

Docket Item #7
BAR CASE #2009-0225

BAR Meeting
October 21, 2009

ISSUE: Signage

APPLICANT: Missing Link Security

LOCATION: 123 South Fayette Street

ZONE: CL / Commercial Low Zone

STAFF RECOMMENDATION: Staff recommends approval of the Certificate of Appropriateness application with the condition that the bracket and wall signage be mounted to the building through the mortar joints.

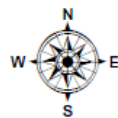
*EXPIRATION OF APPROVALS NOTE: In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period. In the case for a certificate or permit for a project that requires a development special use permit or site plan under section 11-400 of the zoning ordinance, the period of validity shall be coincident with the validity of the development special use permit or site plan as determined pursuant to section 11-418 of the ordinance.

**BUILDING PERMIT NOTE: Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.



BAR CASE #2009-0225

10/21/2009



I. ISSUE:

The applicant is requesting approval of a Certificate of Appropriateness for the installation of a wall sign on the Prince Street elevation of the building located at 123 South Fayette Street (corner of Prince and South Fayette Street.) The proposed, ½ inch wide, MDO, rectangular wall sign will be mounted above the center window on the building's first floor.

The proposed sign will have a white background punctuated with black and gray vinyl lettering identifying the business names "Missing Link Security" and "Phyleo, LLC Private Investigations." The rectangular sign measures eighteen inches (18") high by forty-inches (40") long.

II. HISTORY:

123 South Fayette is the business address for the office. The main facade of the building is at 1201 Prince Street. It is a two story brick building dating from the early 19th century according to Ethelyn Cox in *Alexandria Street By Street*. Originally constructed as a residence, the building is currently used for offices.

Previous Approvals:

In 2001, The Board approved a flat wall-mounted replacement sign for Dr. H.H. Rust, Dentist, on the east facade of the building. The wood sign measured thirty-six inches (36") wide by twenty-four inches (24") high (BAR Case #2001-0182, 07/18/01).

In 1997, The Board previously approved two hanging signs each measuring 42" long and 18" high at this location. (BAR Case #97-0204, 12/3/97).

III: ANALYSIS:

The proposed signs comply with zoning ordinance requirements.

The linear frontage of the front (South Fayette Street) elevation is forty-nine (49) feet and the secondary (Prince Street) elevation is fifteen (15) feet, with the total building frontage of approximately sixty-four (64) square feet. The existing sign to remain is one (1) square foot in size. This existing sign is a bronze wall plaque located adjacent to the entry door displaying the company's name. The proposed wall sign will measure 4.99 square feet. The total square footage of the existing and proposed signage is 5.99 square feet, below the zoning ordinance's parameters.

The *Design Guidelines* stipulate that signs should be "designed to be compatible with the historic building or structure," and "They should be designed in styles, materials, type faces, colors and lettering that are appropriate and sympathetic to the historic style of the building." The proposed sign for the business is generally appropriate for this historic building in style, design,

form and materials. It will be constructed out of MDO plywood, which is a stable wood product which resists warping and bending.

The *Guidelines* note that “Signs should not detract from the architectural characteristics of historic structures”, nor they “should not overwhelm or obscure the architecture and decorative features of historic buildings.” This Federal style building is simplistic in its architectural detailing and as such this small sign will complement its’ “simple, unadorned” facade.

The proposal will have no negative impact on the existing streetscape or the integrity of the historic district. Therefore, Staff recommends that the Board approve the application with the standard condition that the signage be mounted to the building through the mortar joints.

IV. STAFF RECOMMENDATION:

Staff recommends approval of the Certificate of Appropriateness application with the condition that the wall signage be mounted to the building through the mortar joints.

STAFF:

Michele Oaks, Historic Preservation Planner, Planning & Zoning
Stephen Milone, Division Chief, Zoning and Land Use Services

V. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F - finding

Code Administration:

F-1 The applicant shall obtain a sign permit for the proposed sign and/ or wall lettering.

C-1 Wall letters / signs must comply with USBC [H103-H111] Please indicate the method to be used for anchoring the letters to the wall.

Office of Historic Alexandria:

No comments received.

Transportation and Environmental Services:

No comments received to date.

VI. IMAGES:

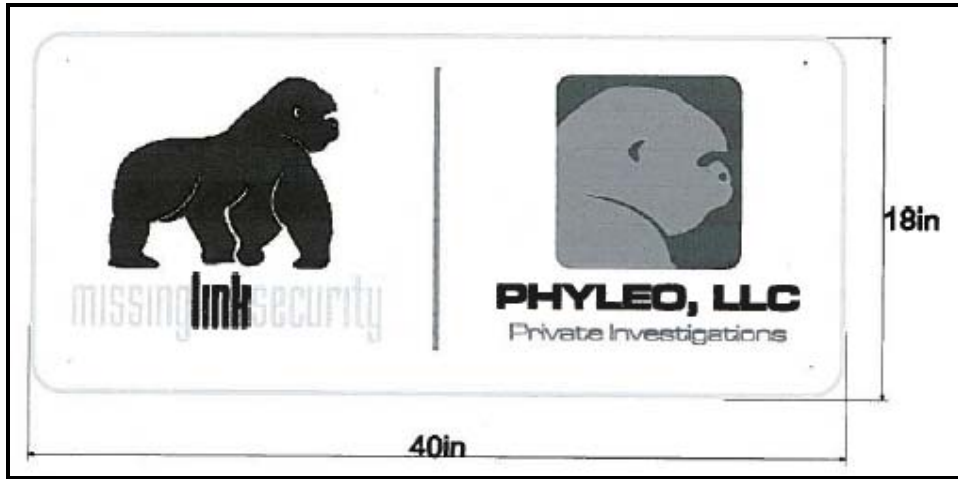


Figure 5: Proposed Wall Mounted Sign

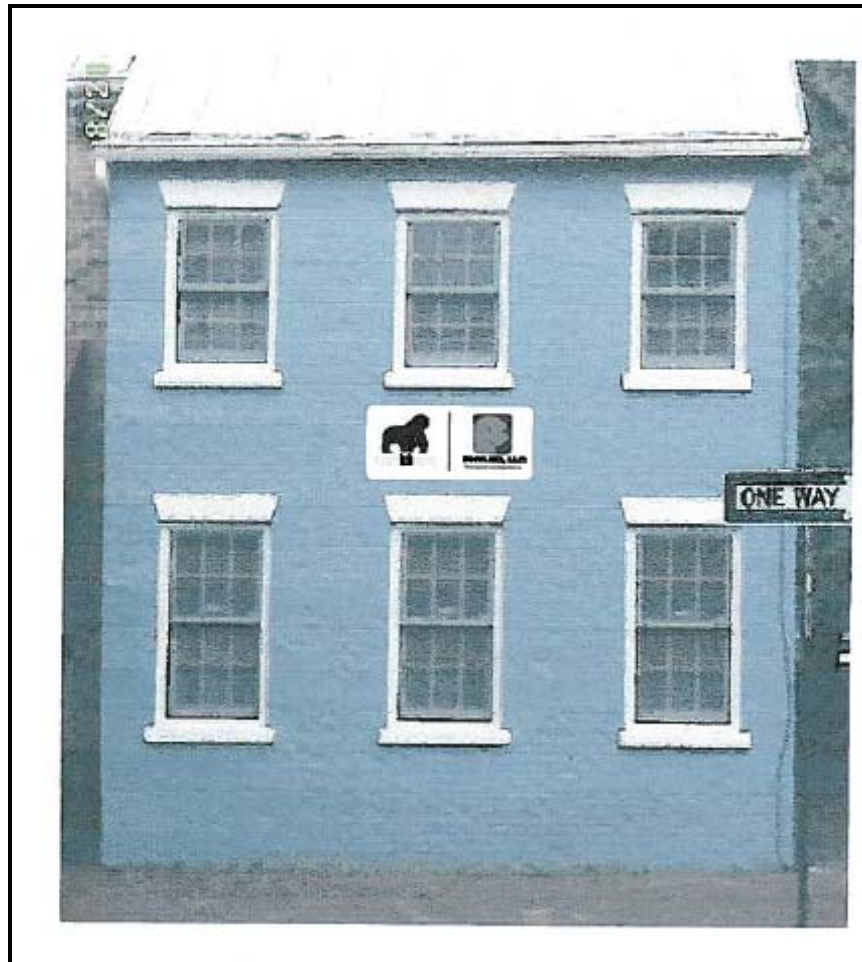


Figure 6: Proposed Wall Mounted Sign Location



Figure 7: Proposed Wall Mounted Sign Location