

Docket Item # 6  
BAR CASE # 2009-0224

BAR Meeting  
October 21, 2009

**ISSUE:** Signage  
**APPLICANT:** The Shoe Hive  
**LOCATION:** 127 South Fairfax Street  
**ZONE:** CD/Commercial

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**STAFF RECOMMENDATION:** Staff recommends approval of the application with the condition that the wall sign is mounted into the mortar joints and not the brick.

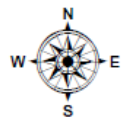
\*EXPIRATION OF APPROVALS NOTE: In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period. In the case for a certificate or permit for a project that requires a development special use permit or site plan under section 11-400 of the zoning ordinance, the period of validity shall be coincident with the validity of the development special use permit or site plan as determined pursuant to section 11-418 of the ordinance.

\*\*BUILDING PERMIT NOTE: Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.



BAR CASE #2009-0224

10/21/2009



**I. ISSUE:**

The applicant is requesting approval of a Certificate of Appropriateness for the installation of two signs, a freestanding sign and a wall sign, for THE SHOE HIVE, at 127 South Fairfax Street. The commercially zoned building at 127 South Fairfax Street sits back approximately 25 feet from the property line.

The hanging sign will be hung from a 30 inch metal scroll bracket mounted on a new freestanding metal pole with a finial. The pole will measure approximately ten feet high and will be installed inside the property, behind the 2 foot high portion of the brick wall along South Fairfax Street. The existing hanging sign will be relocated from the business's current retail space at 115 South Royal Street. The oval MDO wood sign measures 16 inches by 26 inches and will have the business name in black lettering and a picture of a shoe in black and gold.

The proposed wall sign will also be oval, with the same business name and logo. The black and gold MDO wood sign will measure 18 inches by 24 inches and will be mounted above the entrance to the business.

Neither sign will be illuminated.

**II. HISTORY:**

127 South Fairfax Street is a two story, three bay brick commercial building originally constructed as a residence ca. 1921. The building was remodeled in 1973 to be used as a retail and office building (approved by the Board on May 16, 1973).

The BAR approved two window signs for a previous tenant at this location, Old Town Post Box, on November 15, 2000 (BAR Case #2000-0249). The Shoe Hive hanging sign currently installed at 115 South Royal Street, which is being relocated to 127 South Fairfax Street as part of this application, was approved by the Board on October 1, 2003 (BAR Case #2003-0226).

**III. ANALYSIS:**

The proposed sign complies with zoning ordinance requirements. While typically freestanding signs are permitted only on buildings with 100 feet of frontage, the zoning ordinance allows for the BAR to approve a freestanding sign of up to six square feet on a commercially zoned property in the historic district. The existing building width on South Fairfax Street measures approximately 20 linear feet. The applicant proposes approximately 5.22 square feet of signage.

The *Design Guidelines* recommend that generally only one sign per business is appropriate. However, in practice, the Board has approved additional signage, provided that the signs do not detract from the architectural characteristics of the building. The *Design Guidelines* also state that: "Freestanding signs are only appropriate for buildings which are set well back from the street and have no other means of appropriate signage." Staff recommends approval of the proposed freestanding sign because it will help to identify this retail space, which is set back 25 feet from the front property line and the facades of the flanking buildings and located on a street with limited retail activity. Staff also does not object to the small wall sign located above the entrance to the shop, provided that the sign is installed into the mortar joints and not the brick.

Staff reminds the applicant that the existing temporary window sign must be removed when the permanent signs are installed.

**IV. STAFF RECOMMENDATION:** Staff recommends approval of the application with the condition that the wall sign is mounted into the mortar joints and not the brick.

**STAFF:**

Stephanie Sample, Historic Preservation Planner, Planning & Zoning  
Stephen Milone, Division Chief, Zoning & Land Use Services

**V. CITY DEPARTMENT COMMENTS:**

Legend: C - code requirement R - recommendation S – suggestion F- finding

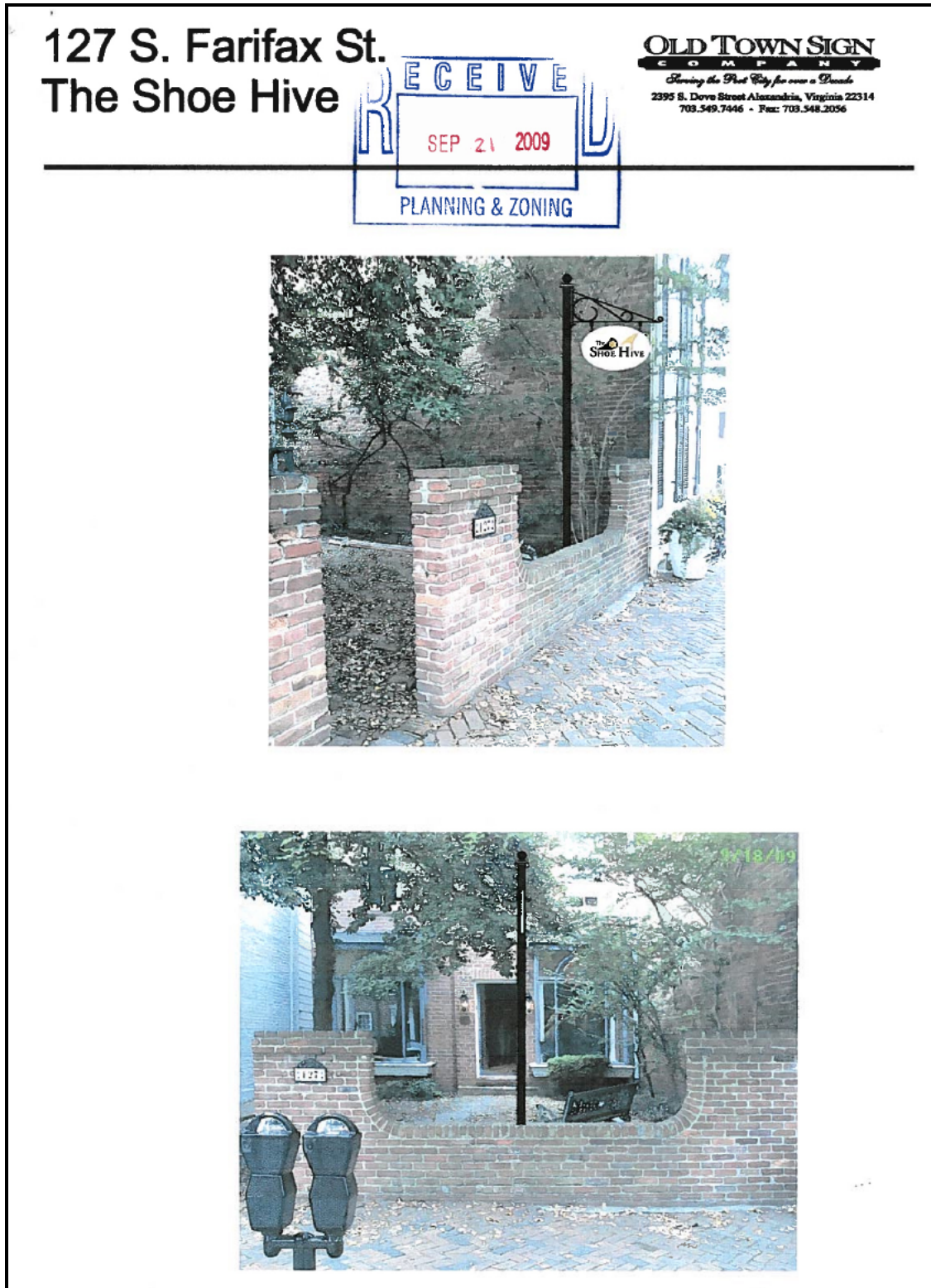
Code Administration:

No comments received.

Historic Alexandria:

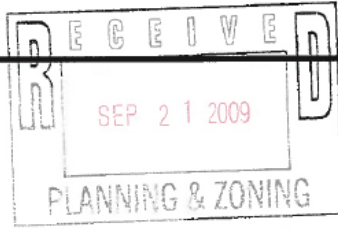
No comments received.

VI. IMAGES:



# 127 S. Farifax St. The Shoe Hive

**OLD TOWN SIGN  
COMPANY**  
*Serving the Pottery for over a Decade*  
2395 S. Dove Street Alexandria, Virginia 22314  
703.549.7446 - Fax: 703.548.2056



30" Scroll Bracket  
10' Custom post with cap  
base & round ball finial

Mount existing 16" x 26" double faced  
MDO sign to new post /bracket

Post located approx 4" from inside of brick wall  
centered within cut out portion of wall - see photo

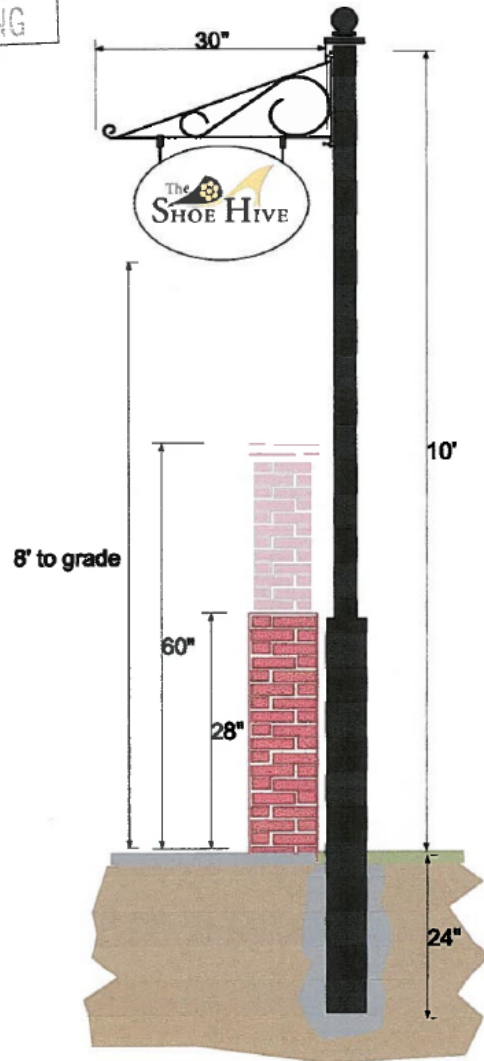


Figure 2: Freestanding sign details.

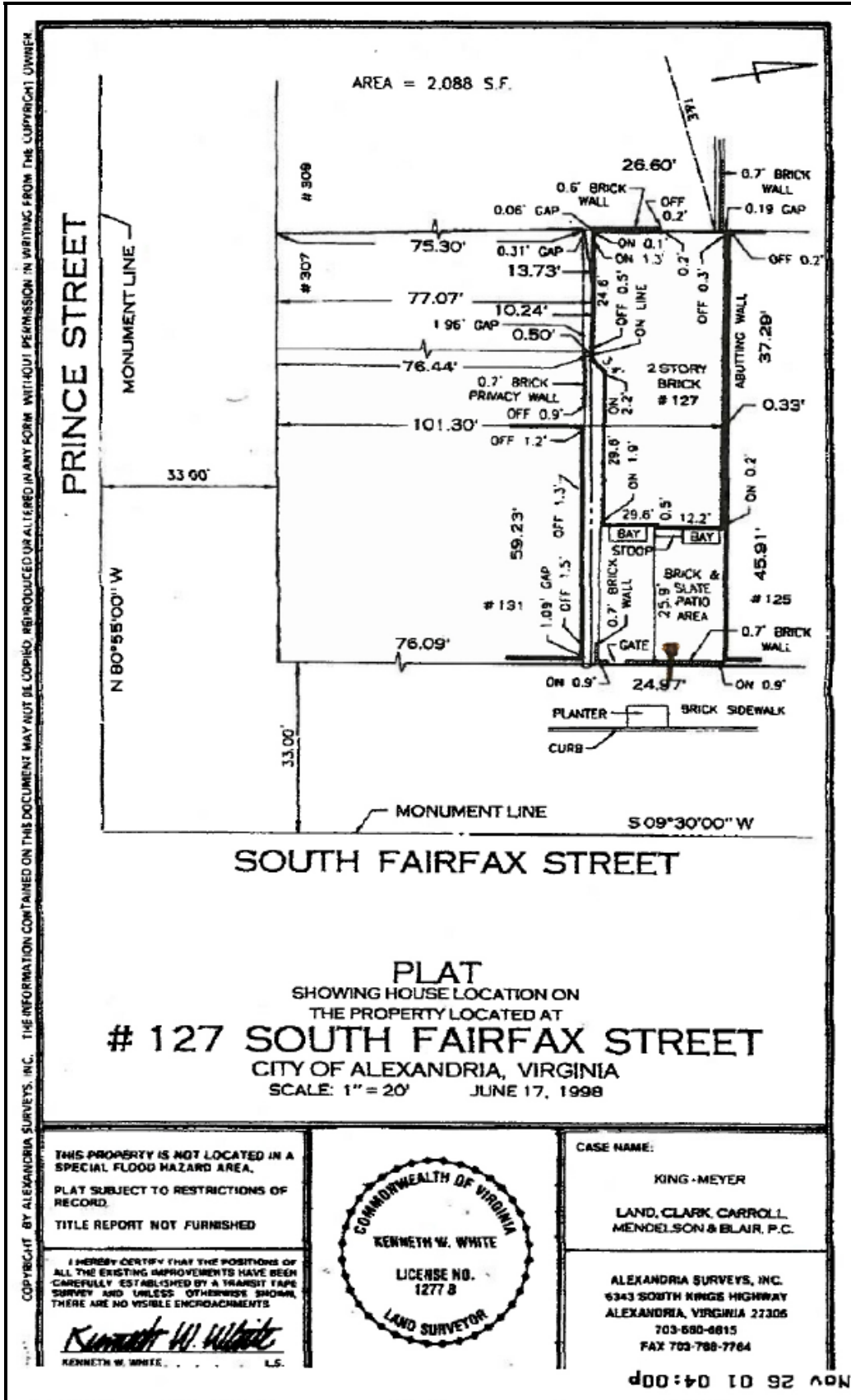


Figure 3: Plat showing proposed location of freestanding sign.



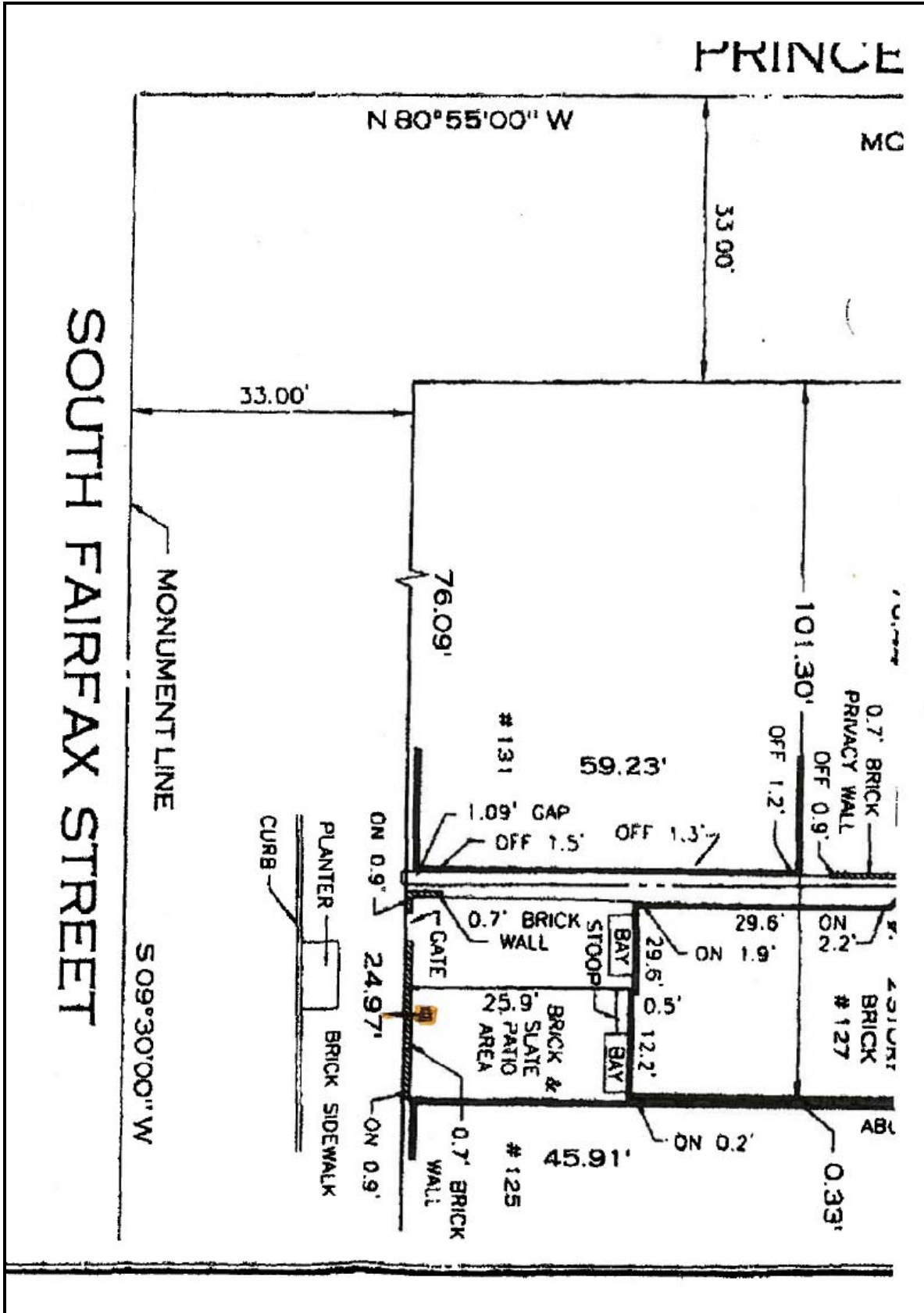


Figure 4: Detail of plat showing location of proposed freestanding sign.

127 S. Farifax St.  
The Shoe Hive

OLD TOWN SIGN  
COMPANY

*Serving the Post City for over a Decade*  
2395 S. Dove Street Alexandria, Virginia 22314  
703.549.7446 • Fax: 703.548.2056

Sign B.  
18" x 24" oval MDO wood sign  
Single faced wall mount above  
entrance door.



Figure 5: Proposed wall sign details.