submitted to this office prior to requesting any framing inspection.

Historic Alexandria:

No comments received.

P&Z (Development Division):

- F- 1. Condition #27 of DSUP#2002-0026 requires, “No overhangs (bays, balconies, decks, architectural projections, etc.) shall protrude into the alleys, emergency vehicle easements, or ingress/egress easements below 14.5 feet above grade. No vertical support posts and other impediments shall impede garage entrances.”
- F- 2. Condition #84b of DSUP#2002-0026 requires, “No decks shall be permitted, except those decks that do not protrude beyond the property line.”
- F- 3. Based on the submitted plans and application, the proposal is compliant with DSUP#2002-0026 conditions of approval.

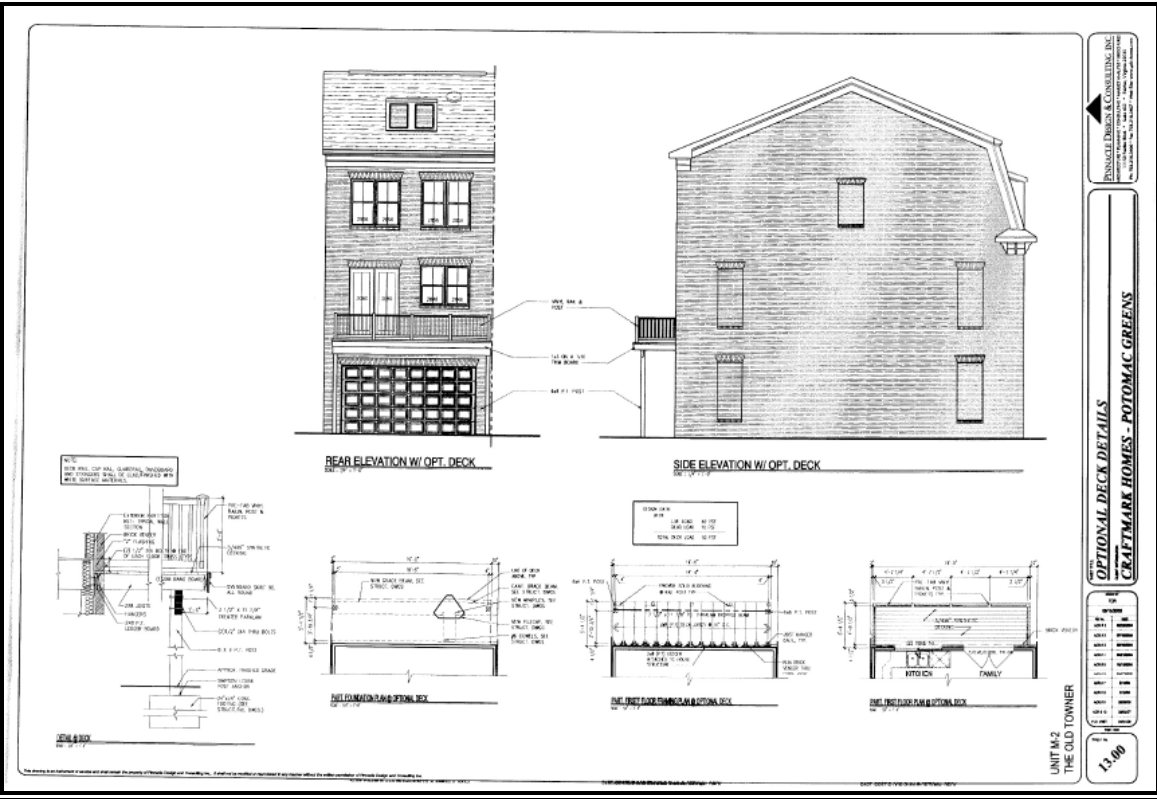


Figure 3: Rear elevation and deck details.



Figure 4: Photo of 1860 Carpenter Road under construction.



Figure 5: Photo of an existing deck in Potomac Greens.