

Docket Item # 4
BAR CASE #2011-0215

BAR Meeting
September 7, 2011

ISSUE: ATM Replacement

APPLICANT : Wells Fargo Bank by Gary Brent

LOCATION: 330 North Washington Street

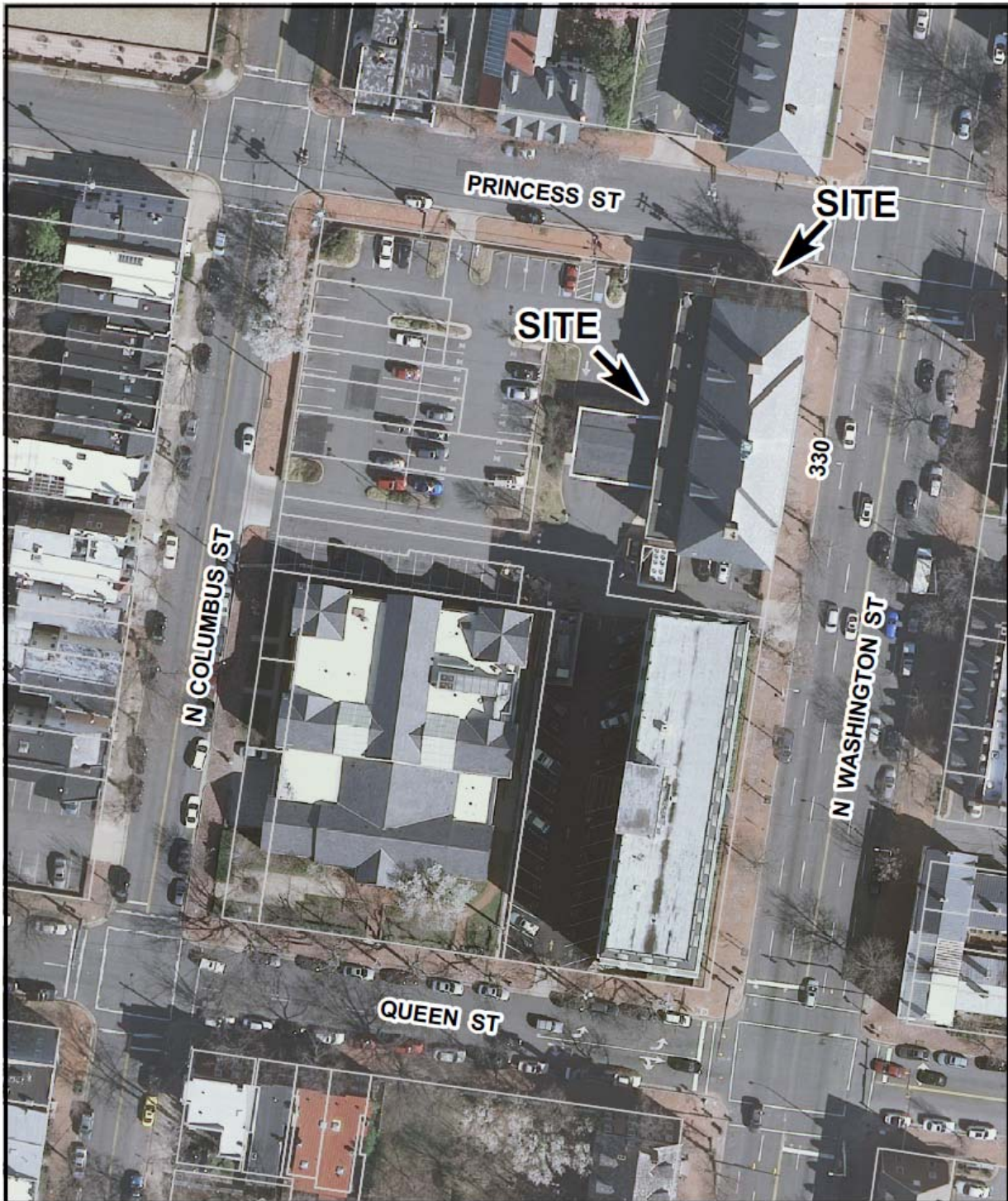
ZONE: CD/Commercial

STAFF RECOMMENDATION

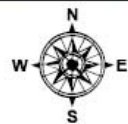
Staff recommends approval of the application, as submitted.

****EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of final approval if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

****BUILDING PERMIT NOTE:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.



BAR CASE #2011-0215



I. ISSUE

The applicant is requesting approval of a Certificate of Appropriateness for the installation of replacement Automatic Teller Machines (ATMs) for Wells Fargo Bank at 330 North Washington Street. Wells Fargo Bank recently acquired the previous bank tenant, Wachovia. The Board recently approved replacement signage for Wells Fargo.

The applicant proposes to replace two ATMs, one adjacent to the Princess Street building entrance and one at the rear of the building which is part of the drive-through facilities. Although new signage has been attached to the existing unapproved ATMs, the applicant is *not* requesting after-the-fact approval of what is currently there. The applicant is proposing to install two new ATMs that are in compliance with the *Design Guidelines* and Zoning Ordinance, as outlined below.

Princess Street ATM

The ATM at this location will measure 29" by 30.5", approximately 6.1 square feet in area, with a sign reading "Wells Fargo" measuring 9' by 29" immediately above it. As this ATM is in an existing former window opening, the area beyond the machine but within the window frame will be filled to match the exterior. The lighting at the ATM will measure 0.3 foot candles at a distance of five feet.

Drive-through ATM

The ATM at this location will measure 34" by 32" for a total of 7.5 square feet in area. A sign measuring 9" by 34" will be located immediately above the machine. The light output will measure 0.3 foot candles at a distance of five feet.

II. HISTORY

This handsome Colonial Revival building was constructed circa **1961** for Alexandria National Bank. The three and one-half story brick building and the adjacent parking lot comprise approximately half of this block.

The Board has reviewed applications for signage and alterations several times for this building.

- In 1963, the Board approved signage, including two black-on-white freestanding signs (10/23/1963, 11/13/1963, 12/4/1963).
- In 1964, the Board denied signage (1/8/1964, 10/14/1964).
- In 1973, the Board approved replacement signage (9/19/1973).
- In 1981, the Board approved an application for a money machine on the Princess Street elevation and signage with the condition that "the overall size of the machine is to be the exact size of the opening" in reference to a window opening (11/5/1981).
- In 1993, the Board approved signage for First Union Bank (BAR Case #93-177, 10/20/1993).
- In 1997, the Board approved the drive-through canopy, with an ATM, and piers as well as a brick perimeter wall.
- In 2003, the Board approved replacement signage for Wachovia (replacing First Union signage) but noted that their approval did not include approval of freestanding signs on

North Washington Street and on Princess Street (BAR Case #2003-0140, 9/3/2003).

- In 2004, the Board approved two hanging wood signs with metal scroll brackets (BAR Case #2004-0020, 4/21/2004).
- In 2011, the Board approved a replacement sign package when the bank converted to Wells Fargo (BAR Case #2011-0102, 6/1/2011). The Board approved two hanging signs, two directional signs in the parking lot, a clearance sign above the drive-through and retention of the two grandfathered freestanding signs advertising the “Drive-Thru Teller.”

III. ANALYSIS

The proposed ATMs and associated signage comply with Zoning Ordinance requirements. The existing ATMs replaced previous machines in this location and do not comply with the original approval, nor are they in compliance with Sec. 7-1800 of the Zoning Ordinance (adopted 11/16/2002), which regulates ATMs and similar machines on the exterior of buildings in the historic districts, because of the size of the frame surrounding the machine. The frame to the left side of the Prince Street ATM once held paper envelopes, which are no longer required to deposit checks in the new ATMs.

In general, Staff is supportive of the proposed replacement ATMs for this site, finding the scale, design and signage to be appropriate to this size building with drive-through services and notes the support of the National Park Service because the smaller size reduces visibility from the GW Parkway. The *Design Guidelines* state that “ATM machines should not be located on the most visually prominent or architecturally important façade” and that they “should be as small as possible” with “as low a level [of lighting] as possible. Staff has worked with the applicant to correct the existing machines in violation and propose appropriate machines in conformance with the *Design Guidelines* and Zoning Ordinance. Finding the ATMs appropriate and in compliance, Staff recommends approval as submitted.

STAFF

Catherine Miliaras, Historic Preservation Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F- finding

Code Administration

C-1 Building and electrical permits are required for this work.

Transportation & Environmental Services

RECOMMENDATIONS

- R1. The building permit plans shall comply with requirements of City Code Section 5-6-224 regarding the location of downspouts, foundation drains and sump pumps. Refer to Memorandum to Industry dated June 18, 2004. [Memorandum is available online at the City web site under Transportation\Engineering and Design\Memos to Industry.]. (T&ES)
- R2. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R3. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on all plans submitted for approvals. (T&ES)
- R4. The building permit must be approved and issued prior to the issuance of any permit for demolition. (T&ES)

FINDINGS:

- F1. An approved grading plan will not be required at this time.
- F2. All conditions of SUP2011-00021 shall apply.

CODE REQUIREMENTS

- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)

National Park Service

We reviewed the project and have no comment. GWMP appreciates the applicant's proposal to reduce the size of the current ATMs, especially the ATM facing Princess Street.

V. IMAGES



Figure 1. Recent previous ATM machine (not in compliance with Zoning Ordinance requirements).



Figure 2. Existing ATM machine with new signage (installed without approval).



Figure 3. Proposed ATM on Princess Street elevation.

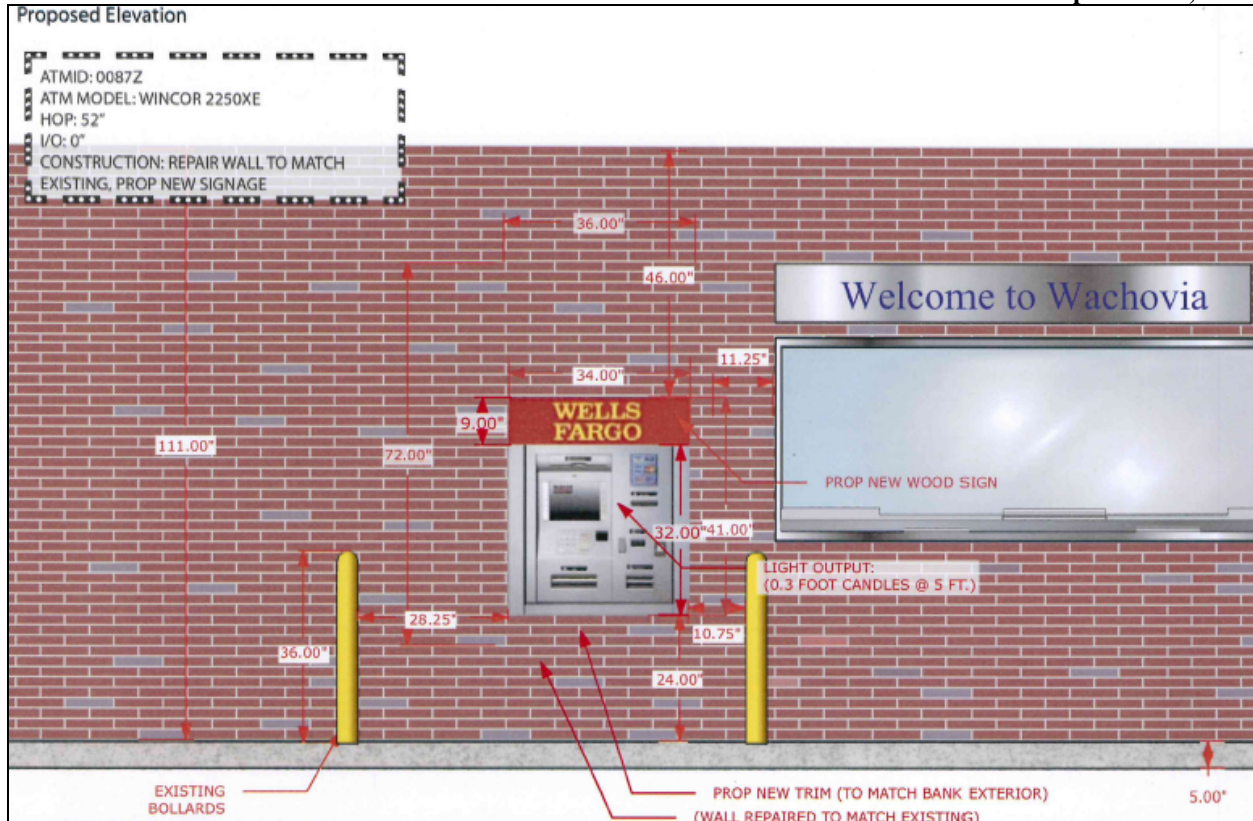


Figure 4. Proposed ATM at drive-through area.