

Docket Item # 9
BAR CASE #2010-0284

BAR Meeting
October 20, 2010

ISSUE: Alterations (Window Replacement)

APPLICANT: Paul and Amy O'Sullivan

LOCATION: 333 Green Street

ZONE: RM/Residential

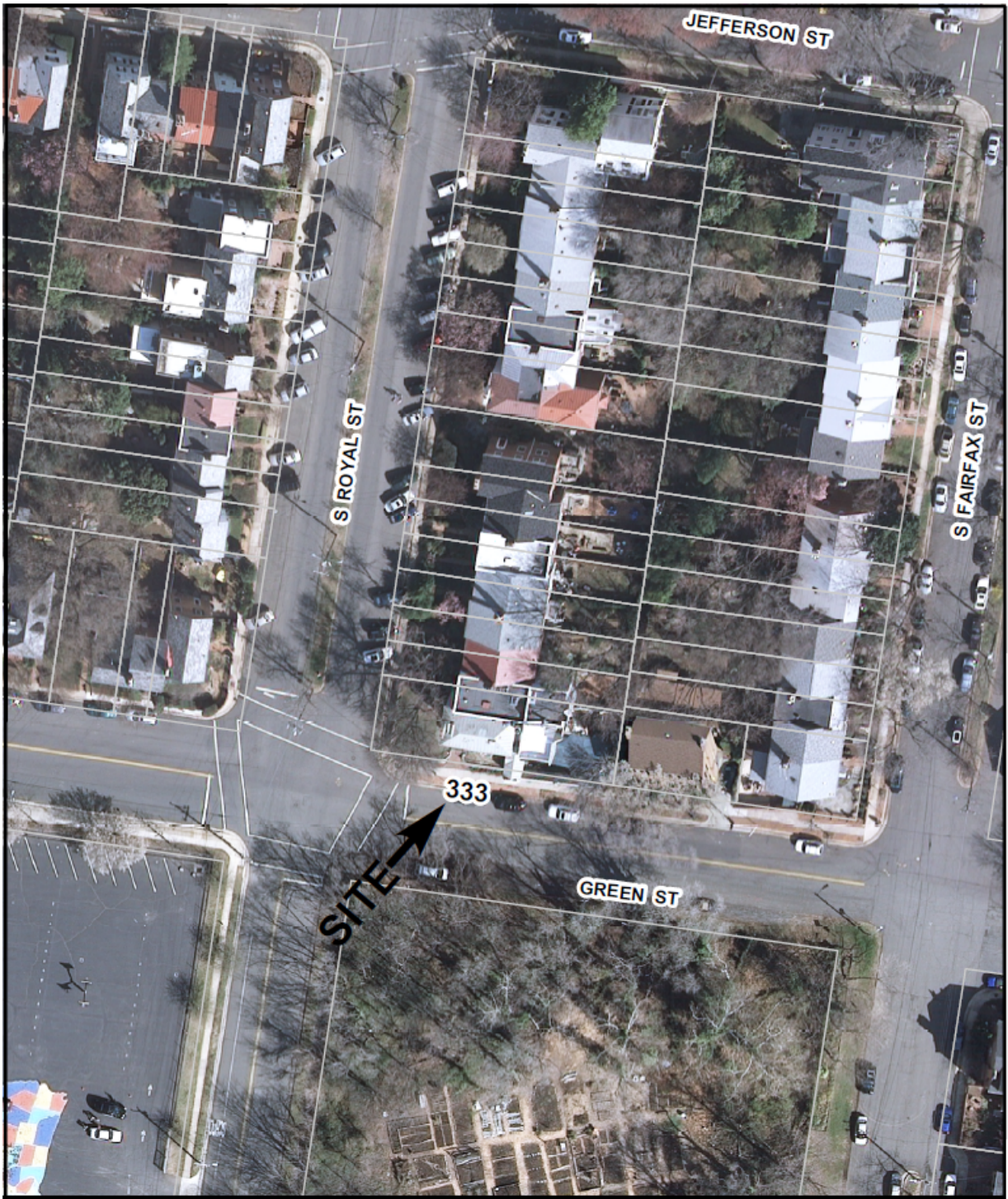
STAFF RECOMMENDATION: Staff recommends approval of the application, with the conditions that:

1. The proposed wood casement windows be installed with multi-light, simulated-divided light insulated glass windows with permanently fixed muntins on the interior and exterior, with spacer bars between the glass that are a non-reflective, medium value color;
2. Muntins must be paintable and have a putty glaze profile on the exterior;
3. The applicant must submit complete window manufacturer specification sheets and a contractor order form to BAR staff for final approval with the building permit application.

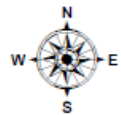
*EXPIRATION OF APPROVALS NOTE: In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of final approval if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

**BUILDING PERMIT NOTE: Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.

***Staff reminds the applicant that, as of June 1, 2010, window replacement requires a building permit within the historic districts.



BAR CASE #2010-0284



I. ISSUE

The applicant is requesting approval of a Certificate of Appropriateness for replacement windows at 333 Green Street.

The applicant is proposing to:

- Replace a total of eleven (11) windows; seven on the front (south) elevation and four on the side (west) elevation. The existing windows are single-glazed, double-hung, 4/4, 6/6 and 8/8. The applicant is requesting approval of Marvin, painted wood double-glazed, full-frame replacement windows. The proposed windows will be single-light, casement windows painted in Valspar's "Safari Brown" to match the window frame color on the modern 1980's addition.
- Lower the sills on the south elevation approximately 1' to their original heights to match the height of the sills on the west elevation. The sills were raised to their current height in 1977.
- Replace the two (2) existing "bubble" skylights with lower profile, flat glass skylights.

II. HISTORY

According to the City's real estate records, the townhouse at 333 Green Street was constructed as part of the Yates Garden subdivision circa **1952**. It is a two-bay, two-story painted brick end unit townhouse in a highly visible location across the street from a public park.

Prior Approvals:

8/17/1977 Installation of skylight and window alterations

11/7/1979 Construction of a rear addition

6/1/1983 Construction of a new portico and stoop

III. ANALYSIS

The proposed window replacement complies with Zoning Ordinance requirements.

The *Design Guidelines* state: "...replacement windows should be appropriate to the historic period of the architectural style of the building". The *Guidelines* also note that single-glazed, true divided light windows with interior storm sash are the preferred replacement window type. The *Guidelines* continue by saying other acceptable window types are "double-glazed true divided light wood windows...."

Based on existing conditions, Staff believes this townhouse was originally constructed with a vernacular, neo-Classical Mediterranean stylistic influence. The remaining architectural details include the simple, low pitched, hipped roof; belt courses, and recessed ironwork in the frieze. The townhouse has had several alterations since its construction in the early 1950s, which have included the installation of a skylight, the raising of the sills on the first level when the windows were replaced in 1977, the construction of a modern addition in 1979, and the construction of a new front

portico/stoop in 1983.

The present owner, who is an architect, met with staff prior to submission of the application to make the case that the context and character of the existing house had already been lost when original windows were altered in size and configuration and again when the addition was constructed. He further believed that the contrast in the architectural character of the original house was in aesthetic conflict with the Modernist addition. The present proposal reflects a desire to alter the original house to make it appear more sympathetic to the addition by changing to single pane casement windows and by painting the window trim to match the trim of the addition. The applicant has prepared a very clear and complete submission package and staff encouraged them to submit what they believed was the best design and to have an open dialogue about the design approach with the Board at the hearing.

While the Design Guidelines recommend that an addition be distinguished from the original building, and while Staff and the Boards routinely support this concept, the design of this particular addition in this highly visible location is somewhat bombastic. Although it was approved by the Board in 1979, it would not likely be approved today. Nevertheless, it was approved and it exists as an example of evolving preservation design philosophy in Alexandria. The question raised by this application is whether the original portion of the house should be made to look more like the addition or whether it should be restored even closer to its original appearance.

Since the existing windows are not original to the first period of construction, Staff supports their replacement and commends the applicant's desire to restore the window heights on the south elevation by lowering the sills to their original location. Staff also finds the use of double glazed replacement windows to be appropriate, as double-glazed windows were commonly available when this house was constructed in the mid-20th century. However, the proposed Window Policy of the Board suggests that the architectural design of original windows should be maintained when they are replaced.

While it has been a popular trend among architects to update a building by installing single pane or plate glass windows in older buildings since the 1970s, it is not a generally accepted preservation practice in the United States today. While some in the community might say that a Yates Gardens townhouse is not "historic" Staff believes that these buildings play an important supporting role as compatible background buildings in this part of the District. That does not mean that they cannot be changed, but it does suggest that their character defining features should not be removed or obscured and the windows are a primary character defining feature of these simple Yates Gardens buildings.

Therefore, Staff supports the change to casement windows in this instance but recommends that they be modified to include simulated-divided lights with permanently fixed muntins in a pattern which replicates the original double hung windows. Since the Board does generally not dictate exterior paint color on previously painted surfaces, Staff does not object to the "Safari Brown" color. Staff believes this will substantially soften the difference between the windows in the original house and those on the addition, as the architect proposes. Staff has no objection to replacement of the existing plastic bubble skylights with the less visible and higher quality flat glass skylights.

STAFF

Michele Oaks, Historic Preservation Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

V. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Code Enforcement:

No comments received.

Historic Alexandria:

No comments received.

IV. IMAGES



Figure 1. Existing Conditions: Front (south) elevation of 333 Green Street



Figure 2. Proposal: Front (south) elevation of 333 Green Street



Figure 3. Existing Conditions: Side (west) elevation of 333 Green Street



Figure 4. Proposal: Side (west) elevation of 333 Green Street

EXISTING WINDOWS (DETAILED ELEVATION)



WINDOW E



WINDOW F



WINDOW G



WINDOW H



WINDOW I

Figure 5. Existing Windows

BRICK SILL WEST / SOUTH COMPARISON



Figure 6. Sill Height Comparison Photo

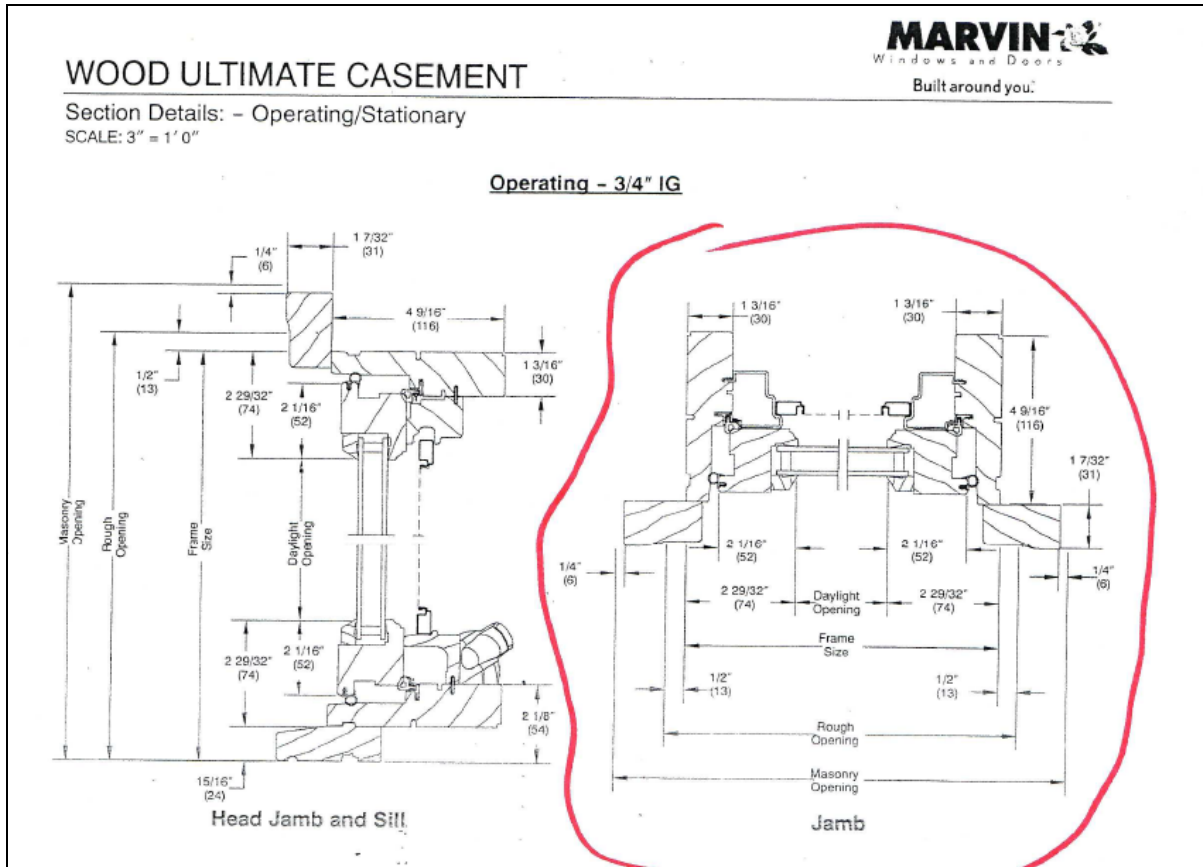
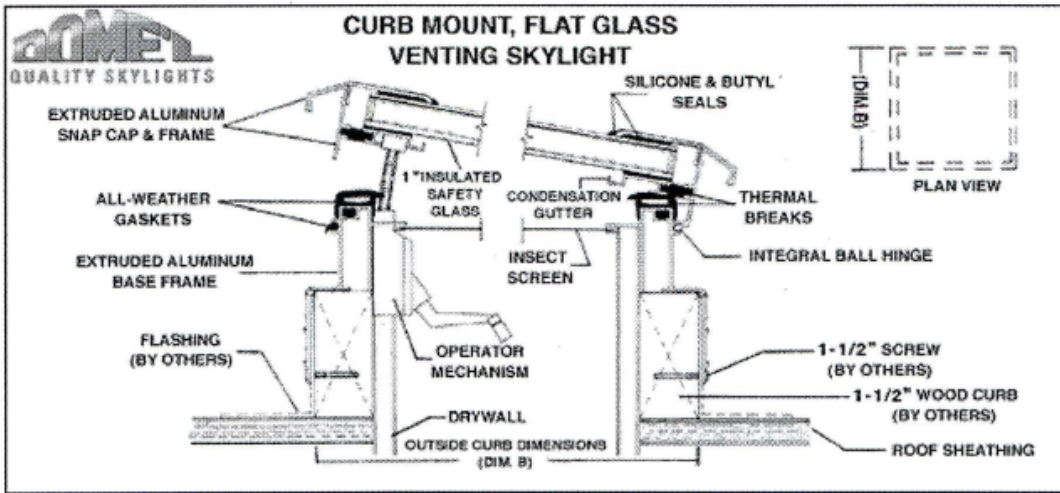


Figure 7. Window Specifications

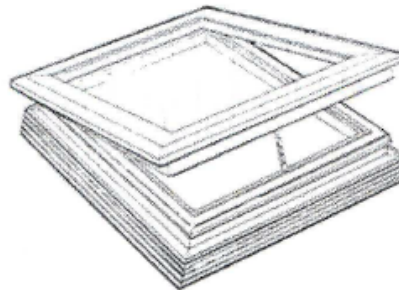


GLASS CODES: CTLE=CLEAR TEMPERED LOW E/LAMINATED * CTL=CLEAR TEMPERED/LAMINATED *
 BTL=BRONZE TEMPERED/LAMINATED

MODEL NUMBER	OUTSIDE CURB (DIM.B)	GLASS	QTY.
CMV1430	17.5"x33.5"		
CMV1446	17.5"x49.5"		
CMV1460	17.5"x63.5"		
CMV2222	25.5"x25.5"		
CMV2230	25.5"x33.5"		
CMV2246	25.5"x49.5"		
CMV3030	33.5"x33.5"		
CMV3046	33.5"x49.5"		
CMV4646	49.5"x49.5"		

→ For custom sizes, shapes & colors [click here.](#)

CURB MOUNT, FLAT GLASS VENTING SKYLIGHT



3 Grunwald Street
 Clifton, NJ 07013
 Tel: 973-614-1800 Fax: 973-614-8011
 E-mail: staff@domelinc.com

Figure 8. Skylight Specifications