

BAR Meeting  
July 21, 2010

**ISSUE:** Permit to Demolish/Encapsulate and Addition/Alterations

**APPLICANT:** Ed and Betty Spar by Karen Conkey

**LOCATION:** 206 Wolfe Street

**ZONE:** RM / Residential

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**STAFF RECOMMENDATION:** Staff recommends approval of the Permit to Demolish/Encapsulate and the Certificate of Appropriateness for an addition and alterations with the following conditions:

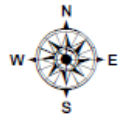
1. \*The applicant/developer shall call Alexandria Archaeology (703/838-4399) two weeks before the starting date of any ground disturbance so that a monitoring and inspection schedule for city archaeologists can be arranged.
2. \*The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
3. \*The applicant/developer shall not allow any metal detection or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology.
4. The statements in archaeology conditions above marked with an asterisk "\*" shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements.

**\*\*EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

**\*\*BUILDING PERMIT NOTE:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.



**BAR CASE #2010-0187/188 07/21/2010**



**Note:** Staff coupled the reports for BAR #2010-0187 (Permit to Demolish/Encapsulate) and BAR #2010-0188 (Certificate of Appropriateness) for clarity and brevity. This item requires a roll call vote.

## **I. ISSUE**

The applicant is requesting approval of a Permit to Demolish/Encapsulate and a Certificate of Appropriateness for the construction of an addition and alterations at 206 Wolfe Street.

### Permit to Demolish/Encapsulate

- Demolish/encapsulate first story wall of rear ell on the south elevation to accommodate a new one-story conservatory addition
- Demolish of a portion of second story wall of rear ell on the south elevation to convert an existing window to a door

### Alterations

- Install a new door in place of existing window at second story on south elevation
- Install a retractable striped awning above second story on south elevation

### Addition

The proposed one-story addition is designed to read as a neo-classical style conservatory. The addition will measure approximately 12.5 feet in width and extend 14 feet 2 inches from the rear wall at the first story (second story rear wall already projects 4 feet 2 inches). The conservatory will have a brick base, painted wood pilasters and single-hung, two-over-two wood windows. The east elevation of the conservatory will feature a pair of french doors with a multi-light transom flanked by copper lanterns. The addition will have a flat roof with a simple painted wood balustrade at the second story.

## **II. HISTORY**

206 Wolfe Street is a three-bay, two-story brick townhouse with a recessed entry. According to Ethelyn Cox in *Historic Alexandria Street by Street*, 206 and 208 Wolfe Street were constructed after a fire in January 1871 which destroyed two frame buildings. The house first appears on a Sanborn Fire Insurance Map in 1902 with a main block and a rear one-story addition. By 1907, the Sanborn Fire Insurance Map shows a two-story rear addition.

In 1976 the Board approved alterations to the stoop and garden wall (5/19/76, 6/16/76, 6/21/76).

## **III. ANALYSIS**

Staff has no objection to the proposed demolition and encapsulation of portions of the south wall and finds the proposed addition and alterations to be compatible with the existing building and surrounding area. The proposed project complies with zoning ordinance regulations.

### Permit to Demolish

In considering a Permit to Demolish, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B):

- (1) Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?

- (2) Is the building or structure of such interest that it could be made into a historic house?
- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
- (4) Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?
- (5) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?
- (6) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?

In the opinion of Staff, none of the criteria for demolition and encapsulation are met and the Permit to Demolish/Encapsulate should be granted. The area proposed for demolition/encapsulation is minimal in scope, located on a tertiary elevation, does not remove any portion of the building containing character defining features of uncommon design or historic merit, and does not compromise the integrity of the building as a whole.

#### Addition and Alterations

The construction of an addition to any building within a historic district must be evaluated not only for its impact on the building to which it is being attached, but also for its impact on the district as a whole. The *Design Guidelines* encourage “designs that are respectful of the existing structure and which seek to be background statements or which echo the design elements of the existing structure.” As the attached drawings illustrate, the proposed addition does not overwhelm the existing building and will clearly read as a separate and distinct addition. This modest addition is appropriate in respect to massing, scale and form. The use of pilasters or columns is common for conservatories and enclosed porches. Although the conservatory will be attached to the frame portion of the building, the brick base will relate to the existing brick garden wall and patio as well as help control moisture in a space where plants will be located.

The proposed retractable awning is consistent with the *Design Guidelines* which note that “shed or sloped awnings are more appropriate than other awning forms” and that “awnings should be made of a canvas type fabric.” While a striped awning will be more visible than a solid color, the awning will only be visible from the alley and will only be open while actively in use.

The proposed change of a window to a door on the second story is an appropriate alteration and consistent with the *Design Guidelines*.

All of the proposed materials are historically appropriate and contribute to the compatibility of the addition with the historic building.

Staff recommends approval of the Permit to Demolish/Encapsulate and the Certificate of Appropriateness for an addition and alterations with the conditions noted above.

**STAFF**

Catherine Miliaras, Historic Preservation Planner, Planning & Zoning  
Al Cox, FAIA, Historic Preservation Manager

**IV. CITY DEPARTMENT COMMENTS**

Legend: C - code requirement R - recommendation S - suggestion F- finding

**Code Administration**

No comments received.

**Historic Alexandria**

No comments received.

**Alexandria Archaeology**

**Finding**

1. A house has been on this lot since at least the mid-19<sup>th</sup> century. The property therefore has the potential to yield archaeological resources which could provide insight into domestic activities in 19<sup>th</sup>-century Alexandria.

**Recommendations**

\*1. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.

\*2. The applicant/developer shall not allow any metal detection or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology.

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**Transportation and Environmental Services**

**Recommendations**

R1. The building permit plans shall comply with requirements of City Code Section 8-1-22 regarding the location of downspouts, foundation drains and sump pumps. Refer to Memorandum to Industry dated June 18, 2004. [Memorandum is available online at the City web site under Transportation\Engineering and Design\Memos to Industry.]. (T&ES)

R2. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R3. All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (T&ES)

- R4. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- R5. An erosion and sediment control plan must be approved by T&ES prior to any land disturbing activity greater than 2,500 square feet. (T&ES)
- R6. Compliance with the provisions of Article XIII of the City's zoning ordinance for stormwater quality control is required for any land disturbing activity greater than 2,500 square feet. (T&ES)

### **Findings**

- F1. An approved grading plan may be required at the time of building permit application. Insufficient information has been provided to make that determination at this time. In summary, City Code Section 8-1-22(d) requires that a grading plan be submitted to and approved by T&ES prior to the issuance of building permits for improvements involving:
- the construction of a new home;
  - construction of an addition to an existing home where either
    - the addition exceeds the area of the existing building footprint by 100% or more;
    - or, the construction of the addition results in less than 50% of the existing first floor exterior walls, in their entirety, remaining;
  - changes to existing grade elevation of 1-foot or greater;
  - changes to existing drainage patterns;
  - land disturbance of 2,500 square feet or greater.
- Questions regarding the processing of grading plans should be directed to the T&ES Site Plan Coordinator at (703) 838-4318. Memorandum to Industry No. 02-08 was issued on April 28, 2008 and can be viewed online via the following link.  
**<http://alexandriava.gov/uploadedFiles/tes/info/gradingPlanRequirements.pdf>**

### **City Code Requirements**

- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99).
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line.
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.8-1-22)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3)

- C-5 Pay sanitary sewer tap fee prior to release of Grading Plan. (Sec. 5-6-25)
- C-6 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-3-61)

V. IMAGES

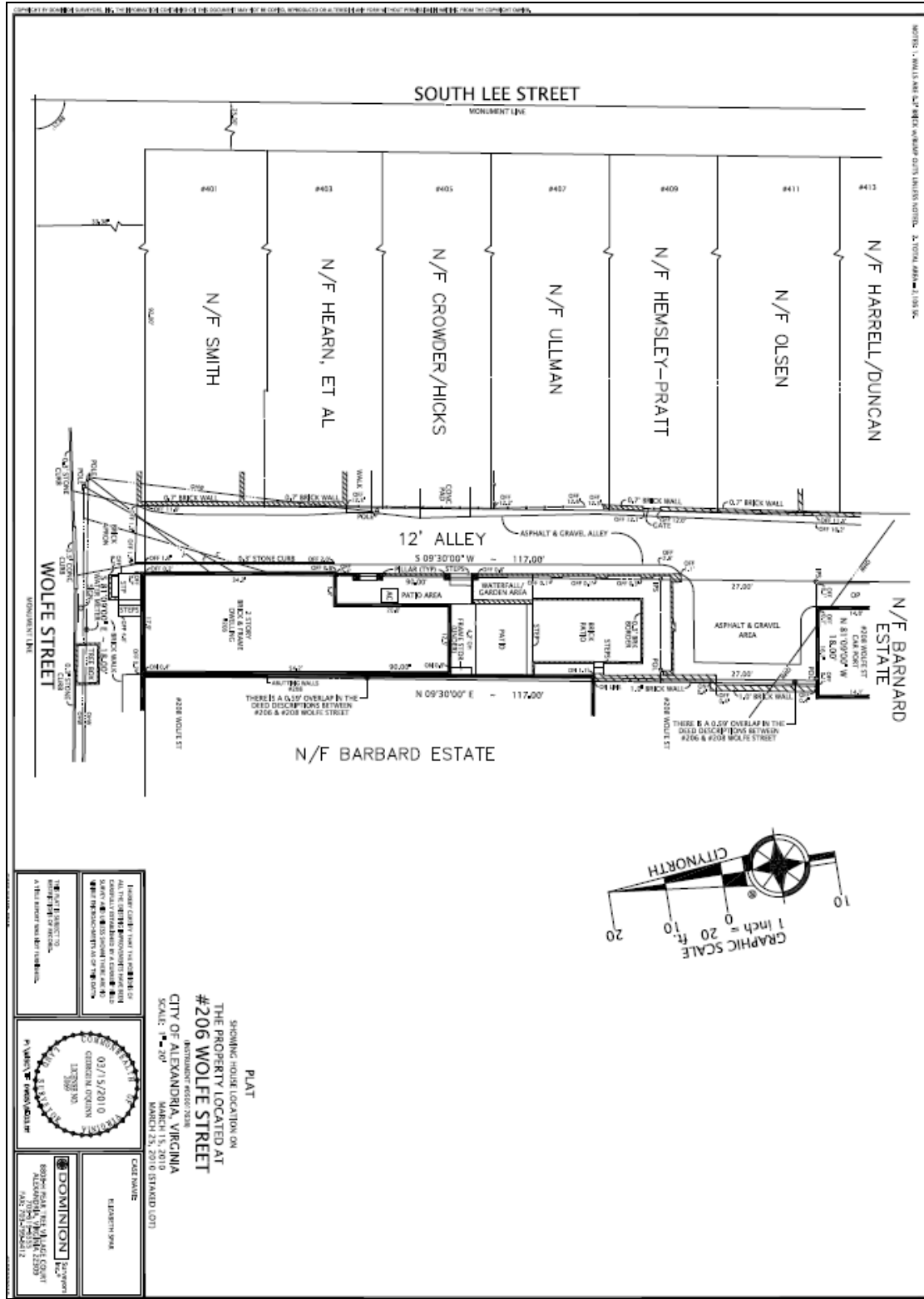


Figure 1. Plat showing existing conditions.





Figure 2. Front elevation, 206 Wolfe Street.



Figure 3. Existing south (rear) elevation.



Figure 4. Existing east (side) elevation.

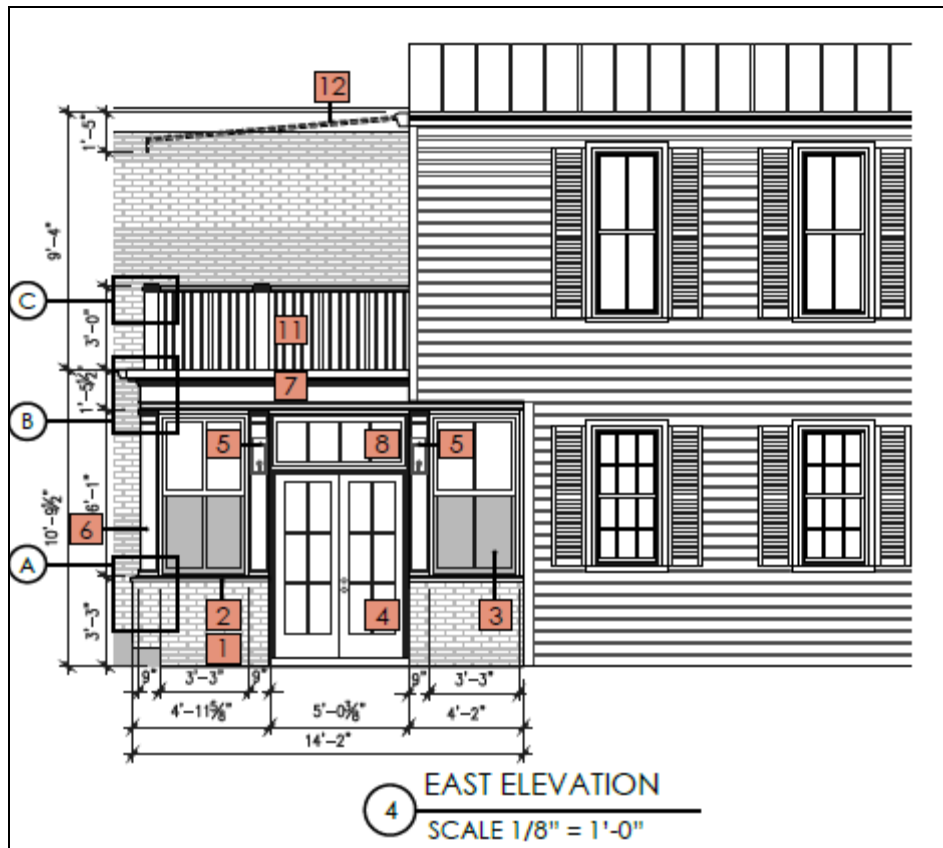


Figure 5. Proposed east elevation.

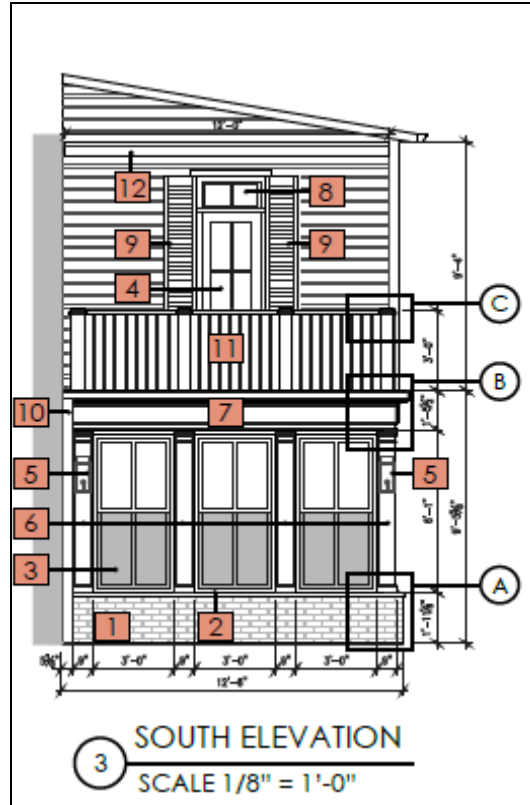


Figure 6. Proposed south elevation.

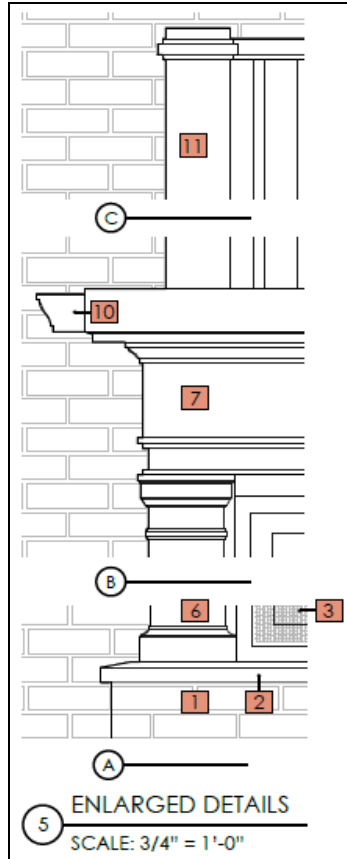


Figure 7. Details of proposed addition.

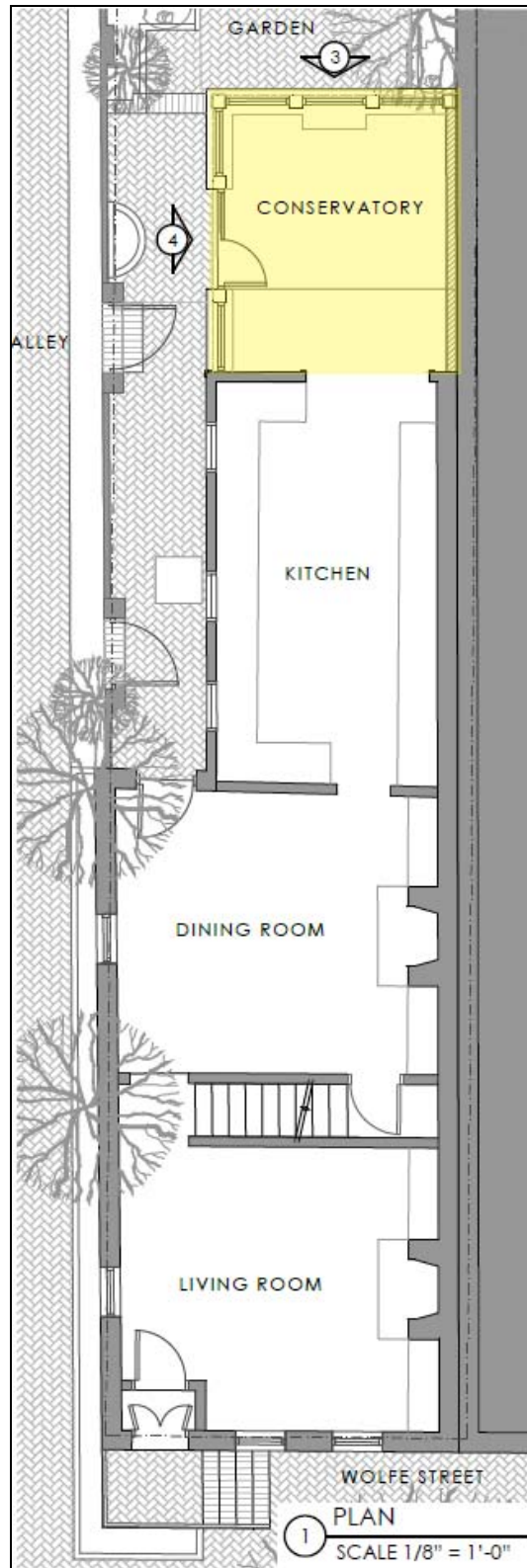


Figure 8. Proposed plan.