

Docket Item #3  
BAR CASE # 2010-0294

BAR Meeting  
November 3, 2010

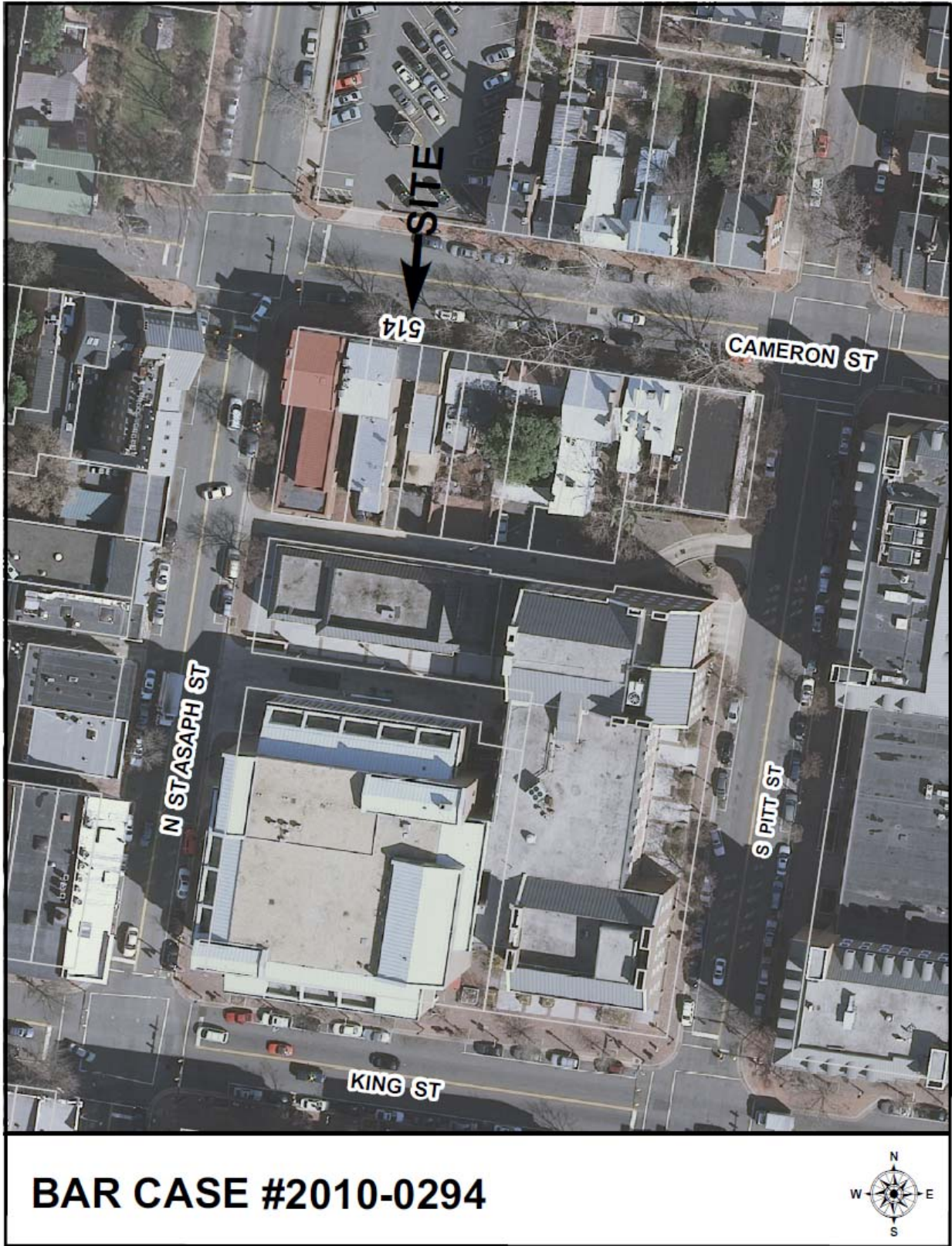
**ISSUE:** Alterations (New Fence)  
**APPLICANT:** Claudia Kostel by Lynette Camus  
**LOCATION:** 514 Cameron Street  
**ZONE:** RM/Residential

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**STAFF RECOMMENDATION:** Staff recommends approval of the application as submitted.

**\*\*EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of final approval if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

**\*\*BUILDING PERMIT NOTE:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.



**I. ISSUE:**

The applicant is requesting approval of a Certificate of Appropriateness for the installation of a rear fence at 514 Cameron Street. The proposed 6 foot fence will enclose the majority of the rear yard, which is currently open to the public alley to the south, with the exception of a 17 foot by 10 foot portion for parking, and a dedicated trash area. The cedar fence will be constructed of angled boards to create a louvered effect. The fence will have a horizontal cap and square 6 inch by 6 inches posts with wood pyramid caps. The gate will be constructed of flush wood boards, with the exception of a window area which will have angled boards. The fence will be stained a natural color.

**II. HISTORY:**

The three story Greek Revival brick townhouse at 514 Cameron Street was built by James McNair in the mid-19<sup>th</sup> century, according to Ethelyn Cox in *Historic Alexandria Virginia, Street by Street*. There is an easement on the front façade of the house.

The Board has reviewed a number of alterations at 514 Cameron Street over the past few years, including:

- BAR Case # 2003-0051 (April 2, 2003): the Board approved HVAC rooftop screening.
- BAR Case #2002-0131 & 132 (July 19, 2002): the Board approved a Permit to Demolish and Certificate of Appropriateness for the installation of a new French door on the rear ell.

**III. ANALYSIS:**

The proposed alterations comply with Zoning Ordinance requirements.

Staff believes that the proposed fence meets the recommendations contained in the *Design Guidelines* as they pertain to materials, design and scale. The fence is compatible with the house at 514 Cameron Street, as well as the surrounding neighborhood, which includes modern commercial buildings to the south. While the angled boards of the louvered design are somewhat unusual, Staff believes that the fence is attractive and not significantly different from the board-on-board fences commonly approved by the BAR. The BAR approved a nearly identical fence at 130 Prince Street in 2005 (BAR Case #2005-0070).

**STAFF:**

Stephanie Sample, Historic Preservation Planner, Planning & Zoning  
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. IMAGES

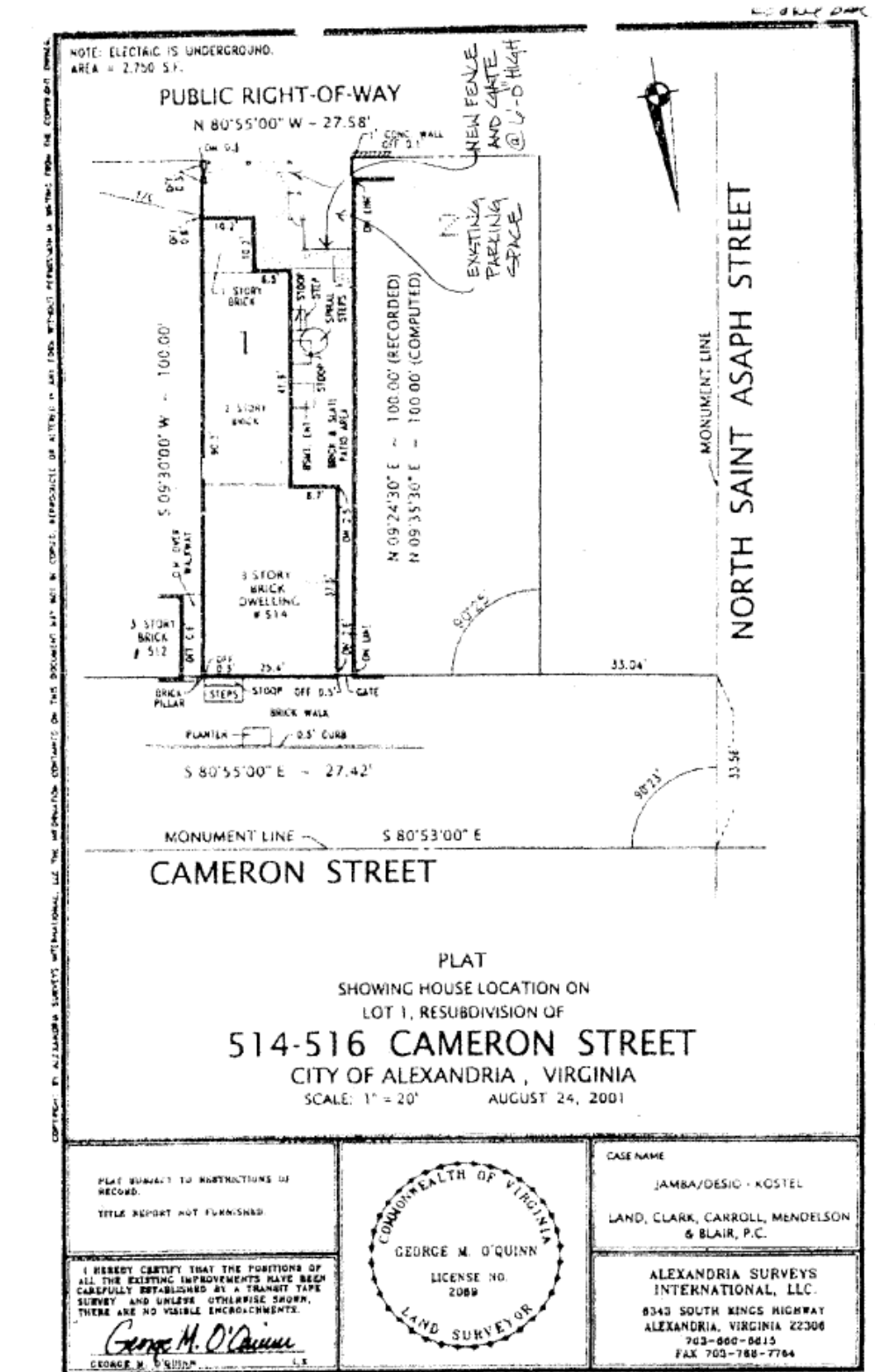


Figure 1: Plat for 514 Cameron Street showing fence location.

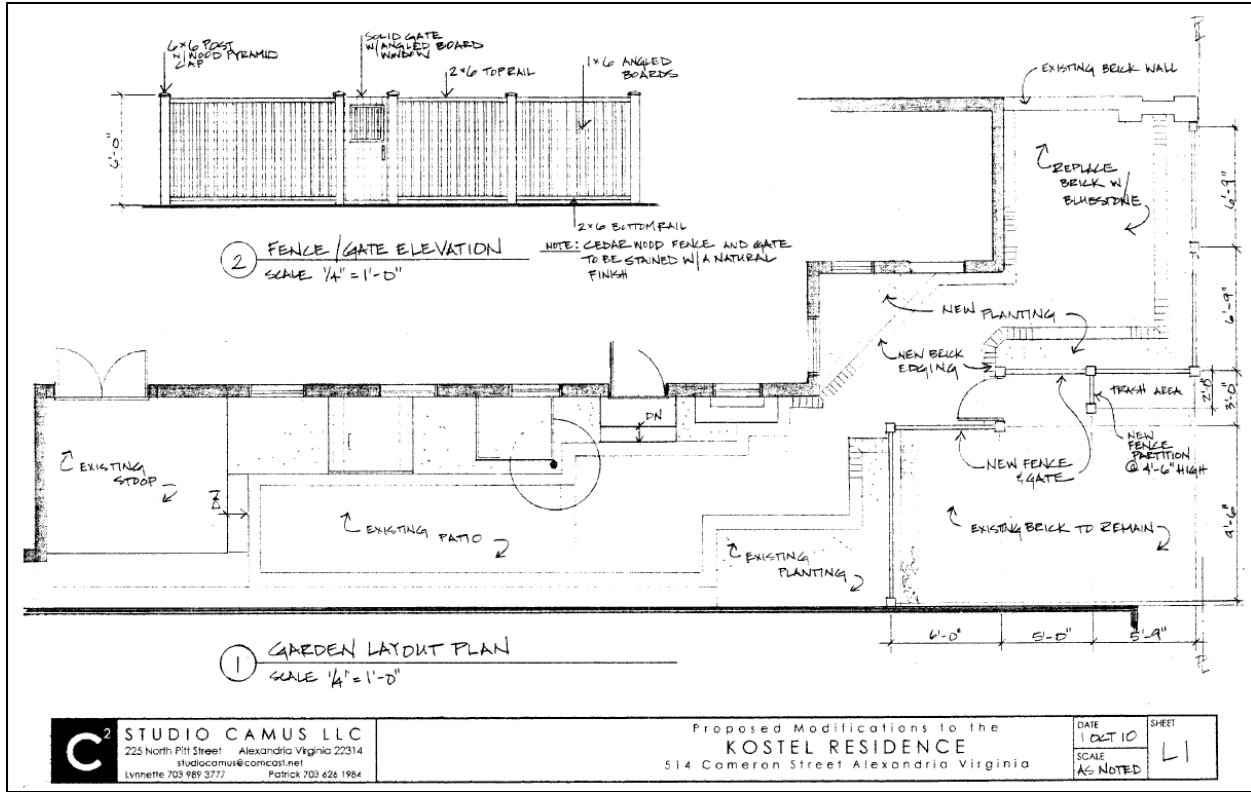


Figure 2: Rear yard fence plan and fence/gate elevation.

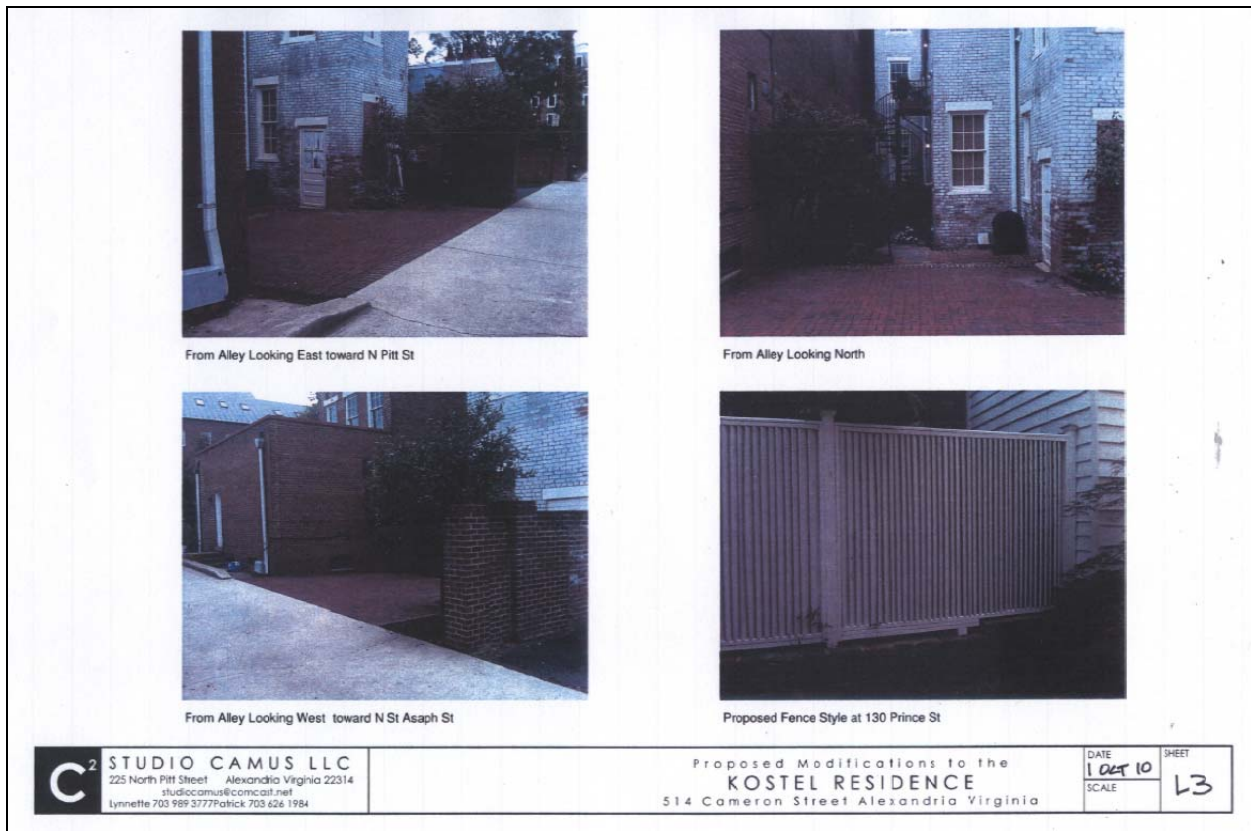


Figure 3. Site photos and proposed fence design.