

Docket Item # 14 & 15  
BAR CASE # 2011-0224/225

BAR Meeting  
September 7, 2011

**ISSUE:** Permit to Demolish/Encapsulate and Addition/Alterations

**APPLICANT:** Scott Dinwiddie and Audrea Menaker by Scot McBroom

**LOCATION:** 317 South Union Street

**ZONE:** RM / Residential

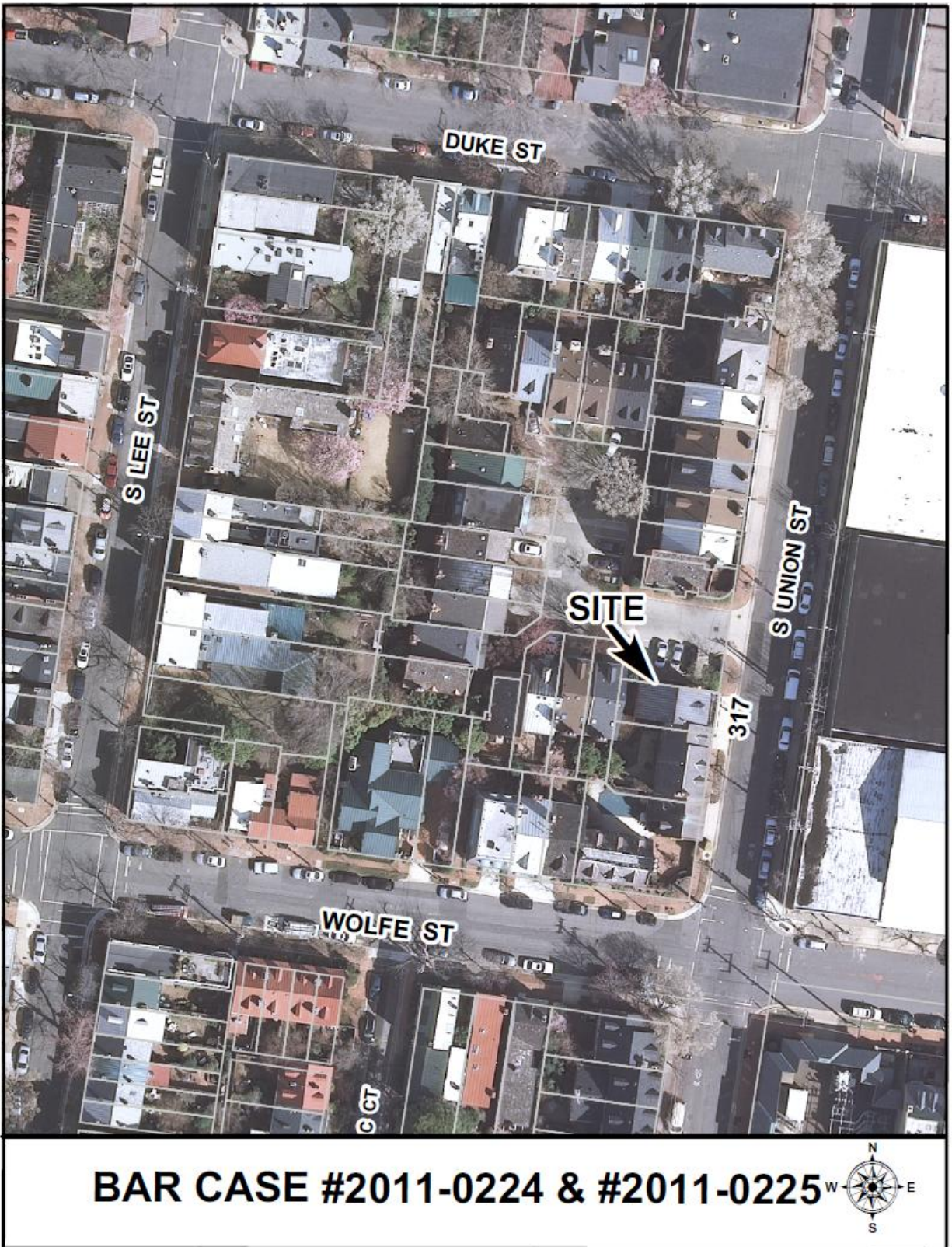
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**STAFF RECOMMENDATION**

Staff recommends approval of the Permit to Demolish/Encapsulate and the Certificate of Appropriateness for an addition and alterations as submitted.

**\*\*EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.

**\*\*BUILDING PERMIT NOTE:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Building and Fire Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-838-4360 for further information.



**Note:** Staff coupled the reports for BAR #2011-0224 (Permit to Demolish/Encapsulate) and BAR #2011-0225 (Certificate of Appropriateness) for clarity and brevity. This item requires a roll call vote.

## **I. ISSUE**

The applicant is requesting approval of a Permit to Demolish/Encapsulate and a Certificate of Appropriateness to expand the existing fourth story at 317 South Union Street.

### **Permit to Demolish/Encapsulate**

- Demolish the entire existing gable roof structure and single dormer on the front elevation.

### **Addition and Alterations**

- Reconstruct roof in a gambrel form to create a full fourth story with two dormers on both the front (east) and rear (west) elevations. (The height of the existing roof ridge does not change.)
- On side (north) elevation, the existing oriel window will be replaced and four new windows will be added (two six-over-six, double-hung windows; a single six-light arched window in the approximate location of the oriel window; and a six-light arched casement window adjacent to the chimney. The new gambrel roof will be clad in synthetic slate. The dormer trim and cornice will be painted wood or Azek. The proposed windows will be aluminum-clad wood windows. The brick on the north elevation will match the existing.
- A new cornice with modillions will be installed.
- Painted wood, louvered, operable shutters will be installed on all windows except one casement.
- A new HVAC unit will be installed on the ground on the north elevation. It will be located adjacent to an existing HVAC unit and transformer, both currently screened with dense vegetation and postal boxes.

The proposed addition will be visible from South Union Street.

## **II. HISTORY**

317 South Union Street is a three-and-one-half story brick residential townhouse with a double garage door facing South Union Street constructed in **1980** as part of the Waterford cluster development, pursuant to SUP 1258 (approved in 1979). Waterford consists of a cluster of 36 three-story townhouses in a variety of architectural styles.

In 2007, the Board approved a replacement railing (BAR Case #2007-0076, 5/16/07). An application for a sunroom addition but it was withdrawn before going to hearing (BAR Case #2003-0189/90) In 1993, the Board approved light fixtures for 307, 311, & 317 South Union Street & 100 Duke Street (BAR Case #93-11, 1/19/03.)

## **III. ANALYSIS**

Staff has no objection to the proposed demolition of the roof structure and finds the proposed addition to be compatible with the existing building and surrounding area. The proposed project complies with Zoning Ordinance regulations.

### Permit to Demolish

In considering a Permit to Demolish, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B):

- (1) Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?
- (2) Is the building or structure of such interest that it could be made into a historic house?
- (3) Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?
- (4) Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?
- (5) Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?
- (6) Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?

In the opinion of Staff, none of the criteria for demolition and encapsulation are met and the Permit to Demolish/Encapsulate should be granted. Although the area proposed for demolition is highly visible and the proposed addition will result in a substantial change to the existing late 1970s townhouse, Staff finds that the changes are stylistically compatible with the existing house and nearby buildings of historic merit.

### Alterations and Addition

The construction of an addition to any building within a historic district must be evaluated not only for its impact on the building to which it is being attached, but also for its impact on the district as a whole. The *Design Guidelines* encourage “designs that are respectful of the existing structure and which seek to be background statements or which echo the design elements of the existing structure.” While the Ramsay house and the Mayor Hooe house are the most prominent examples, there are several historic gambrel roofs found nearby in the district. There are a variety of different roof forms, roof slopes and architectural detailing throughout the Waterford development, so altering this particular townhouse’s roof will not result in an imbalance of scale or design detail with respect to the rest of the development. The use of a gambrel roof form allows for an addition with a modest expansion of the existing building envelope. While it could potentially be overwhelming with respect to scale and massing to build out every upper half story in the district, Staff finds that it is an appropriate design solution in this particular circumstance and does not believe that it will not overwhelm the existing townhouse nor the surrounding buildings. The gambrel roof form substantially improves the architectural interest of this simple, highly visible north elevation and is a better termination for this string of late 20<sup>th</sup> century townhouses on South Union Street.

Although Staff generally discourages adding high-style details to historic buildings, such as ornate cornices and surrounds to vernacular buildings with minimal detail, this particular townhouse development already has substantial architectural detail including brick quoins and modillions on other units. Therefore, in this specific case, Staff does not object to the addition of the modillions. Many of the buildings in the historic district have evolved and grown over time and the changes proposed to this building are not unlike historic changes found throughout the district, such as the Second Empire-ization of the Delaney Realty building at 131 North Washington Street, complete with the addition of a mansard roof and a pronounced bracketed cornice. The proposed materials are appropriate for a building from this late 20<sup>th</sup> century time period and help differentiate this townhouse from historic buildings in the district. The Board has approved high-quality synthetic slate shingles in the past and Staff finds them appropriate at this location.

Staff recommends approval of the Permit to Demolish/Encapsulate and the Certificate of Appropriateness for alterations and an addition.

**STAFF**

Catherine Miliaras, Historic Preservation Planner, Planning & Zoning  
Al Cox, FAIA, Historic Preservation Manager

**IV. CITY DEPARTMENT COMMENTS**

Legend: C - code requirement R - recommendation S - suggestion F- finding

**Code Administration**

C- Building and trades permits are required for this project. Five sets of *construction documents* sealed by a *Registered Design Professional* that fully detail the construction and framing as well as the layout and schematics of the mechanical, electrical, and plumbing systems shall accompany the permit application(s)

**Transportation and Environmental Services**

**FINDINGS:**

- F1. An approved grading plan shall not be required at the time of building permit application.
- F2. No Resource Protection Area (RPA) is located within the parcel. (T&ES)
- F3. Parcel is located within a Cluster Development known as “Waterford”, SUP1258. (T&ES)

**RECOMMENDATIONS**

- R1. The building permit plans shall comply with requirements of City Code Section 5-6-224 regarding the location of downspouts, foundation drains and sump pumps. Refer to Memorandum to Industry dated June 18, 2004. [Memorandum is available online at the City web site under Transportation\Engineering and Design\Memos to Industry.]. (T&ES)

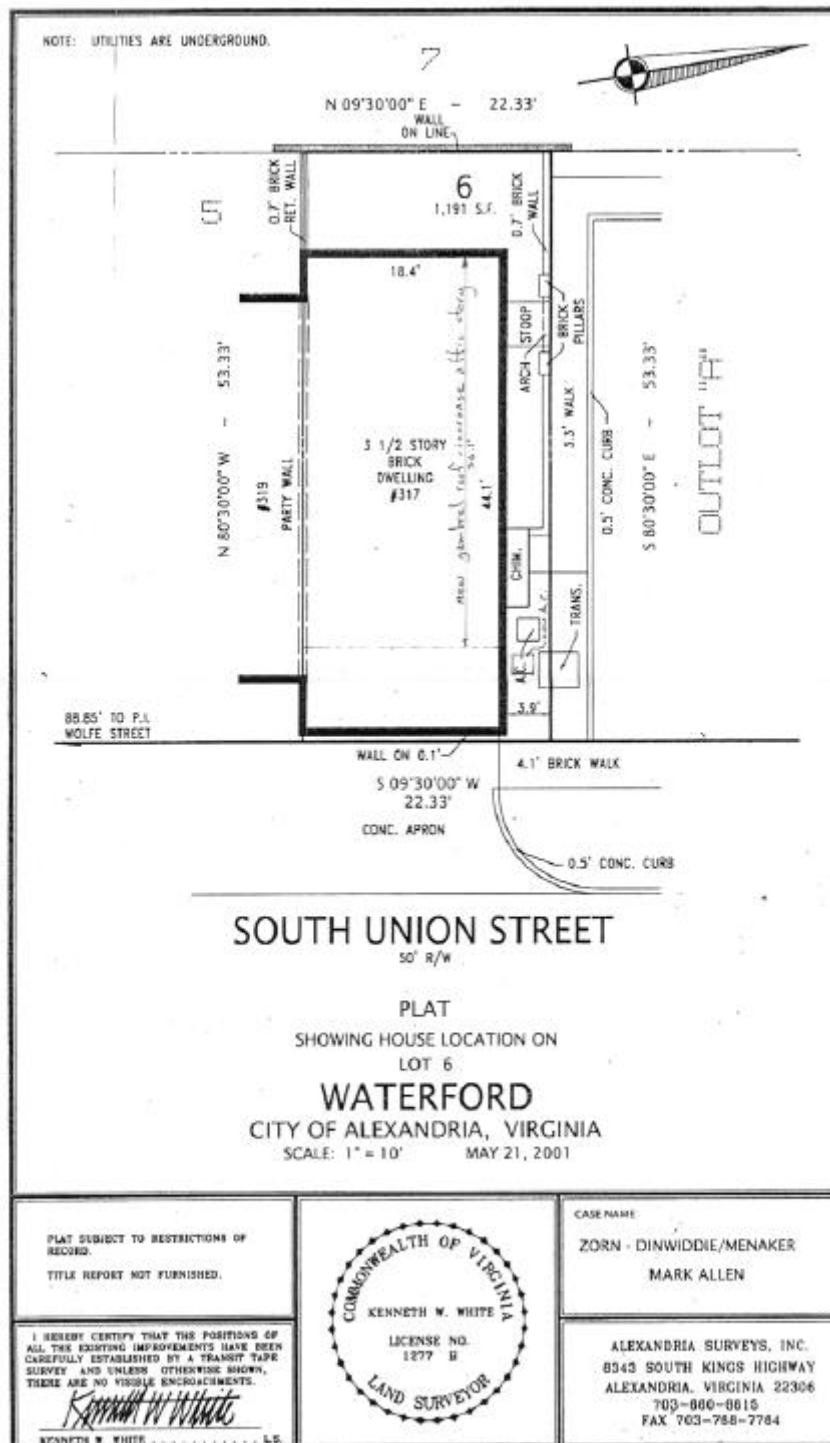
- R2. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

## **CODE REQUIREMENTS**

- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)



## V. IMAGES



**Figure 1. Plat.**



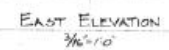
**Figure 2. Existing front (east) and side (north) elevations with adjacent buildings.**





Figure 3. Existing side (north) elevation.





**Figure 1. Existing and proposed front (east) elevation.**

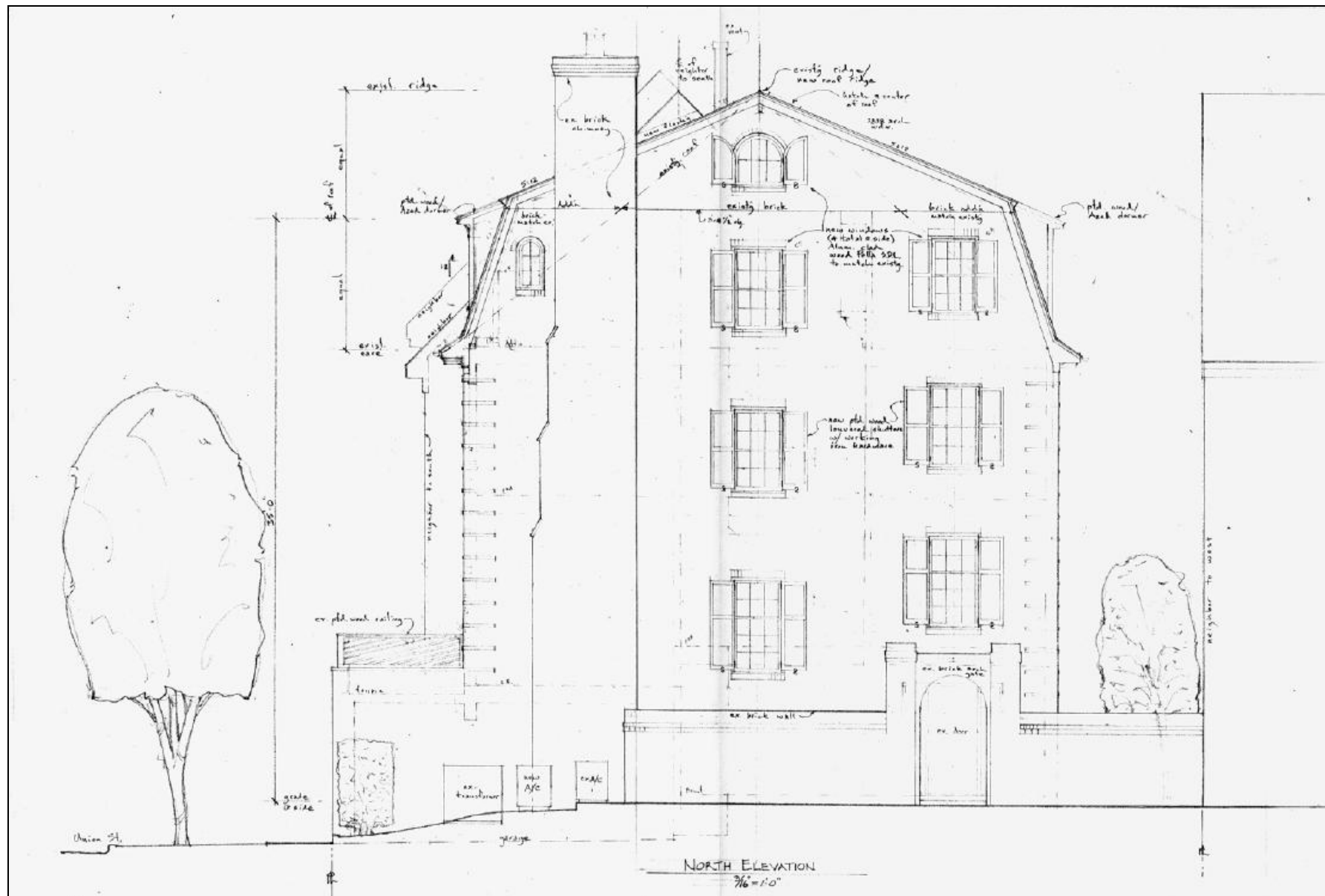
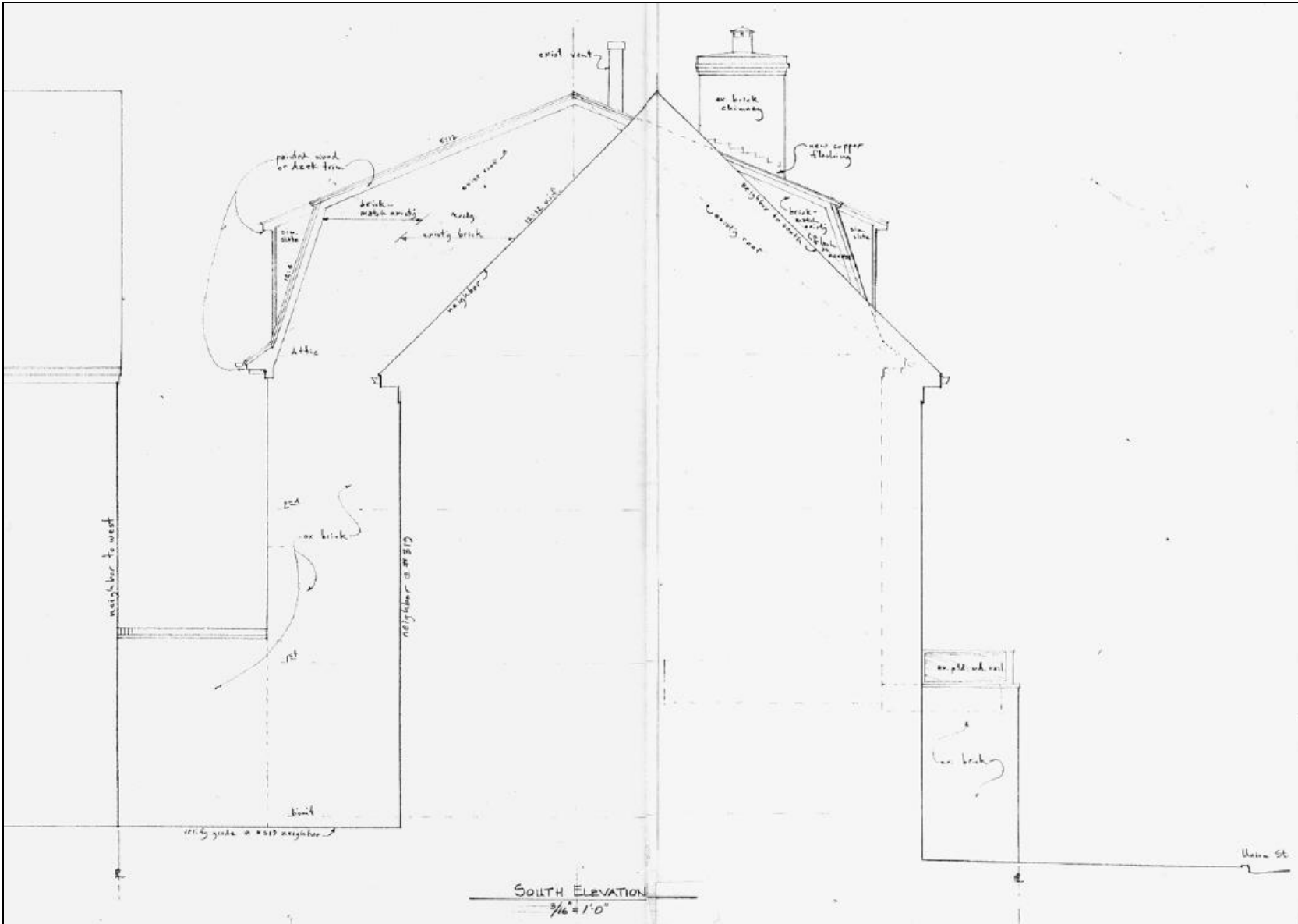
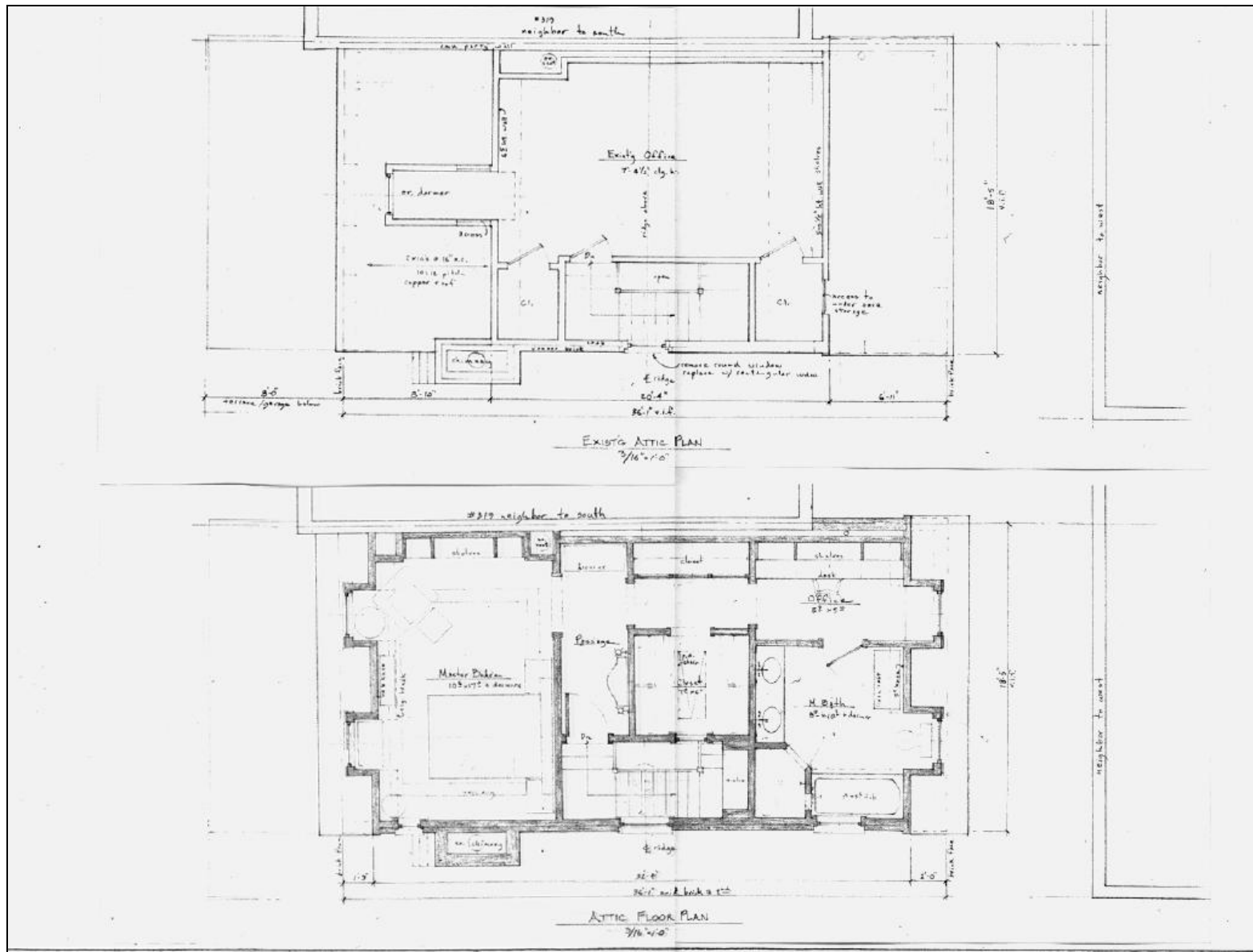


Figure 2. Proposed side (north) elevation.



**Figure 3. Proposed side (south) elevation.**



**Figure 4. Proposed floorplan.**