

Docket Item #14 & 15  
BAR CASE # 2010-0183 & 0184

BAR Meeting  
July 21, 2010

**ISSUE:** Permit to Demolish and  
Certificate of Appropriateness for Alterations

**APPLICANT:** Ian McGrath by Ray Lewis & Associates

**LOCATION:** 1012/1014 King Street

**ZONE:** KR/King Street Urban Retail

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**STAFF RECOMMENDATION:** Staff recommends re-approval of the Permit to Demolish and Certificate of Appropriateness application with the following conditions:

1. That the signage to be applied on the signboard be reviewed by the BAR, or administratively approved by staff, prior to installation.
2. That the proposed precast lintels above both of the entry doors are replaced with the existing restored decorated brick segmental arches, or if these no longer exist, with new segmental arches to match those on the windows above.
3. That the proposed full-light wood doors with four-light transoms are replaced with wood, half-glazed doors with two horizontal lower panels capped with a wood, single light transom.
4. That the proposed picture window with nine-light transom and slate base be replaced with a single light picture window with a single light transom with a painted paneled base which is fabricated on site out of milled and joined, wood composite solid material.

**\*\*EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

**\*\*BUILDING PERMIT NOTE:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs, windows, siding, and roofing). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.



**BAR CASE #2010-0183/184 07/21/2010**



**Note:** Staff coupled the reports for BAR #2010-0183 (Permit to Demolish/Encapsulate) and BAR #2010-0184 (Certificate of Appropriateness) for clarity and brevity. This item requires a roll call vote.

## **I. ISSUE**

The applicant is requesting approval of a Permit to Demolish and Certificate of Appropriateness for the construction of a new storefront at 1012/1014 King Street.

The proposed *demolition* includes:

1. Remove the existing first floor wood, storefront.
2. Remove the existing picture window (4' wide x 5' high) and enlarging the window opening approximately 25.5 square feet.
3. Demolish approximately 23 square feet of brick on the rear elevation for the installation of a new door.

The proposed *alterations* include:

4. Install a new, wood framed window (7' wide x 6.5' high) with nine-light transom with fixed exposed muntins, concrete sill and slate stone veneer base capped with a precast lintel in a flat or "soldier arch" fabricated to mimic the detailing of the brick segmental arches located on the second and third floors.
5. Remove the existing front doors and replace them with new wood, full light doors with four-light transom with fixed exposed muntins capped with precast lintels in a flat or "soldier arch" design.
6. Install a new, flush panel metal door and frame on the rear elevation.
7. Repair and re-point, as needed, the brick façade behind the existing wood storefront.
8. Install a new signboard (approx. 13' wide by 1.5' high) above the storefront.

## **II. HISTORY**

The building at 1012 King Street was built c1877 (G.M. Hopkins Atlas). This three-story, three-bay brick building has been altered significantly on the first story during the 1965 renovations. The second and third stories retain its Victorian details including the patterned brick, segmental arches above the 1/1 windows, the corbelled frieze and molded cornice. The brick is presently painted.

*Previous Approvals:*

In 1965, the building underwent major interior and exterior alterations (Building Permit #21765, 4/22/65).

On October 6, 2004, the BAR approved signage for the subject building (BAR #2004-00208)

In April of 2009, due to fire damage of the existing windows, BAR Staff administratively approved in-kind replacement windows (BAR#2009-00061).

In June of 2010, BAR Staff administratively approved the re-pointing of the existing masonry on the building's side elevations (BAR#2010-00168).

### **III. ANALYSIS**

#### **Permit to Demolish**

The portions of the commercial building to be demolished include: the existing wood storefront on King Street, 25.5 square feet of first floor brick façade to accommodate a new window, and 23 square feet of the rear addition to accommodate a new door.

In considering a Permit to Demolish, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B):

- (1) Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?
- (2) Is the building or structure of such interest that it could be made into a historic house?
- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
- (4) Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?
- (5) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?
- (6) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?

In the opinion of Staff, none of the above criteria are met. The existing wood storefront and picture window were installed in the 1965 renovation and, therefore, do not contribute to the integrity of this Victorian resource. The proposed demolition of 23 square feet on the rear elevation for the installation of a new metal door is located on the rear of the two-story historic ell, and only visible from the public service alley. The subject flush metal door is very minimal in scale and utilitarian in design. Additionally, the Sanborn Fire Insurance Maps from 1896-1940s convey that over the years one-story extensions have been added and removed from the rear elevation of this addition. Staff recommends approval of the Permit to Demolish application.

#### **Certificate of Appropriateness**

Staff strongly supports improvements to this existing storefront, as the existing mid-20<sup>th</sup> century alteration visually detracts from the streetscape. The proposed alterations include the removal of the existing wood storefront on the King Street façade in order to install a storefront window with nine-light transom and a precast lintel with a slate stone veneer base, two new storefront doors with four-light transoms and precast lintels, and a flush metal door on the rear elevation.

The existing wood storefront on King Street will be removed and replaced with new doors and a picture window with simulated divided light transoms capped with precast lintels formed into decorative “soldier arches”.

During the Staff’s review of the proposal, a 1964 photo of a portion the subject building’s front façade was uncovered. In this photo some of the original first floor storefront details can be extracted. These include a decorated segmental brick arch above the entry door (matching the existing windows above), a half-glazed two paneled wood door with a single light transom, a wood signboard above the storefront, and a Colonial Revival projecting storefront detailed with a carved cornice and wood paneled base. This design is typical for a late 19<sup>th</sup>/early 20<sup>th</sup> century storefront.<sup>1</sup>

A basic tenant of restoration philosophy when faced with a missing historic feature is that it should be reconstructed based on historical, pictorial or physical documentation. It is only when there is no evidence or documentation that a new design should be created that is compatible with the historic character of the building. In light of the photo documentation of the historic storefront, Staff believes that the original segmental arches above both doorways may still be concealed behind the existing sign band and encourages their preservation. If they do not exist, Staff recommends that segmental arches be recreated to match the photograph and the windows above to the maximum extent possible. Staff also recommends replication of the original wood, half-glazed doors with two horizontal lower panels capped with a single light transom.

Staff would support restoration of the projecting bay window to match the photo but also supports a storefront picture window similar to the one proposed by the applicant. However, where the windows above are one-over-one sash, it is unlikely that door or storefront window transoms would be multi-light. Staff therefore recommends that all transoms be single light. Finally, Staff believes that the bulkhead below the new picture window should be fabricated on site out of milled and joined, wood composite solid material to more closely reflect the historic bay window design.

Staff recommends approval of the Certificate of Appropriateness application with the above recommended conditions.

**STAFF:**

Michele Oaks, Historic Preservation Planner, Planning & Zoning  
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

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<sup>1</sup> Excerpt from NPS Brief 11: Rehabilitating Historic Storefronts “The typical 19th century storefront consisted of single or double doors flanked by display windows. The entrance was frequently recessed, not only to protect the customer from inclement weather but to increase the amount of space in which to display merchandise. In some cases an additional side door provided access to the upper floors. Thin structural members of cast iron or wood, rather than masonry piers, usually framed the storefront. The windows themselves were raised off the ground by wood, cast iron or pressed metal panels or bulkheads; frequently, a transom or series of transoms (consisting of single or multiple panes of glass) were placed above each window and door. The signboard above the storefront (the fascia covering the structural beam) became a prominent part of the building.”

CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Code Administration:

No Comments received.

Transportation and Environmental Services (T & ES)

No Comments received.

Historic Alexandria

No Comments received.

Alexandria Archaeology

No Comments received.

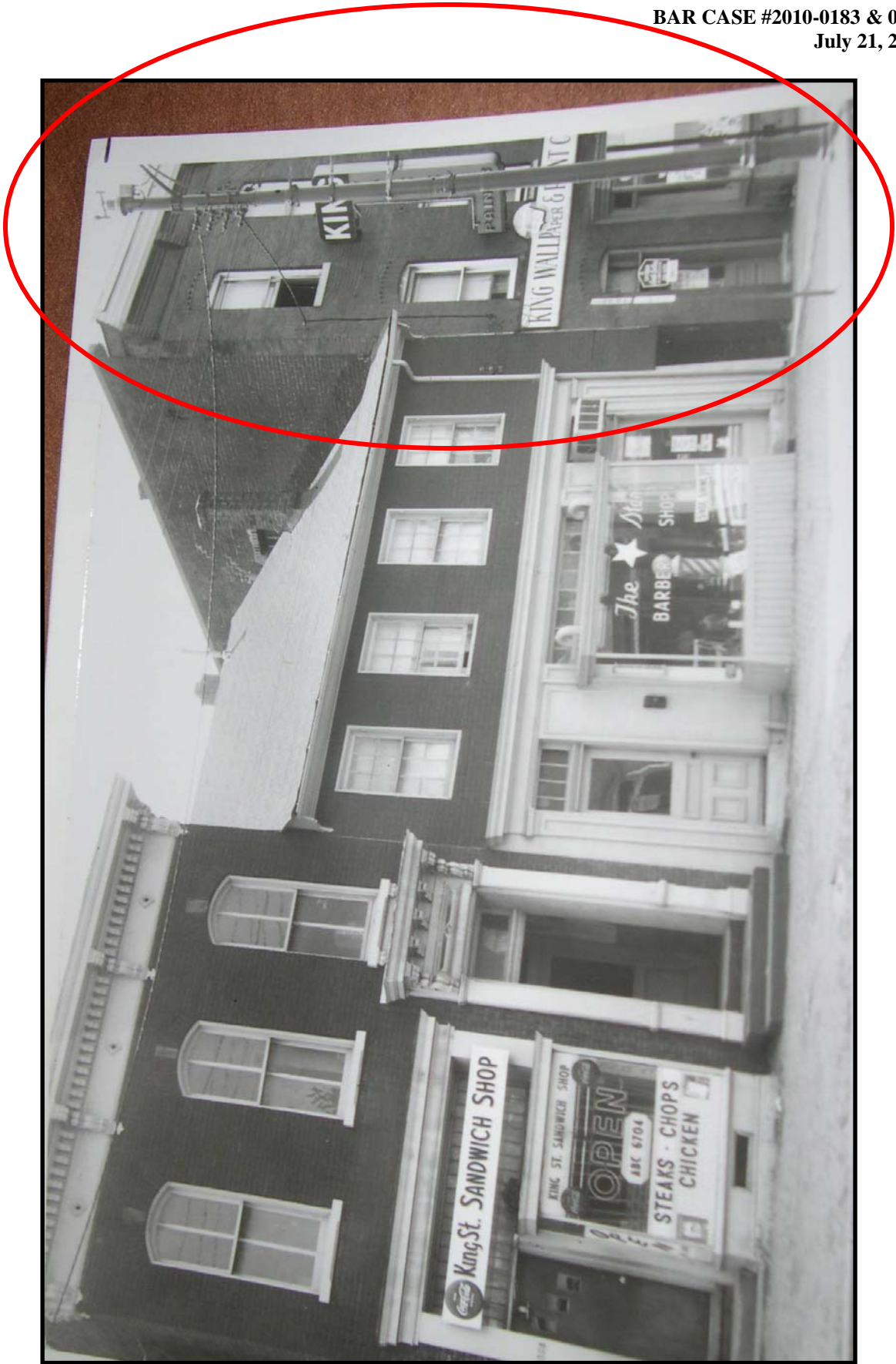


Figure 1: 1964 Historic Photo



Figure 2: Existing Conditions Streetscape



Figure 3: Existing Conditions Streetscape – Across the Street from subject property



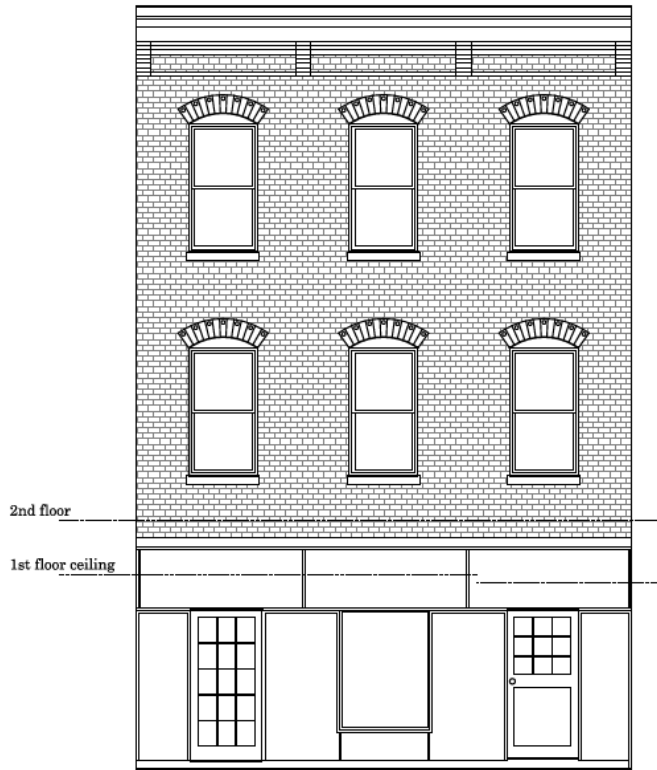


Figure 4: Existing Front Elevation

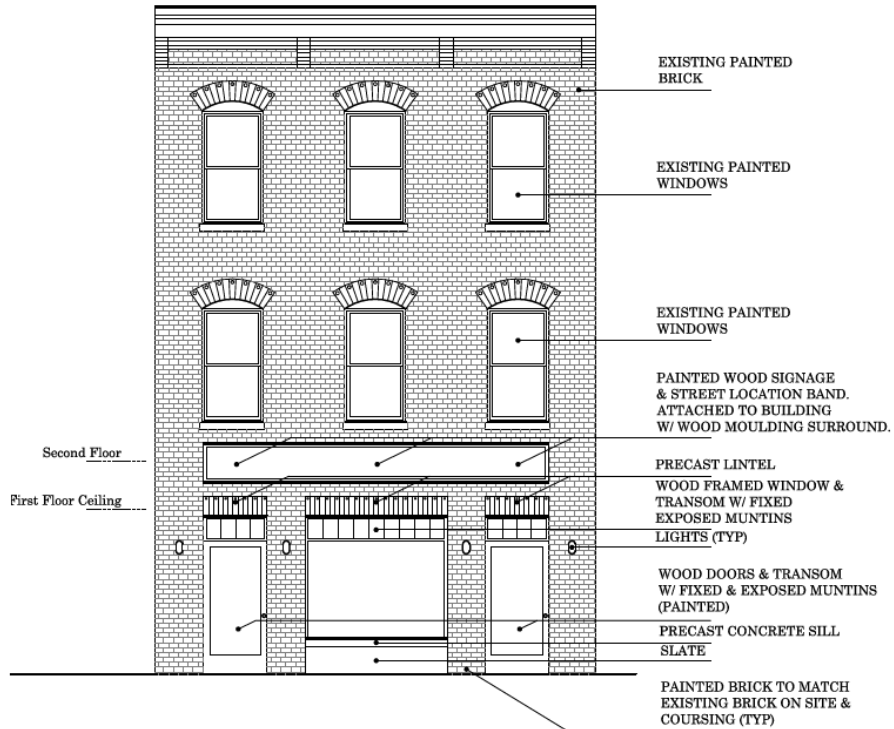


Figure 5: Proposed Front Elevation

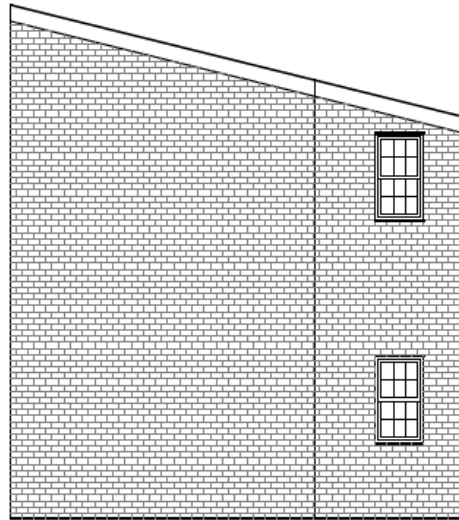


Figure 6: Existing Rear Elevation

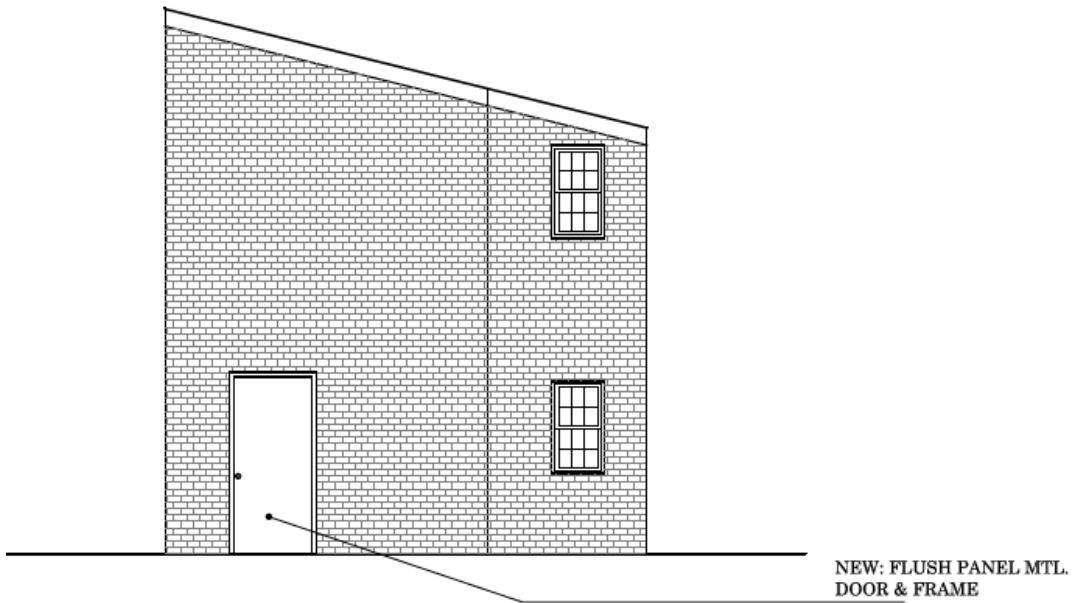


Figure 7: Proposed Rear Elevation

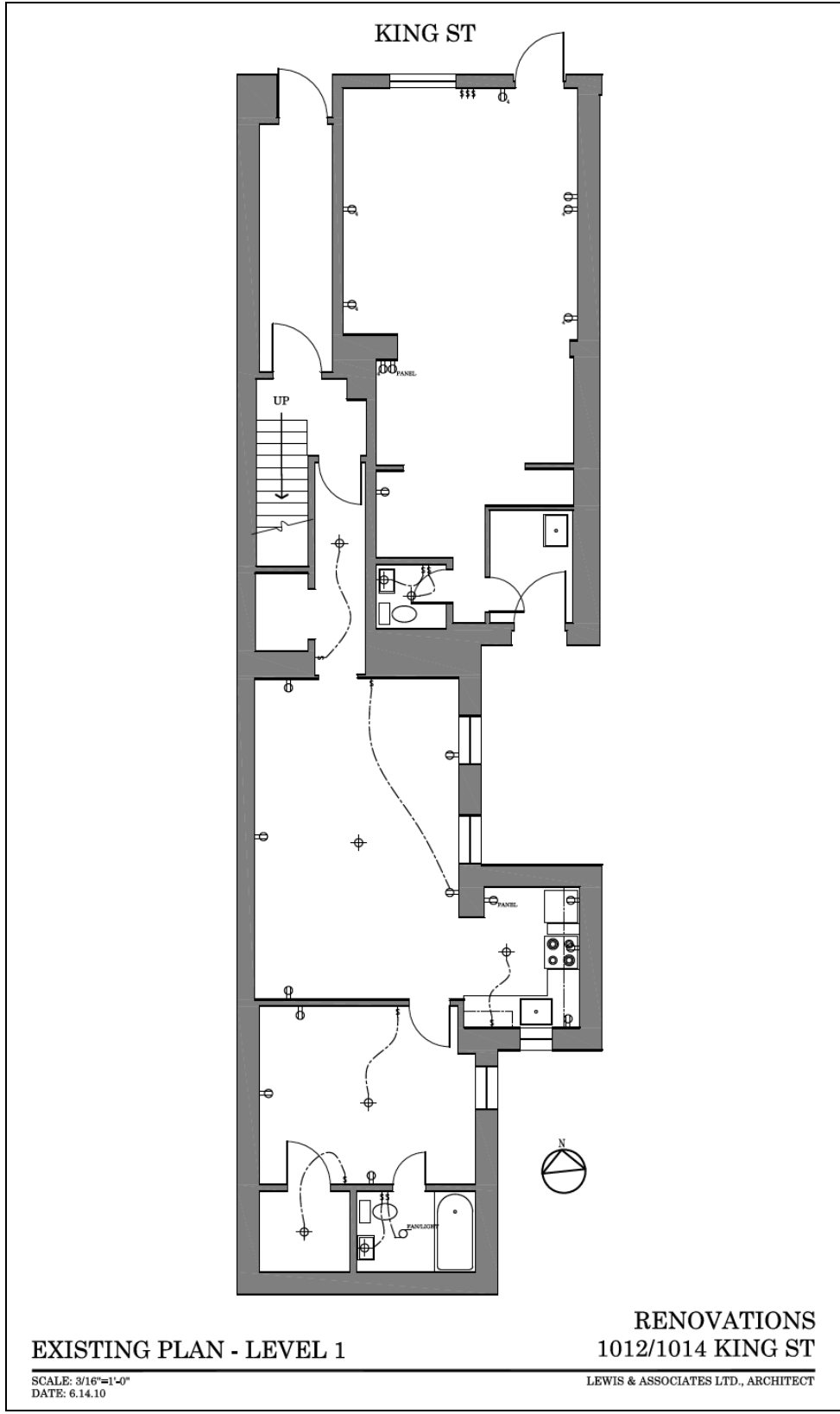


Figure 8: Existing First Floor Plan

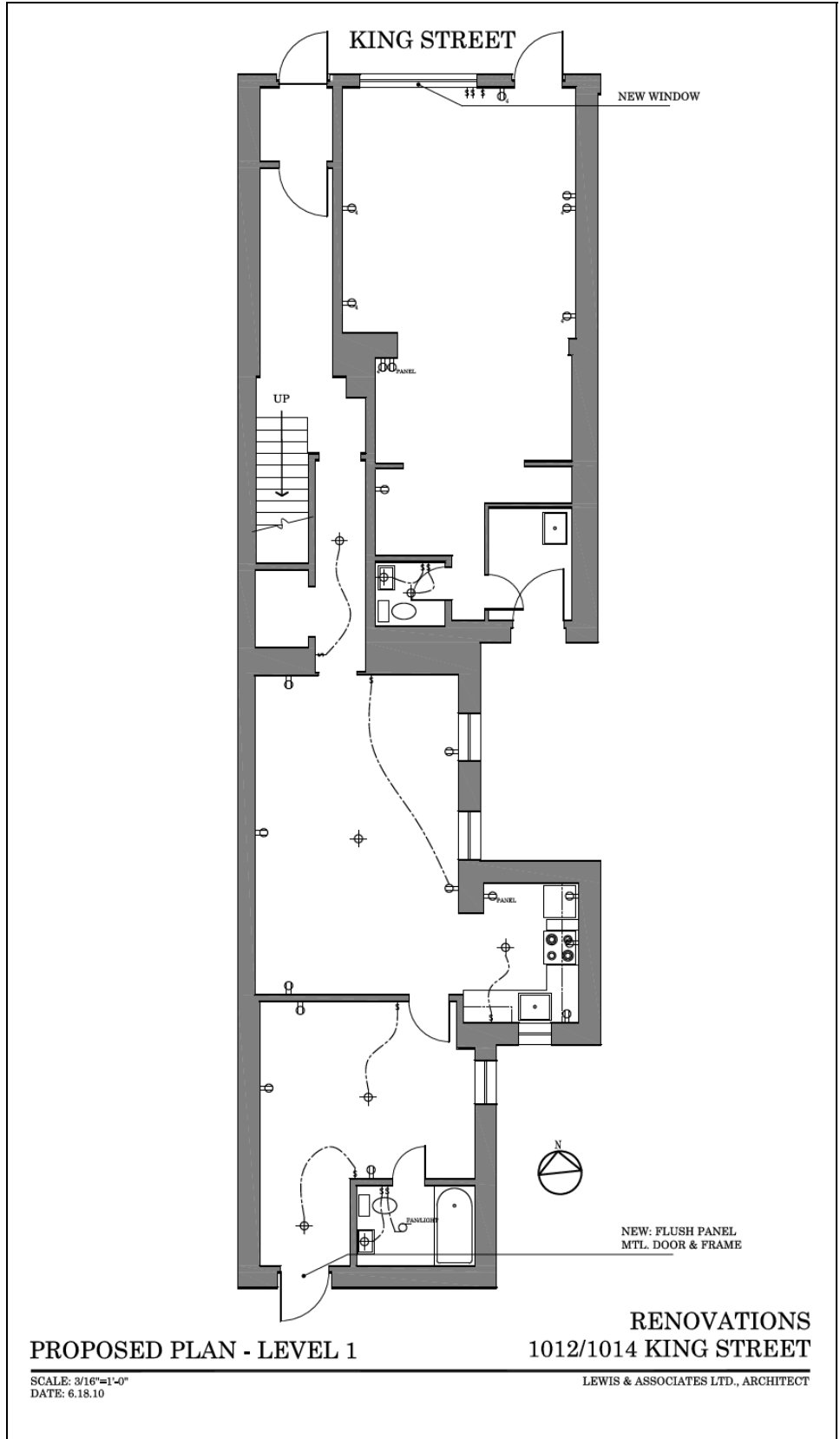


Figure 9: Proposed First Floor Plan