

Docket Item # 19 & 20
BAR CASE # 2010-0190

BAR Meeting
July 21, 2010

ISSUE: Permit to Demolish and Certificate of Appropriateness for an Addition & Alterations

APPLICANT: Marie Potier

LOCATION: 1314 King Street

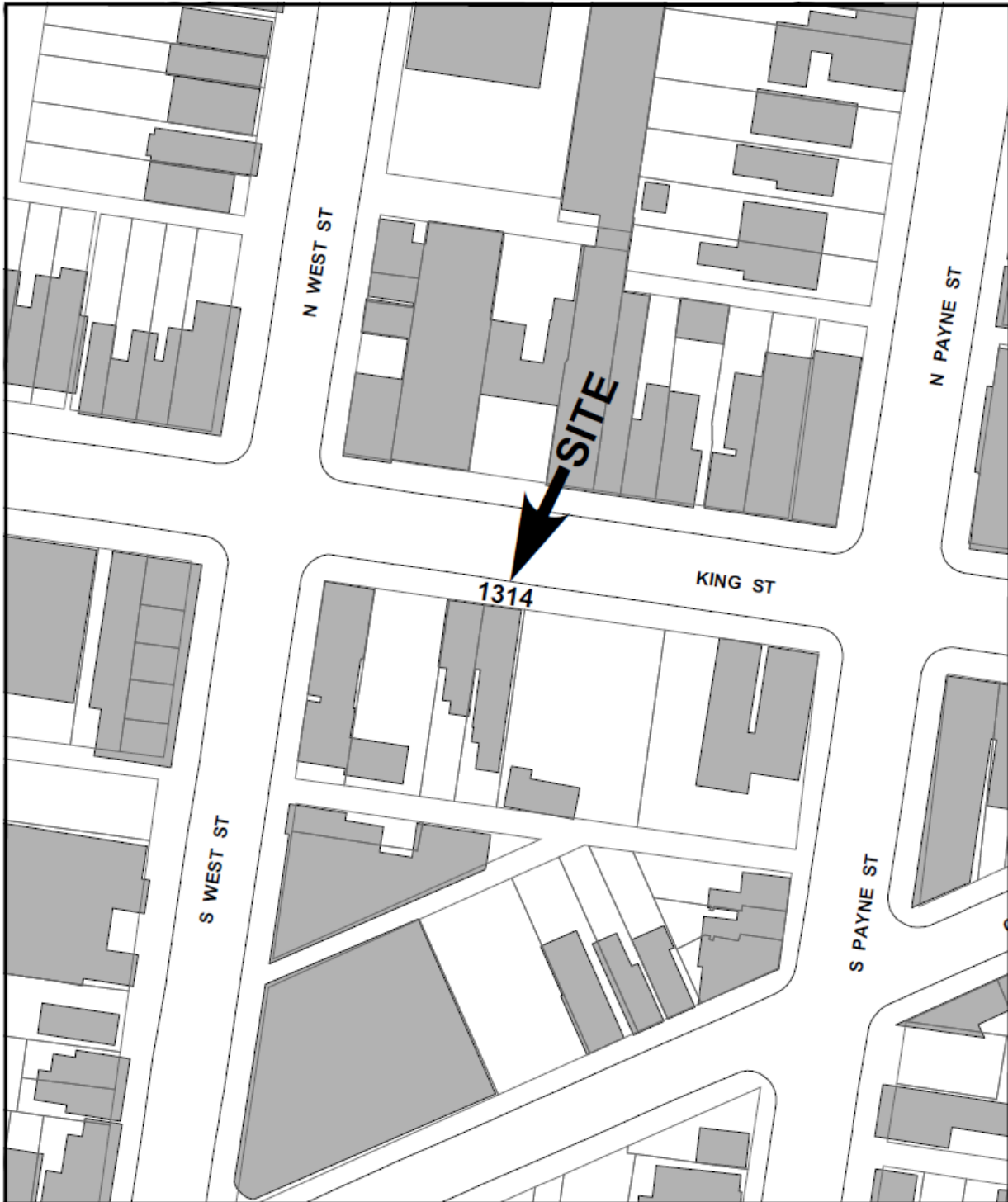
ZONE: KR/King Street Urban Retail

STAFF RECOMMENDATION: Staff recommends re-approval of the Permit to Demolish and Certificate of Appropriateness application with the following conditions:

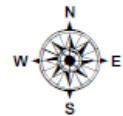
1. That the recessed panels on the west elevation be similar in shape and spacing to the openings on the original building, with Staff review and approval prior to issuance of a building permit.
2. The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
3. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.
4. The statements in Conditions 1 and 2 shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Erosion and Sediment Control, Grading, and Sheeting and Shoring) so that on-site contractors are aware of the requirements. Additional statements to be included on the Final Site Plan will be determined in consultation with Alexandria Archaeology.

****EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

****BUILDING PERMIT NOTE:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs, windows, siding, and roofing). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.



BAR CASE #2010-0189/190 07/21/2010



Note: Staff coupled the reports for BAR #2010-0189 (Permit to Demolish/Encapsulate) and BAR #2010-0190 (Certificate of Appropriateness) for clarity and brevity. This item requires a roll call vote.

UPDATE: The subject case is a request for re-approval of the Permit to Demolish and Certificate of Appropriateness to construct a rear addition at 1314 King Street because that original approval has expired. The current proposal has not been altered from its original submittal. The original design was unanimously approved by the BAR with the Staff recommended conditions on February 6, 2008.

I. ISSUE

The applicant is requesting re-approval of a Permit to Demolish and Certificate of Appropriateness for the construction of a rear addition at 1314 King Street.

The proposed addition will be constructed over an existing one-story concrete block addition and will encapsulate the second story rear facade. The proposed addition will measure approximately 18'7" by 21' 2" and range in height from 17'2" to 25'6".

The addition will encompass an existing metal stair that already provides access to the building's second floor. On the west elevation the addition will rise approximately 4' over the existing building and on the east elevation the addition will be approximately 4.5' lower than the roofline of the original building. On the first floor, the addition will consist of enclosing the existing stair on the west and providing a large opening which will maintain access to the stair and the one-story addition. On the second floor, the addition will span the width of the lot, roughly 18'.

The addition will have a flounder roof form with a standing seam metal roof. There will be four recessed panels on the west elevation to provide visual interest. The east, and most visible, elevation will be a solid wall with no openings. On the south elevation the existing first floor window will be replaced and a larger, projecting window will be installed on the second floor. Both windows will be one-over-one Kolbe & Kolbe wood windows with wood trim.

The proposed addition, as well as the existing concrete block one-story portion, will be clad with a buff colored stucco and the standing seam metal roof will be a terra cotta color similar to the building's brick exterior. The ogee-shaped gutters, the downspouts, and the wood windows will be painted white to match the trim of the existing building.

II. HISTORY

The two-story, brick commercial building at 1314 King Street was constructed as a grocery in 1908-1909. The Board has approved a number of sign applications for the building (BAR Case 2001-0109, 6/6/2001; BAR Case 1999-0002, 2/3/99; and, BAR Case 1998-0204, 12/16/1998). Staff could find no record of Board approval for the concrete block one-story rear addition.

III. ANALYSIS

Permit to Demolish

In considering a Permit to Demolish, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B):

- (1) Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?
- (2) Is the building or structure of such interest that it could be made into a historic house?
- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
- (4) Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?
- (5) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?
- (6) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?

In the opinion of Staff, none of the above criteria are met. The demolition/encapsulation is located on the rear of the building and is very minimal in scale. Therefore staff recommends approval of the Permit to Demolish.

Addition

Proposed addition and alterations comply with FAR and zoning regulations.

In the opinion of staff, the proposed addition is appropriate and compatible with the existing commercial building at 1314 King Street and conforms to the *Design Guidelines* for commercial additions. It is relatively modest in size and is differentiated from the historic building by a change in materials. The addition will not overwhelm the 1909 commercial building and will vastly improve the appearance of the rear of the property which is quite visible from King Street, given its location next to the surface lot at 1310 King Street.

While staff sees the benefit of breaking up the addition's large west elevation with recessed panels, staff would prefer to see them be similar in shape and spacing to the openings on the historic building. Staff recommends that these minor modifications be reviewed and approved by staff prior to issuance of a building permit.

Staff notes the comments of Alexandria Archaeology.

Staff recommends that the Board re-approve the application with the previously approved conditions as outlined in the above Staff recommendations.

STAFF

Michele Oaks, Historic Preservation Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Code Administration

No comments received.

Transportation and Environmental Services (T & ES)

Recommendations

- R1. The building permit plans shall comply with requirements of City Code Section 8-1-22 regarding the location of downspouts, foundation drains and sump pumps. Refer to Memorandum to Industry dated June 18, 2004. [Memorandum is available online at the City web site under Transportation\Engineering and Design\Memos to Industry.]. (T&ES)
- R2. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R3. All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (T&ES)
- R4. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- R5. An erosion and sediment control plan must be approved by T&ES prior to any land disturbing activity greater than 2,500 square feet. (T&ES)
- R6. Compliance with the provisions of Article XIII of the City's zoning ordinance for stormwater quality control is required for any land disturbing activity greater than 2,500 square feet. (T&ES)

Findings

- F1. An approved grading plan may be required at the time of building permit application. Insufficient information has been provided to make that determination at this time. In summary, City Code Section 8-1-22(d) requires that a grading plan be submitted to and approved by T&ES prior to the issuance of building permits for improvements involving:
- the construction of a new home;
 - construction of an addition to an existing home where either
 - the addition exceeds the area of the existing building footprint by 100% or more;
 - or, the construction of the addition results in less than 50% of the existing first floor exterior walls, in their entirety, remaining;
 - changes to existing grade elevation of 1-foot or greater;
 - changes to existing drainage patterns;
 - land disturbance of 2,500 square feet or greater.
- Questions regarding the processing of grading plans should be directed to the T&ES Site

Plan Coordinator at (703) 838-4318. Memorandum to Industry No. 02-08 was issued on April 28, 2008 and can be viewed online via the following link.

<http://alexandriava.gov/uploadedFiles/tes/info/gradingPlanRequirements.pdf>

City Code Requirements

- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99).
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line.
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.8-1-22)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3)
- C-5 Pay sanitary sewer tap fee prior to release of Grading Plan. (Sec. 5-6-25)
- C-6 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-3-61)

Historic Alexandria

- R-1 Approve.

Alexandria Archaeology

Archaeology

F-1 Tax records from 1810, 1830 and 1850 indicate the presence of free African American households on this street face, but the exact addresses are unknown. The G.M. Hopkins fire insurance atlas shows a structure on this property by 1877. The property therefore has the potential to yield archaeological resources that could provide insight into domestic activities in 19th-century Alexandria, perhaps relating to free African Americans.

F-2 If this project is a federal undertaking or involves the use of any federal funding, the applicant shall comply with federal preservation laws, in particular Section 106 of the National Historic Preservation Act of 1966. The applicant will coordinate with the Virginia Department of Historic Resources and the federal agency involved in the project, as well as with Alexandria Archaeology.

Conditons

R-1 *The applicant/developer shall call Alexandria Archaeology immediately (703-838-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.

R-2 *The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

R-3 The statements in archaeology conditions above marked with an asterisk (*) shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Erosion and Sediment Control, Grading, and Sheeting and Shoring) so that on-site contractors are aware of the requirements. Additional statements to be included on the Final Site Plan will be determined in consultation with Alexandria Archaeology.

V. IMAGES



Figure 1. Front elevation of 1314 King Street.



Figure 2. Rear and Side Elevations

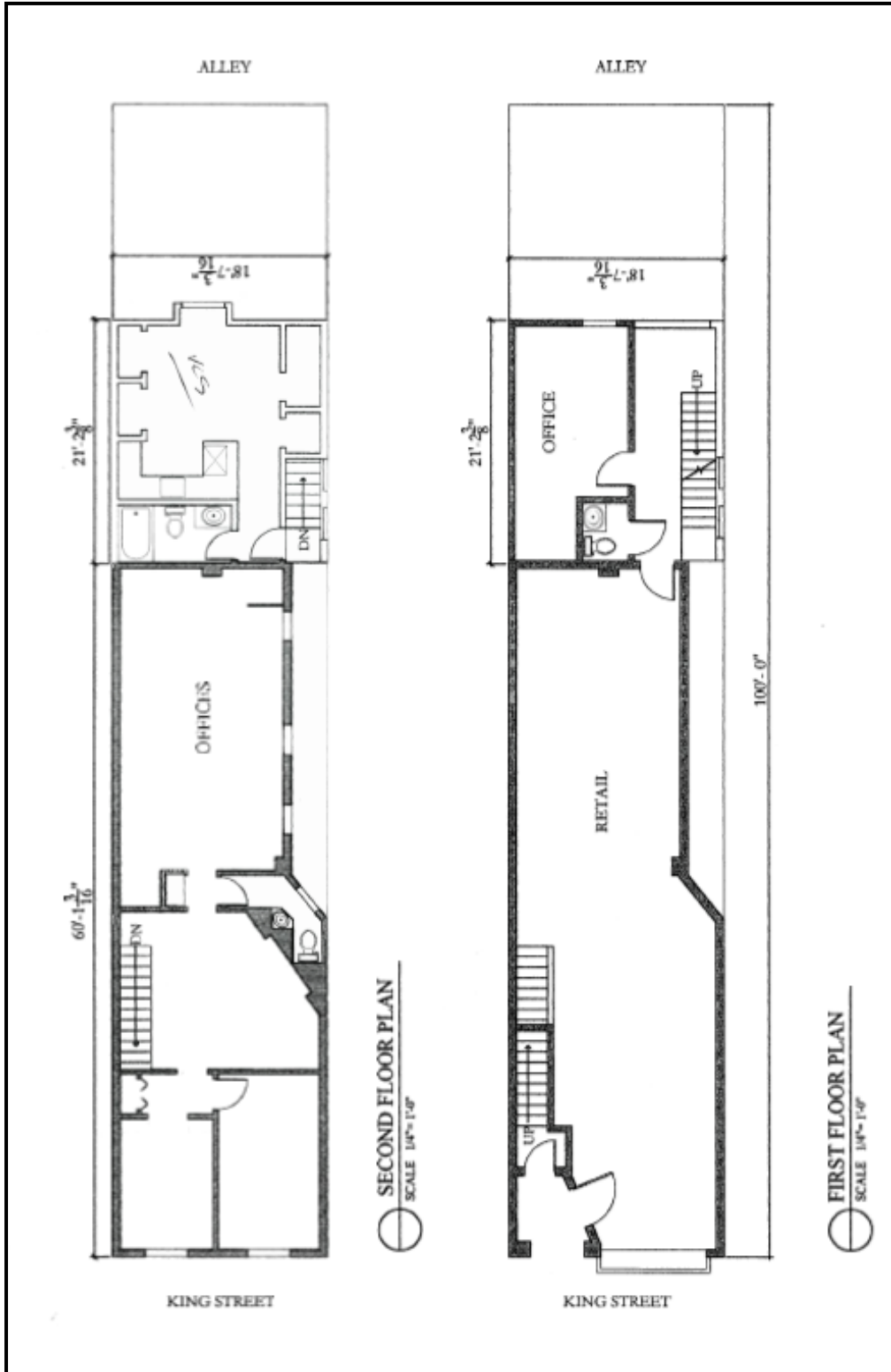


Figure 4. Floor Plans

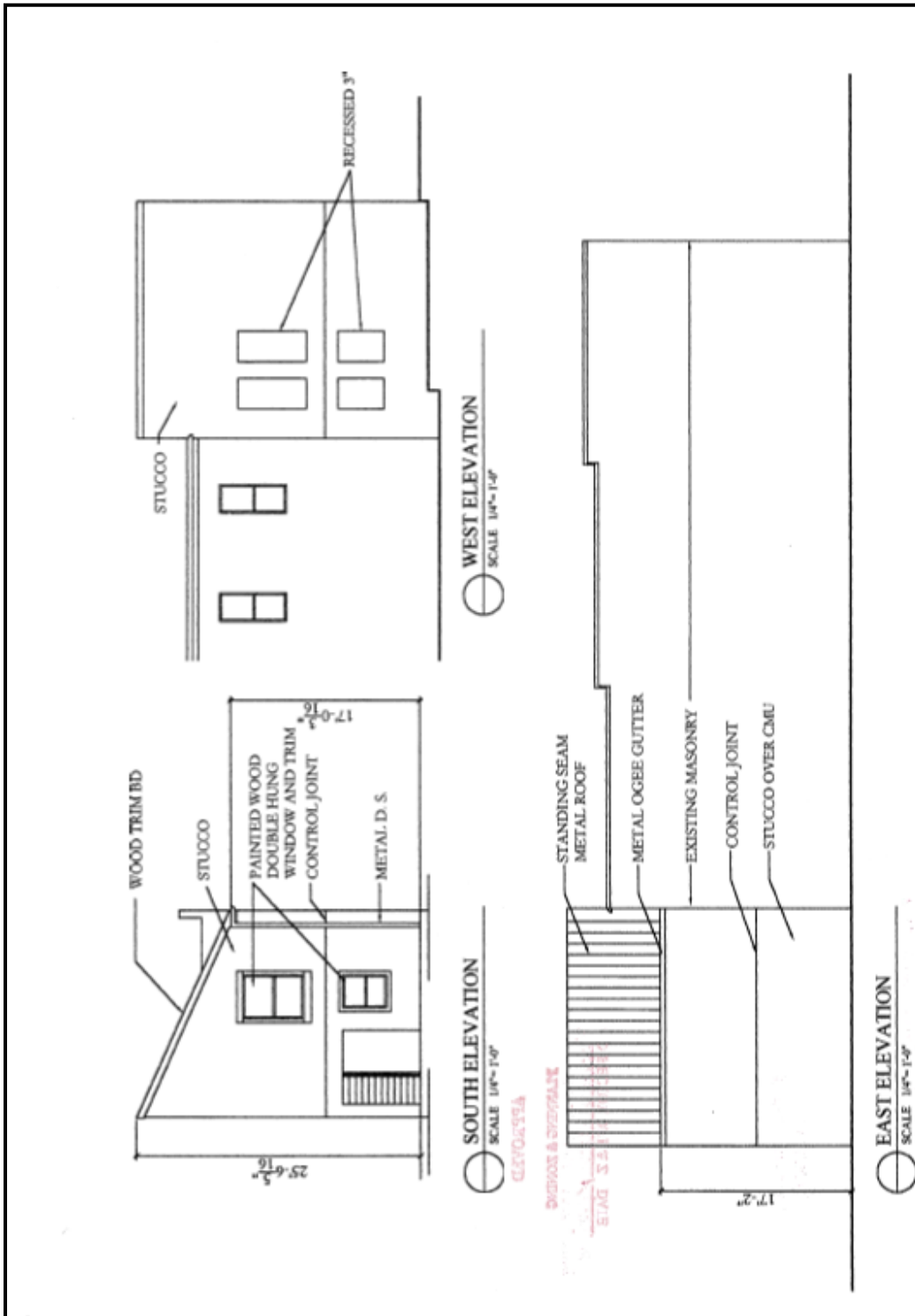


Figure 5. Rear and Side Elevations